



Lee Fenton

Planning Services Ltd

PLANNING STATEMENT

THE GRAPES HOTEL

GARSTANG ROAD

ST MICHAELS

PRESTON

LANCASHIRE

PR3 0TJ

FULL PLANNING APPLICATION FOR THE DEMOLITION OF EXISTING BARN &
ERECTION OF NEW BUILDING COMPRISING OF 4 NO. EN-SUITE GUEST ROOMS IN
ASSOCIATION WITH THE EXISTING BUSINESS.

INTRODUCTION

This planning application seeks permission for the demolition of an existing barn and erection of a new building comprising of 4 no. en-suite guest rooms in association with the existing business at The Grapes Hotel, St Michaels.

SITE DESCRIPTION & LOCATION

The application site is located within the countryside village known as St Micheals and comprises of an existing public house / hotel with on site car parking, beer garden and unused barn. The barn is the building that the applicants want to demolish and replace with a new, more modest building to form 4 no. en-suite guest rooms to run alongside the existing business on site.

The surrounding area is predominantly residential with a few various businesses spread out within the village. The site is accessible from the A586 - Garstang Road, the access will not be affected with this application and will therefore remain the same.

The site lies within flood zone 3 and is defended, a separate flood risk assessment with product 4 data has been submitted with this application.

PLANNING HISTORY

The application site has some planning history as listed below;

84/00178 – Renewal of temporary permission for the erection of private garage and use of part of existing outbuildings for sale of crisps, minerals etc. – Permitted.

87/00564 – Renewal of permission for garage and change of use of outbuilding to pop shop – Permitted.

90/00132 – Change of use of first floor function room to en-suite bedroom accommodation – Permitted.

96/00365 – Proposed new entrance foyer to replace existing to enable disabled access – Permitted.

96/00593 – Advertisement consent for an externally illuminated projecting sign – Permitted.

20/00984/FUL – Conversion of existing storage building with external works to create two holiday units in association with the existing business – Permitted.

21/01029/FUL – Demolition of existing garages and erection of new garage building for domestic garaging / storage, with gravel access road and turning – Application withdrawn.

22/00424/FUL – Replacement of domestic outbuildings (dilapidated) with new out buildings to provide garaging for private use of The Grapes Hotel and storage of items ancillary to The Grapes Hotel – Permitted.

PLANNING BACKGROUND

Permission was granted in 2020 for the conversion of this building to form holiday lets in association with the existing business. Due to COVID, work was delayed, leading to three further years of decline & water ingress to the building. As a result, the building is no longer deemed structurally capable of being converted and a large section of the rear wall had now collapsed (right).

An updated structural survey has been carried out and has concluded that the building is in a state of structural instability and should be taken down. Therefore, prior notice for demolition of the building was recently submitted to Wyre Council but the conservation officer stated that as the building has historical importance, he couldn't support it's removal. This new application is therefore submitted with all supporting documents and the support of a local councillor.

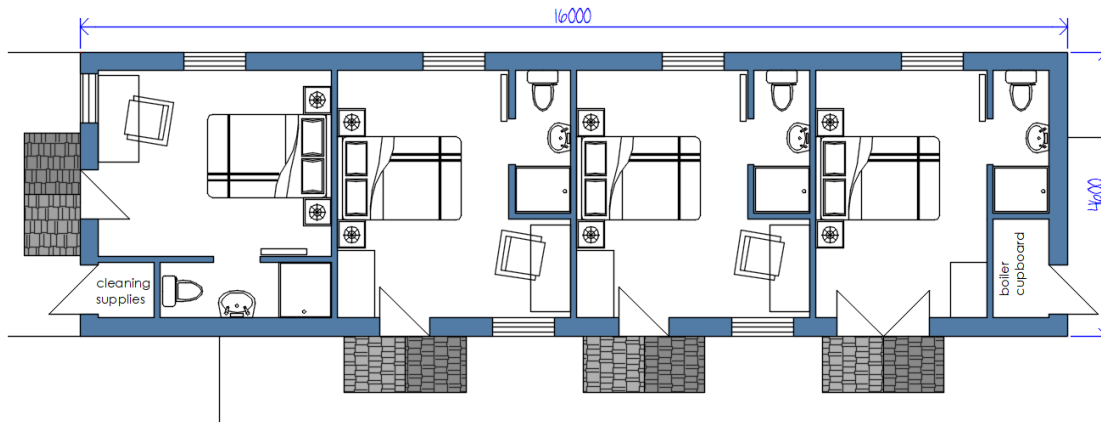


a

It is not financially viable for the business to convert / repair the current building. The alternative, if planning permission is not granted, is that the current decline continues until the building collapses of it's own accord.

PROPOSAL, DESIGN & SCALE

This application seeks planning permission for the demolition of the existing barn and the erection of a new building comprising of 4 no. en-suite guest rooms in association with the existing business on site.



