

Dover District Council
Council Offices
White Cliffs Business Park
Whitfield
Dover
CT16 3PJ

Date: 24 November 2023
Reference: KBC/23/039

Dear Sir/Madam

Re: Dumbrill Farm, Dumbrill Lane, Wootton, CT4 6ET

Proposed extension to the existing agricultural building and the creation of a separate wash down bay

Please find enclosed an application for prior approval for the proposed extension to the existing agricultural building and the creation of a separate wash down bay at Dumbrill Farm, Dumbrill Lane.

Application site

The application site comprises a roughly rectangular piece of land and an agricultural barn that serves the land by providing storage for hay and straw bales together with associated farming machinery. The site is located between the A2 to the north-east and Lydden Hill Race Circuit to the south-west.



Fig 1 Site location plan

The site is generally open to the north-eastern and north-western boundaries, and possesses mature trees and hedging along south-eastern and south-western boundaries.



Fig 2 Street scene image from the A2 (Google)

The site is located outside of any defined settlement boundary and within the Kent Downs Area of Outstanding Natural Beauty (AONB).



Fig 3 Aerial photo of the site

Relevant planning history

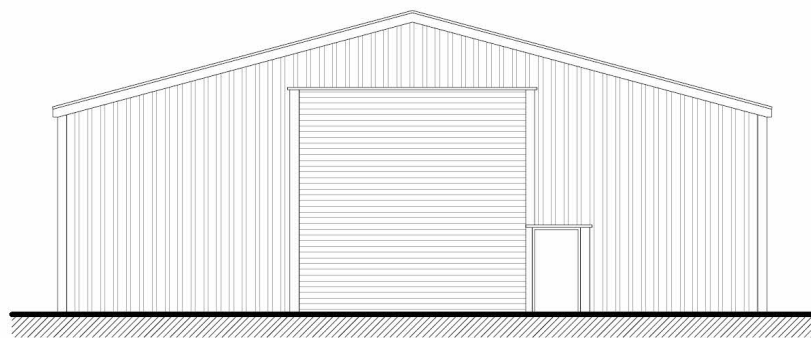
Two recent applications are relevant to the proposals. The first is a withdrawn prior approval application for the erection of two agricultural storage buildings, submitted under reference number 17/00861.

The second application was a follow up prior approval application for the erection of portal framed agricultural building for the storage of hay, straw and farming machinery, submitted under reference number 17/00983. The Council confirmed that prior approval was granted for the proposed development. This permission was implemented and constructed, and the approved building is the subject of this application.

Proposed development

The proposal development relates to the addition of single storey extension to the north-eastern elevation of the existing building and the creation of a separate wash down bay.

The extension to the building will match the width of the existing building and will be approximately 5m deep. The extension will have a mono-pitched roof, which will rise up to a height just below the eaves of the existing building.

