



OAKFIELD
ARBORICULTURAL SERVICES

Arboricultural Impact Assessment

Archies Cottage, High Street,
Thornham

OAS 23-329-AR01

November 2023

Whiteheath Cottage,
Whiteheath Road, Bergh Apton,
Norfolk, NR15 1AY

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DISCLAIMER

While all reasonable efforts have been made to identify defects in the subject trees, the statements made in this report do not take into account the effects of extreme weather events, vandalism, accidents or changes to the site that may affect trees that have taken place since the date of the survey. Oakfield Arboricultural Ltd does not accept any responsibility in connection with these factors. The comments and observations made within this report will cease to be valid either within two years of the date of the survey (unless specifically stated elsewhere within the report), or when site conditions change or any works to trees take place that have not been specified within this report, whichever is the sooner.

1.0 Introduction

1.1 Instruction

1.1.1 Oakfield Arboricultural Services were instructed to undertake a tree survey and provide arboricultural advice on the site known as Archies Cottage, High Street, Thornham to accompany a planning application.

1.1.2 A detailed survey was undertaken in October 2023 and was carried out in accordance with BS 5837: 2012 'Trees in Relation to Design, Demolition and Construction – Recommendations'

1.2 Scope of Works

1.2.1 The scope of 'Trees in relation to construction' is to provide recommendations and guidance on how trees and other vegetation may be satisfactorily integrated into construction and development projects. The overall aim of this is to ensure the continued longevity and quality of amenity contribution that trees appropriate for retention and protection provide. This report and its appendices follow precisely the strategy for arboricultural appraisal and input intended to provide councils with evidence that trees have been properly considered throughout the development process.

1.2.2 This is a preliminary assessment from ground level and observations have been made solely from a visual perspective for the purposes of assessment in terms relevant to planning and development. No invasive or other detailed internal decay detection devices have been used in assessing internal conditions.

1.2.3 Any conclusions relate to conditions found at the time of inspection. Any significant alteration to the site that may affect the trees that are present or have a bearing on planning implications (including level changes, hydrological changes, extreme climatic events or other site works) will necessitate a re-assessment of the trees and the site and render any previous advice/ findings invalid.

1.2.4 This is an arboricultural report and no such reliance must be given to comments relating to buildings, engineering, soil or ecological issues.

1.3 Documentation

1.3.1 The following documentation has been made available

Proposed layout

2.0 Site & Tree Discussion

2.1 Site Description

2.1.1 The site is a private dwelling known as Archies Cottage located off The Street in the village of Thornham. The area concerned is the separate shower room and reading room located to the east of the main dwelling. The site is accessed via a gravelled driveway from the south of High Street.

2.2 Tree Discussion

2.2.1 A total of five individual trees and one group of trees have been assessed in detail from ground level by visual means only. The Tree Survey Schedule, at Appendix 1, details the trees in respect of dimension and quality in accordance with the methodology set out in the British Standard 5837:2012.

2.2.2 The trees are of Sorbus, Willow, Holly, Ash and Birch with a small group of Cherry and Birch stems. All bar T5 are located in the driveway area with T5 located between the current shower and garden rooms.

2.2.3 Overall trees are mixed in their quality with T3 being the only Category B. T1 is of poor condition and poorly located that it impedes visibility splays and utility lines. T3 is dominated by T2, T4 Ash has minor signs of dieback with T5 albeit of fair condition is poorly located in proximity to existing buildings.

2.2.4 As per Kings Lynn West Norfolk Councils online maps the trees re not afforded protection via a tree preservation order but does lie within the Thornham conservation area. Any tree works will therefore require a tree work application to be submitted.

3.0 Development Implication Assessment

3.1 The proposal

- 3.1.1 The proposal is to convert the shower and reading rooms into a separate annex building. This will include extending the reading room further to the south and forming a connective corridor to each building. It is assumed that all necessary services are in situ although new connection ducts will likely be required for the extension.
- 3.1.2 The proposal will require the removal of T4 (ash) to accommodate the extension of the existing reading room. Of low quality its removal would not normally be considered a constraint. Replacement planting would be difficult with any large tree species so consideration of some low level soft landscaping is recommended.