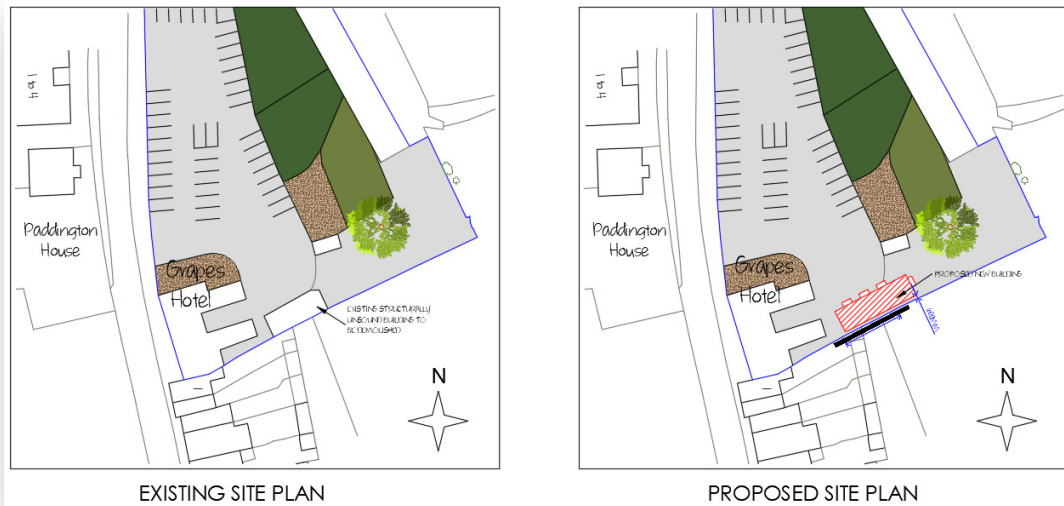
The internal arrangement of the building will create 4 equal rooms with a bed, dressing table, wardrobe & en suite shower room (as below).

The proposed building has been designed to keep visual impacts from the surrounding area to a minimum. The building will be mainly rendered to match the existing colour of the pub with red brick edging and plinth; the red brick will be re-used from the existing barn & used to build small storm porches & feature brick details on the corners. This helps to keep an element of the historic barn.

The proposed building will have a max eaves height of 2435mm and a max ridge height of 4000mm. The height of the proposed building is set lower than the existing barn due to the barn being 2 storey. The subsequent reduction in volume has been compensated by making the new building slightly longer. The existing barn has an overall length of 12900mm, and the proposed building has been designed at 16000mm long.

In addition, the new building is set further into the site, meaning access can be

gained to all four elevations from the application site for maintenance. See existing & proposed site plans below;



HIGHWAY & ACCESS IMPACTS

The existing business on site currently benefits from its own onsite parking and has 2 access points off Garstang Road onto their car park, this will remain unchanged and therefore will create no issues for access or highways.

SUSTAINABILITY STATEMENT

Achieving sustainable development means that the planning system has 3 overarching objectives, which are interdependent and need to be pursued in mutually supportive ways:

- **an economic objective** – to help build a strong, responsive and competitive economy, by supporting growth, innovation and improved productivity;
- **a social objective** – to support strong, vibrant and healthy communities, by fostering well-designed beautiful and safe places, with accessible services that support communities' health, social and cultural well-being; and
- **an environmental objective** – to protect and enhance our natural, built and historic environment; climate change, including moving to a low

carbon economy.

ECONOMIC

The economic objective of this proposal is to keep building an already established business by providing further income for the business and its owners. The proposal could also create more employment opportunities for local people. The proposal will create other economic boosting opportunities for local trades and businesses, there will be sourcing of materials from other local businesses.

SOCIAL

The social objective of this proposal is to create a well-designed building that fits in with the local community and existing business. This application will use accessible services for the whole community and any guests who decide to stay here.

ENVIRONMENTAL

The environmental element of the application comes in the proposed buildings lack of physical harm to the countryside. There is no potential harm to environmental features or ecology.

CLIMATE CHANGE STATEMENT

The Wyre Local Plan Vision Statement refers to a greater emphasis on walking, cycling and access to public transport and low carbon transport options, locating development in areas with lower risk from flooding and harnessing renewable energy. An objective of the LP is "to respond to the challenge of climate change encouraging best use of resources and assets, minimising wastage and ensuring the Borough adapts to climate change" (para. 3.4.1).

An objective of our proposal is to take opportunities "to address any relevant issues arising from climate change and to minimize the use of resources, including energy efficiency".

LP policy SP2 relates to sustainable development and objective 6 states that "development proposals must demonstrate how they respond to the challenge of climate change through appropriate design and by making best use of resources and assets, including the incorporation of water and energy efficiency measures through construction and operational phases, and the reuse and recycling in construction both in the selection of materials and management of residual waste".

A comprehensive landscaping scheme will be implemented on site on completion of the building works. Within the curtilage, landscaping will be kept to a minimum in order to retain the current aesthetic of the site.

Other Factors to consider:

- The site is located within Flood Zone 3 and is defended, a separate product 4 flood risk assessment has been submitted with this application
- The proposals seek to retain natural resources, such as hedgerows and trees wherever possible.
- The proposals will integrate and improve existing natural habitats.

Where possible, materials with a lower environmental impact will be used in any works. This will be achieved through the following:

- Responsible sourcing of materials. Where possible, materials will be sourced locally to reduce carbon transport footprints.
- Any timber will be sourced from sustainable locations.

It will be encouraged that the site will be run in an environmentally, socially considerate and accountable manner.

REFUSE & RECYCLING STATEMENT

The proposed application site provides ample space for the storage and collection of waste & recycling bins. The proposal does not include a new adopted road for LCC Highways therefore the weekly waste collection arrangements can remain as existing.

LIGHTING ASSESSMENT

The proposed does not include any outdoor lighting.

CONCLUSION

This application seeks permission for the demolition of the existing barn and erection of new building to form 4 en-suite guest rooms to be used in association with the existing business onsite. This application seeks to make no changes to access or off-road parking, therefore there are no huge impacts for access and public highways.

The design and layout of the proposed building has been designed with lots of thought in mind, the scale and overall design will be in keeping with the surrounding area and will cause little to no visual impact for the neighbouring

properties and surrounding village.

This proposal represents the expansion / sustainability of an existing business in the St Michaels area, that meets the needs of the target audience. As such this application should be supported by the LPA.

The proposal will not cause any detrimental impacts in terms of flooding, drainage, or neighbour amenity.

It is considered that this application is consistent with the thrust of current planning policies and should therefore be viewed favourably by the local authority.