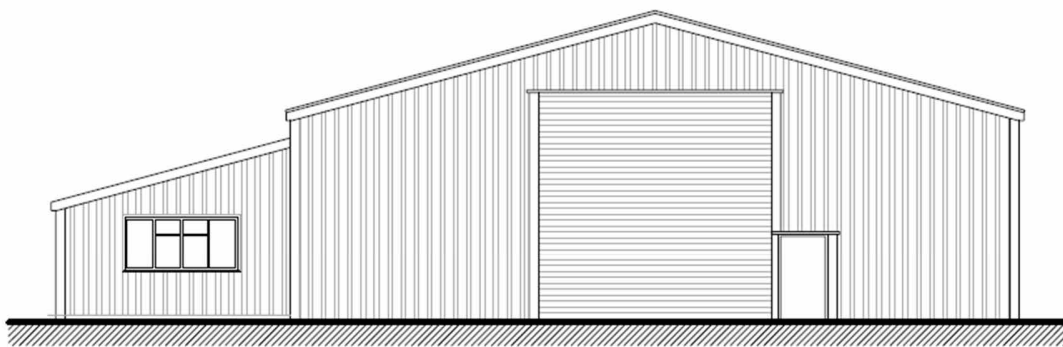


Front Elevation - Existing

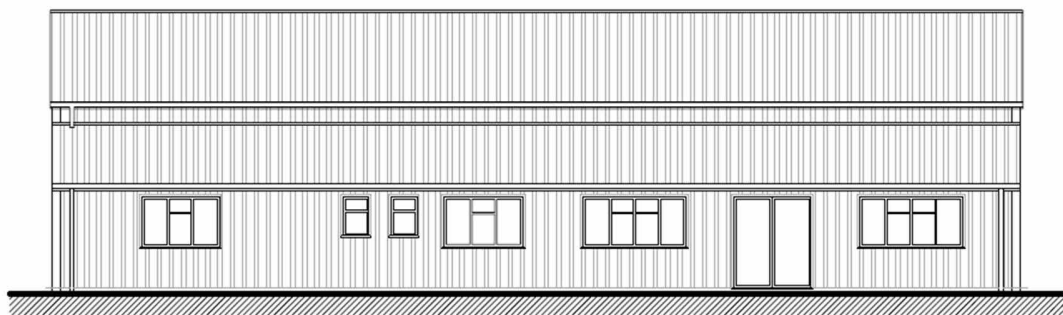


Side Elevation - Existing

Fig 4 Existing elevations of the building



Front Elevation - Proposed



Side Elevation - Proposed

Fig 5 Proposed elevations of the extended building

Materials for the extension are proposed to match those of the existing building.

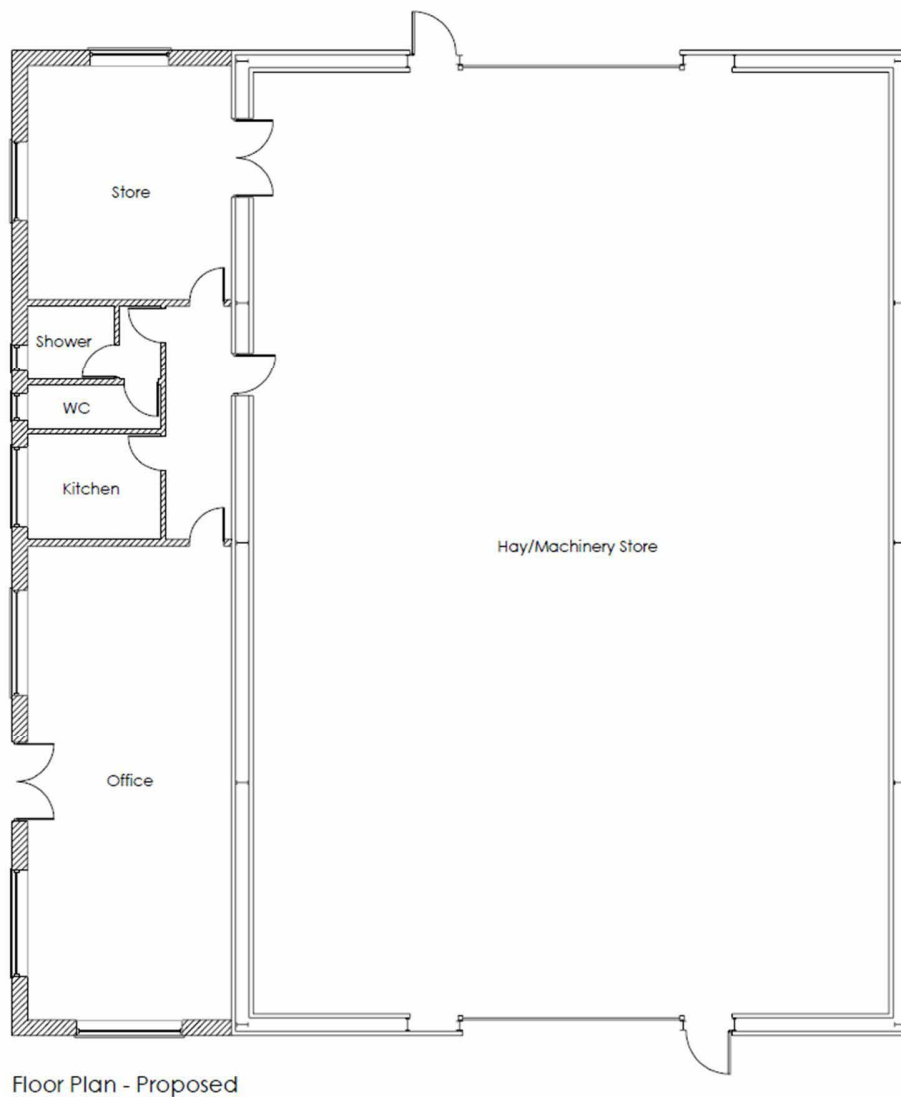


Fig 6 Proposed floor plan of the building

The extension will provide much-needed additional accommodation to support the agricultural functioning of the building and the land and will comprise a parts store, office, kitchen, shower room and WC.

The parts store will provide a secure, structured area for the safe storage of agricultural machinery, parts, spares and equipment, separate to the main hay/machinery store, which is of a necessary open format. The office space is required for the administration and management of the farm business. The WC, kitchen and shower are required to ensure adequate welfare facilities are provided for staff.

The proposed wash down bay will lie to the south-east of the existing building.