3.2 Access

- 3.2.1 Access for construction purposes would be via the existing driveway and have little effect on retained trees.

3.3 Construction

- 3.3.1 Foundations for the extended reading room are located on existing traditional foundation with the extension area not within any root area therefore no specialist considerations are required.
- 3.3.2 Construction for the connecting corridor are located in the root area of T5 but is of a timber frame lightweight structure with screw pile foundations so as to limit any potential damage to T5.
- 3.3.3 Services are in situ with any new services having plenty of room to located new ducts outside the roto area of T5, all routes must be confirmed prior to installation.

3.4 Cultural implications for retained trees

- 3.4.1 Tree works due to shade and or proximity are of no concern and the proposal will not lead to an increase in pressure to remove trees.

3.4.2 It is recommended that the Crown of T2 be lifted to ensure adequate access to the driveway and reduce back from the adjacent dwelling. T1 could be considered for removal but is not required as part of the application. The crown of T5 should also ensure any lower branches are lifted adequately to ensure the crown is not damaged during the construction phase.

3.5 Tree protection

3.5.1 Tree protection fencing will be required to be installed however space is at a premium so it is recommended that hoarding be put around the stems of T2 and T5 up to the first branches so as to protect the stems from any accidental damage. This should be fixed in position prior to works commencing on site.

3.5.2 Access for construction within the RPA is required however this is the existing driveway and will suffice as adequate ground protection. If heavy machinery upwards of 2t is required then additional ground protection would be required.

3.6 Site storage, routes and compound areas

3.6.1 Adequate room is available for the locating of compounds and material storage within the site boundaries and outside of any measured RPA.

4.0 Conclusions

4.1.1 The proposal will require the removal of one low quality Ash tree to accommodate the construction of the annex.

4.1.2 Screw pile foundation are to be used for the linking corridor.

4.1.3 Services are in situ however any new duct required must be located out of the root area of T5, service routes need to be confirmed.

4.1.4 Hoarding is to be erected prior to works commencing on site around the stems of T2 and T5 to protect from accidental type damage.

4.1.5 As long as the recommendations are adhered to the proposal will not have any material impact on the health and or value of the retained trees.

Appendix 1 Tree Survey Schedule

Tree Ref. No.	Species (Common Name)	Height (m)	Canopy Spread				Grnd Clrnc	DBH (mm)	RPR (cm)	RPA (m)	Gen Cond	Structural Defects/Comments	Estimated remaining contribution (BS 5837)	BS Cat	BS Sub Cat	Prelim Tree Work Recommendations
			N	E	S	W										
T1	Sorbus	6	1	2	3	1	1	200	240	18.09	F	Poor form under utility lines	10+	C	1	
T2	Willow (Weeping)	13	7	5	5	6	3	675	810	206.02	F	Overhangs adjacent dwelling requires reduction. Normal form and condition. Minor decay cavity to historic pruning point	20+	B	1	Reduction from dwelling lift crown above driveway. Possible pollard consideration
T3	Holly	7	2	2	2	2	0	200	240	18.09	F	Part of boundary vegetation	20+	C	2	
T4	Ash	14	4	4	5	4	3	450	540	91.56	F	Minor dieback noted in crown	10+	C	2	
T5	Birch	13	3	4	3	3	2	300	360	40.69	F	Fair for and condition. In proximity to existing buildings	20+	C	1	
G1	Mixed	5	As on plan				0	100	120	4.52	F	Small Cherry and Birch stems	10+	C	1	

