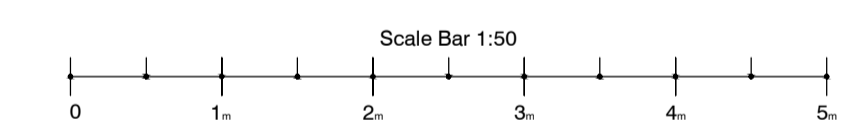
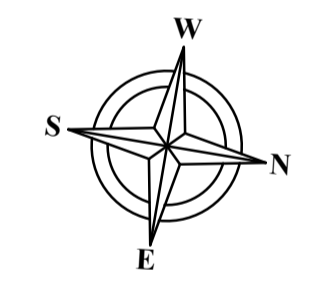


- GENERAL NOTES**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL GENERAL ARRANGEMENT DRAWINGS, PROJECT DETAILS AND SPECIFICATIONS.
 - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE FABRICATION OF ANY WORK AND/OR ORDERING ANY MATERIAL. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO STRUCTURAL FACES AND/OR PARTITION STUDS.
 - SB— DENOTES STRUCTURAL BEAM OVER. FOR ALL STRUCTURAL STEELWORK, PADSTONES, AND MOVEMENT JOINT DETAILS REFER TO THE STRUCTURAL ENGINEER'S DRAWINGS.
 - ALL DRAINAGE RUNS TO BE ABOVE FLOOR UNLESS STATED OTHERWISE. ALL DRAINAGE TO BE CONFIRMED AND DETAILED BY M&E ENGINEER.
 - KITCHEN LAYOUT TO SPECIALIST'S DESIGN AND DETAILS
 - FOR MOVEMENT JOINT, BED JOINT REINFORCEMENT AND ALL STRUCTURAL INFORMATION REFER TO STRUCTURAL ENGINEER'S DRAWINGS AND DETAILS
 - TRUSSES AND ROOF DESIGN TO BE CONFIRMED OR DESIGNED BY SPECIALISTS.
 - ELECTRIC AND M&E WORK TO BE CARRIED OUT BY QUALIFIED AND REGISTERED SPECIALIST.
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Note
 Architorium has prepared these drawings based on the previous Architects drawings provided by the client. Architorium will not take any liability of the discrepancies in these drawings. Setting out engineer must be called on site to set out the building. Any discrepancy must be reported back to us before ordering materials and commencement of works on site.

SPACE MATRIX (FIRST FLOOR)		
DESCRIPTION	1 x 1 BED 2 PERSON	1 x 3 BED -4 PERSON
	FLAT - 1 1 BED - 2 PERSON	FLAT - 2 3 BED - 4 PERSON
LONDON PLAN POLICY	50.00 M ²	87.00 M ²
GROSS INTERNAL AREA (GIA)	50.49 M ²	95.09 M ²
DUAL ASPECT	YES	YES
PRIVATE AMENITY SPACE	8.6 M ² BALCONY	8.9 M ² BALCONY
COMMUNAL AMENITY SPACE	NO	NO
CAR PARKING	0	0
CYCLE PARKING	2	2
WASTE / RECYCLE BINS	COMMUNAL	COMMUNAL



STATUS
PLANNING

Project
 250_GREEN_STREET
 E7_8LF
 Drawing Title
PROPOSED_FLOOR_PLANS

Date
 JULY_2023

Scale
 1:50@A1

Drawn by
 SM

Project No
 786

Drawing No
 23-786-P12

Revision

ARCHITORITY
 DEVELOPMENTS LIMITED

**ARCHITECTURE, PROJECT
 MANAGEMENT & CONSTRUCTION
 MANAGEMENT**

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