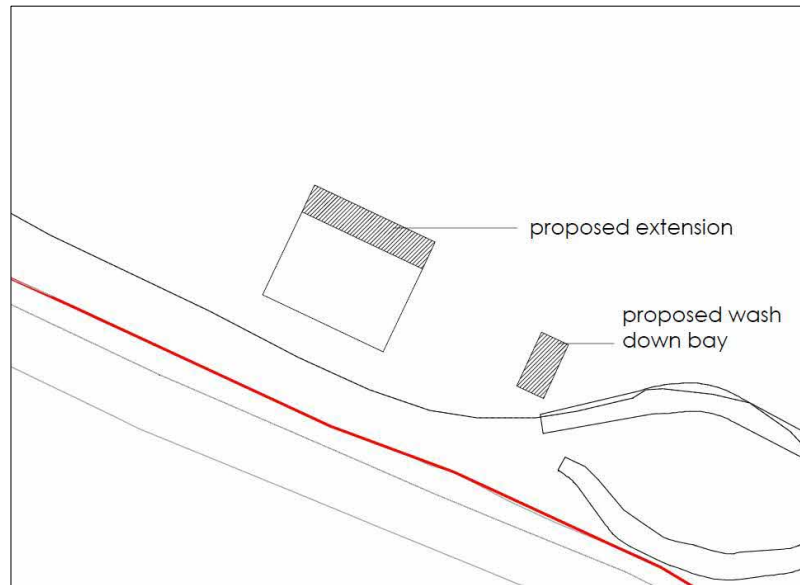


Fig 7 Proposed site layout

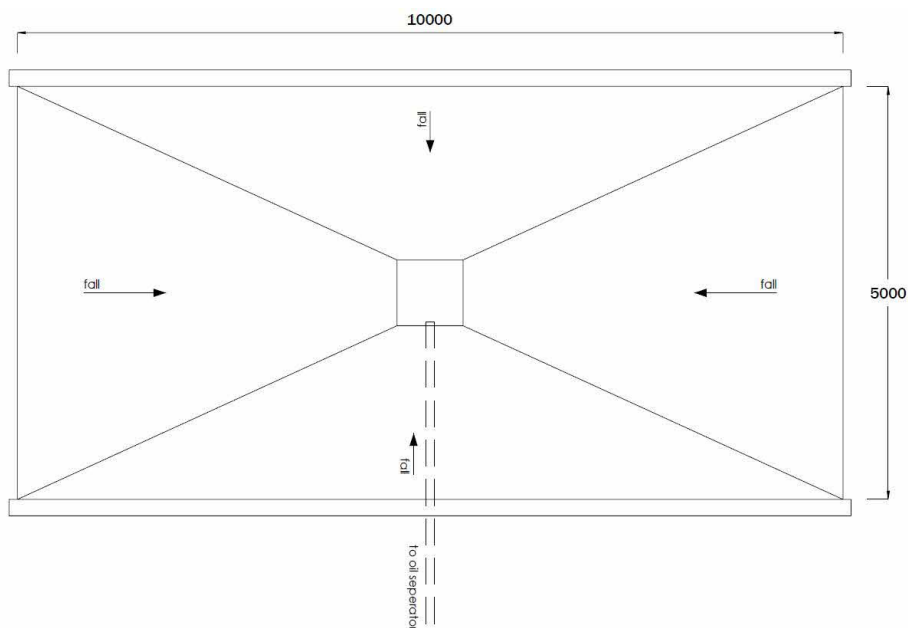


Fig 8 Proposed plan of wash down bay

The wash down bay is required due to the risk of unwanted pests, weeds and diseases carried in on farm machinery each time it enters the farm following work on other agricultural units, particularly during contracting.

The vehicles used and stored on the farm gather a lot of dirt and grime and require regular washing. The wash down bay will manage quarantine, weed and seed hygiene, as well as keeping the farm business compliant with both environmental and regulatory obligations.

The proposed wash down bay will be located away from livestock and crops, have access to power and high pressure water for easy cleaning, and will be close to entry/exit points and be clear of watercourses and drainage lines.

The development is therefore clearly reasonably necessary for the purposes of agriculture within the agricultural unit.

Relevant legislation and assessment

Schedule 2, Part 6, Class A of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) (GPDO) sets out what is permitted development regarding agricultural development on units of 5 hectares or more.

What is deemed to be permitted development is –

“The carrying out on agricultural land comprised in an agricultural unit of 5 hectares or more in area of –

- (a) works for the erection, extension or alteration of a building; or
- (b) any excavation or engineering operations,

which are reasonably necessary for the purposes of agriculture within that unit.”

Given that it has been established that the development comprises an extension to an existing building and an engineering operation within an agricultural unit of over 5 hectares, and the development is necessary for the purposes of agriculture, an assessment of the conditions to be met in paragraphs of A1 and A2 is made below.