Tree Schedule Explanatory Notes

Ref.no	Identifies trees, groups and hedges on the accompanying plan.
Species	Common names are provided to aid wider comprehension.
Height	Describes the approximate height of the tree measured in metres from ground level
Canopy Spread	Indicates the crown radius from the base of the tree in four compass directions, recorded to the nearest metre.
Ground Clearance	Height of crown clearance above adjacent ground in metres.
DBH (mm)	DBH is the diameter of the stem measured in cm at 1.5m from ground level for single stemmed trees or just above root flare for multi-stemmed trees. Stem Diameter may be estimated where access is restricted.
RPR (cm)	Root Protection Radius (RPR) is area required to be protected measured radially from the trunk centre.
RPA (m²)	Root Protection Area (RPA) is the minimum rooting area in m ² which should remain undisturbed around each tree.
Age Class	Age of the tree expressed as Y- Young, MA- Middle-Aged, EM- Early Mature, M- Mature or OM- Over-Mature
General Condition	Overall condition of tree expressed as :Good, Fair, Poor, Dead
Structural defects/Comments	May include general comments about growth characteristics, how it is affected by other trees and any previous surgery works. Also specific problems such as dead wood, pests, diseases, broken limbs. Etc
Estimated Remaining Years	Categorised in year bands of less than 10, 10+, 20+, 40+
BS Category	B.S. Cat refers to (BS 5837:2005 Table 1) and refers to tree/overall group quality and value; 'A' - High; 'B' - Moderate; 'C' - Low; 'U' - Remove.
Sub Category	Sub Cat refers to the retention criteria values where 1 is arboricultural, 2 is landscape and 3 is cultural including conservational, historic and commemorative