Paragraph A.1 states that development is not permitted by Class A if –

- (a) the development would be carried out on a separate parcel of land forming part of the unit which is less than 1 hectare in area;

The development would not since the site area is 7.8 hectares.

- (b) it would consist of the erection or extension of any agricultural building on an established agricultural unit (as defined in paragraph X of Part 3 of this Schedule) where development under Class Q or S of Part 3 (changes of use) of this Schedule has been carried out within a period of 10 years ending with the date on which development under Class A(a) begins;

The development would not since no permitted development has taken place on the site for the change of use of buildings.

- (c) it would consist of, or include, the erection, extension or alteration of a dwelling;

The development would not since the development comprises an extension to an existing agricultural building and the creation of a wash down bay.

(d) it would involve the provision of a building, structure or works not designed for agricultural purposes;

The extended building is designed and proposed for agricultural use, specifically storage of agricultural machinery parts/equipment and a farm office, and as such meets this criteria. The wash down bay is required due to the risk of unwanted pests, weeds and diseases carried in on farm machinery each time it enters the farm following work on other agricultural units, particularly during contracting.

(e) the ground area which would be covered by –

(i) any works or structure (other than a fence) for accommodating livestock or any plant or machinery arising from engineering operations; or

(ii) any building erected or extended or altered by virtue of Class A, would exceed 1,000 square metres, calculated as described in paragraph D.1(2)(a) of this Part;

The development would have a cumulative area less than 1000m².

(f) the height of any part of any building, structure or works within 3 kilometres of the perimeter of an aerodrome would exceed 3 metres;

The proposal complies with this criteria since the site lies more than 3km from any aerodrome.

(g) the height of any part of any building, structure or works not within 3 kilometres of the perimeter of an aerodrome would exceed 12 metres;

The maximum height of the building would be 4m. The proposal complies with this criteria.

(h) any part of the development would be within 25 metres of a metalled part of a trunk road or classified road;

The development would be more than 25m from the nearest trunk road or classified road.

(i) it would consist of, or include, the erection or construction of, or the carrying out of any works to, a building, structure or an excavation used or to be used for the accommodation of livestock or for the storage of slurry or sewage sludge where the building, structure or excavation is, or would be, within 400 metres of the curtilage of a protected building;

The development would not consist of any of these.

(j) it would involve excavations or engineering operations on or over article 2(4) land which are connected with fish farming;

The development would not consist of this.

(k) any building for storing fuel for or waste from a biomass boiler or an anaerobic digestion system –

- (i) would be used for storing waste not produced by that boiler or system or for storing fuel not produced on land within the unit; or
- (ii) is or would be within 400 metres of the curtilage of a protected building.

The development does not comprise any of these.

Paragraph A.2 sets out the conditions by which development must comply –

(1)(a) where development is carried out within 400 metres of the curtilage of a protected building, any building, structure, excavation or works resulting from the development are not used for the accommodation of livestock except in the circumstances described in paragraph D.1(3) of this Part or for the storage of slurry or sewage sludge, for housing a biomass boiler or an anaerobic digestion system, for storage of fuel or waste from that boiler or system, or for housing a hydro-turbine;

The proposal complies with this criteria.

(1)(b) Where the development involves –

- (i) The extraction of any mineral from the land (including removal from any disused railway embankment); or
- (ii) The removal of any mineral from a mineral-working deposit, the mineral is not moved off the unit;

The proposal does not involve any of the above.

(1)(c) waste materials are not brought on to the land from elsewhere for deposit except for use in works described in Class A(a) or in the provision of a hard surface and any materials so brought are incorporated forthwith into the building or works in question.

The proposal does not involve bringing waste materials onto the land.

Criteria laid out in Condition (2) relate to prior approval in respect of the siting, design and external appearance of the works.

The proposed extension would be attached to the existing building and so would be viewed in the context of the existing development on the site. The single storey extension has been designed as a simple addition to the existing building and would appear subservient to the building. The materials, scale and design would be considered in keeping with the agricultural use of the site and the wider rural character of the area.

The wash down bay would be sited close to the existing building and would not appear prominent within the landscape or be of a size or scale to cause harm to the character and appearance of the area. The wash down bay would be acceptable in design and appearance.

The siting, design and external appearance of the development is therefore acceptable.

Conclusion

Given the above, we consider that the proposal is in accordance with Schedule 2, Part 6, Class A of the GPDO, and the Council is therefore invited to approve prior approval for the proposed development at the earliest opportunity.

Yours faithfully

A black rectangular redaction box covering the signature of Kevin Tomsett.

Kevin Tomsett
Director