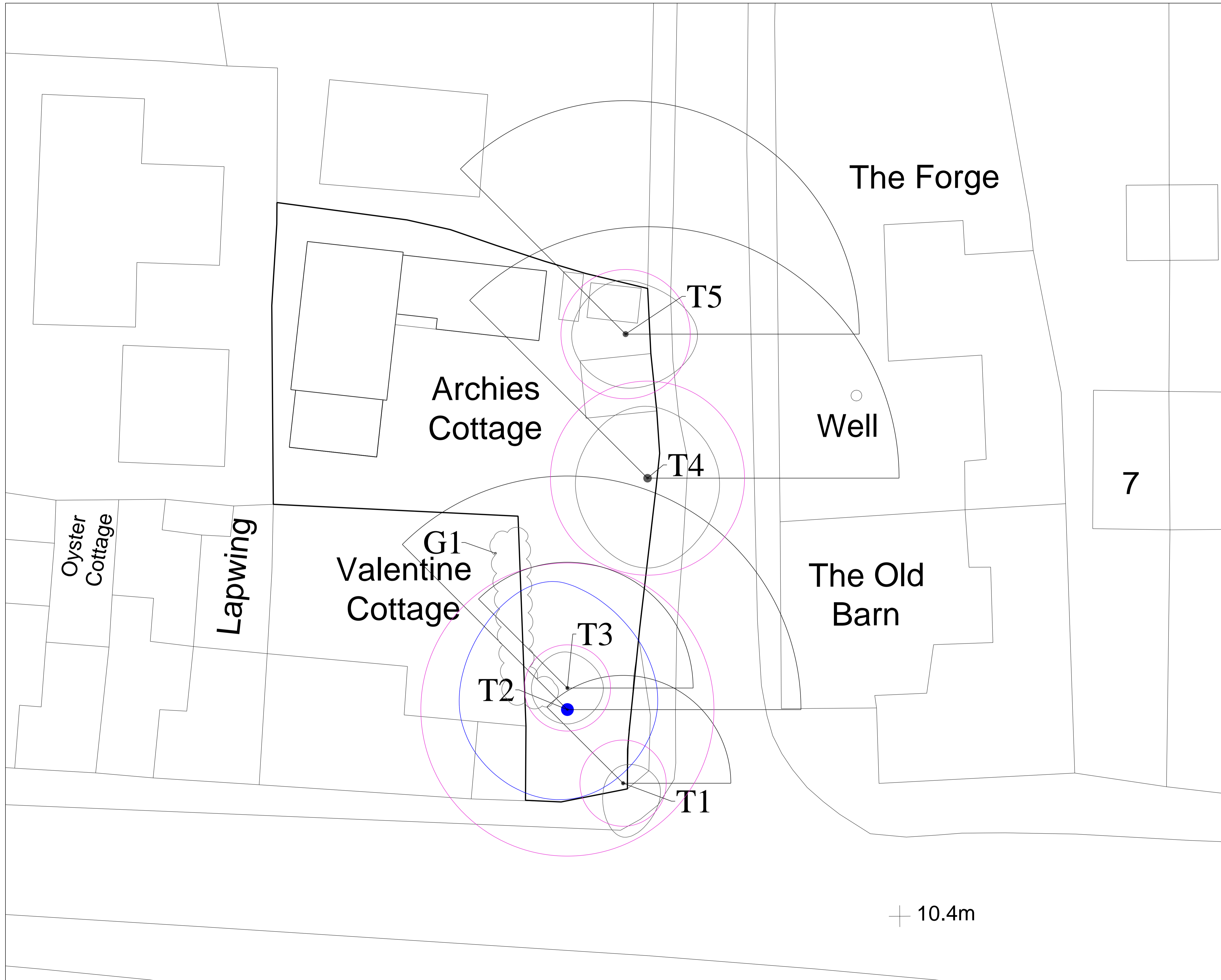
Appendix 2 Photos

Showing pruning point to T2, G1 and T4 from adjacent lane



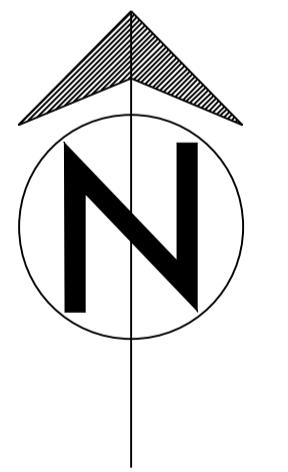
Showing views from access area and T1





KEY

- T1 Existing Tree colour referenced in accordance with BS 5837 2005.
- Blue - Cat B Trees of moderate quality and value
- Grey - Cat C Trees of low quality and value
- Root Protection Area as calculated in accordance with BS 5837
- Shade pattern as to BS:5837.



REV.	DATE	INITIALS	DETAILS
CLIENT c/o Anglia Design		DWG. TITLE Tree Constraints Plan	
SITE: Archies Cottage, The Street, Thornham			
DRAWN BY SPM	CHECKED BY SPM	SCALE 1:100 @A1	DATE Oct 2023
DWG NO. OAS 23-329-TS01	REV. .		

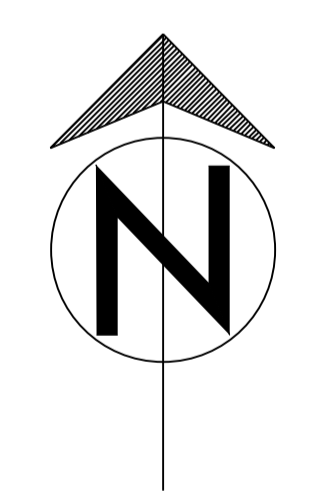
+ 10.4m

Proposed Site Layout Plan 1:200 @ A1



KEY

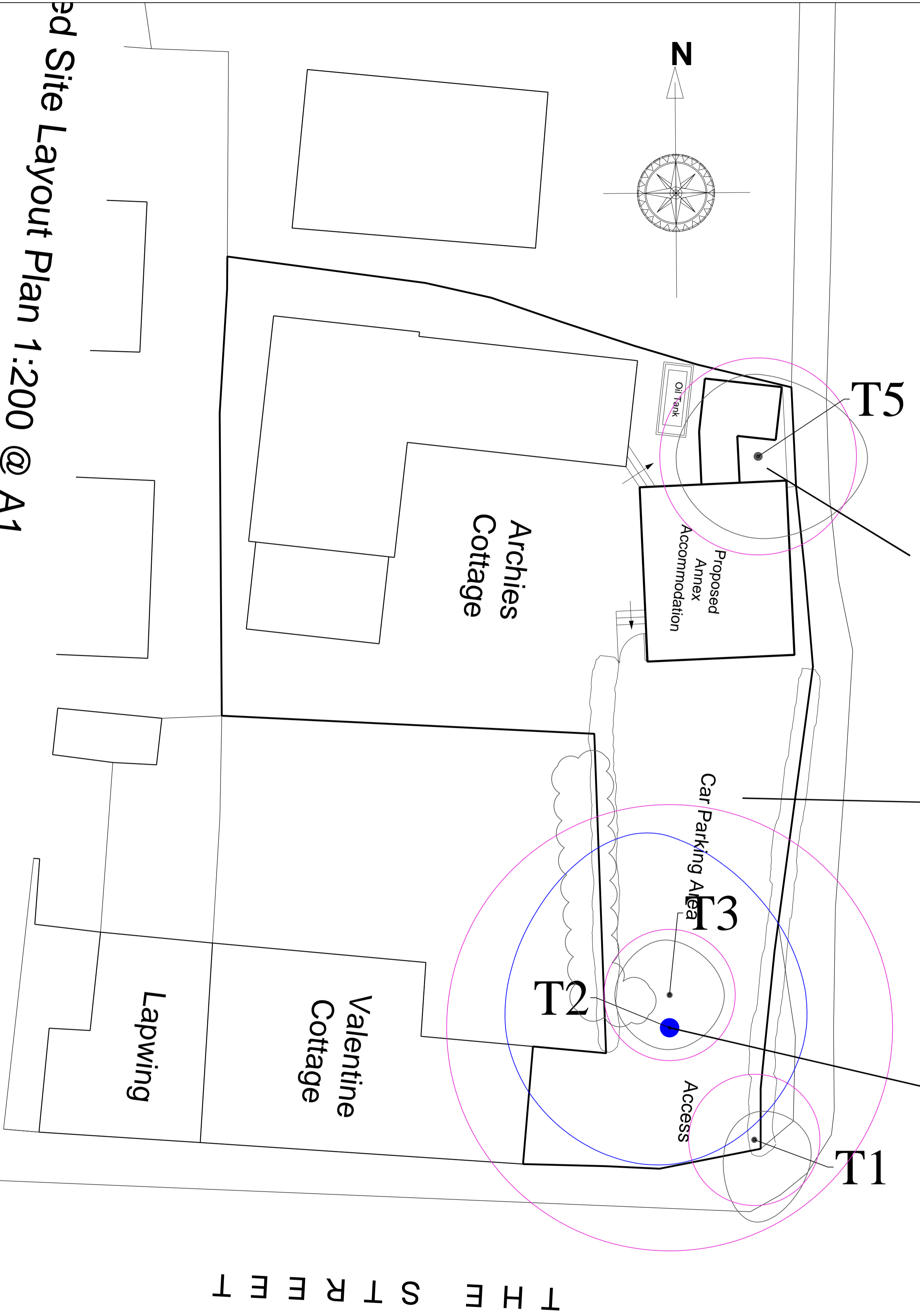
- T1 Existing Tree colour referenced in accordance with BS 5837 2005.
- Blue - Cat B Trees of moderate quality and value
- Grey - Cat C Trees of low quality and value
- Root Protection Area as calculated in accordance with BS 5837
- Shade pattern as to BS:5837.
- Trees/ groups (part or whole) to be removed



REV.	DATE	INITIALS	DETAILS

CLIENT c/o Anglia Design		DWG. TITLE Tree Layout Plan	
SITE: Archie's Cottage, The Street, Thornham			
DRAWN BY SPM	CHECKED BY SPM	SCALE 1:100 @A1	DATE Nov 2023
DWG NO. OAS 23-329-TS02	REV. 		

Proposed Site Layout Plan 1:200 @ A1



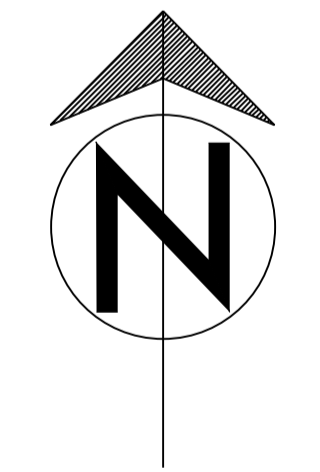
Hoarding to be installed around tree stem up to first branches

Existing access to be used for construction access

Hoarding to be installed around tree stem up to first branches

KEY

- T1 Existing Tree colour referenced in accordance with BS 5837 2005.
- Blue - Cat B Trees of moderate quality and value
- Grey - Cat C Trees of low quality and value
- Root Protection Area as calculated in accordance with BS 5837



REV.	DATE	INITIALS	DETAILS

CLIENT c/o Anglia Design		DWG. TITLE Tree Protection Plan	
SITE: Archies Cottage, The Street, Thornham			
DRAWN BY SPM	CHECKED BY SPM	SCALE 1:100 @A1	DATE Nov 2023
DWG NO. OAS 23-329-TS03		REV. 	

THE STREET