

10-12 BOURLET CLOSE, WESTMINSTER
HERITAGE IMPACT ASSESSMENT
ISSUE 02
NOVEMBER 2023



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On behalf of Purcell ©

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10-12 BOURLET CLOSE, WESTMINSTER: HERITAGE IMPACT ASSESSMENT

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SECTION 1.0

INTRODUCTION

1.1 REASON FOR THE REPORT

This Heritage Impact Assessment report has been commissioned by the Leith Planning Group as part of a wider suite of documents pertaining to proposed work to 10-12 Bourlet Close (approximate National Grid Reference TQ 29191 81632). The document assesses the heritage impact of the proposals, particularly with regard to the impact on the East Marylebone Conservation Area, but also to a limited extent on the setting of nearby listed buildings.

Although historic, 10-12 Bourlet Close have both been altered quite substantially, particularly No.10, which has been rebuilt significantly, but also very likely Nos.11 and 12 too. Consequently, their interiors are not of interest to this heritage report, and none of the buildings are listed. There are however various listed buildings in the surrounding area, and the site also falls within the East Marylebone Conservation Area, as mentioned above. For these reasons only the building exterior and wider streetscape will be addressed here.

The site proposals comprise extensions to the rear at Nos. 10-12 Bourlet Close and the erection of a mansard roof extension at No. 12 Bourlet Close. The existing plantroom will be relocated to the new flat roof.

The proposed amendments to the approved scheme comprise principally the slight raising of the roof level across Nos.10 and 11 Bourlet Close to accommodate an internal lift overrun, and the alteration to the modern window levels of No.10 Bourlet Close to better integrate with internal floor levels across the full range. There are also a small number of additional amendments that are being sought, but which fall without the scope of this heritage report.

1.2 APPROACH AND METHODOLOGY

This report gives a background context to the site, including the location, internal and external description, and information on the character of the setting. It will also give details on the relevant heritage designations and guidance that applies to this site and its setting. Following this, the history and development of the building and its setting will be described, together with historic development plans showing how the building has evolved over time.

This background will inform the significance assessment, which is based on guidance in Historic England's *Conservation Principles, Policies and Guidance* (2008) and the *National Planning Policy Framework* (2023). An impact assessment will be prepared giving an assessment of the appropriateness of the designs in relation to the heritage values of the building and its setting. Any mitigation measures to reduce harm to heritage will also be identified.

1.3 GAPS IN KNOWLEDGE

Desk-based and archival research was undertaken in 2015/2016 and it is not felt any further research is needed for this report. A site visit was carried out on 10/05/2023 in order to better understand the nature of the study site. Desk-based research has comprised extensive secondary research and historic map regression, while archival research has been undertaken at the London Metropolitan Archives, Westminster Archive Centre and at the Bourlet Company's private archive. This wide information gathering has allowed a full assessment of the historic development and significance of the site and its setting.

Despite the efforts of the author, unfortunately few images have been found in the present phase of research to show the historic appearance of the street-facing elevations of 10-12 Bourlet Close.

1.4 AUTHORSHIP

The report is produced by Purcell, a firm of Conservation Architects and Heritage Consultants. This has been written by Lucie Clark, BA (Hons), MPhil, MSt, Heritage Assistant, and Sally Humphries, BA (Hons) MSc IHBC, Senior Heritage Consultant.

SECTION 2.0

UNDERSTANDING

2.1 SITE DESCRIPTION

Located to the north of the bustling Oxford Street, 10-12 Bourlet Close (approximate National Grid Reference TQ 29191 81632; also known as 'the site') is located in a relatively flat and densely built area of Westminster, which is both residential and commercial in character, frequently within the same building.

Nos.10-12 are, at their core, historic mews buildings, a function shared with many of the other properties on Bourlet Close.

The study site comprises Nos.10, 11 and 12 Bourlet Close, part of a row of historic mews buildings, but with modern alterations both internally and externally.

No. 12 has three storeys, while Nos.11 and 10 are set over four storeys. All are built in a stock brick, with a more yellow brick to Nos.10 and 11, and a more red brick to No. 12. Vertical strips of modern timber sash windows span across the site, with shallow round-arched window heads built from three layers of brick.

At the north-west end of Bourlet Close is a recent housing development that seeks to echo something of the smaller scale of the mews context.

The building stock in the wider setting comprises a similar blend of historic and modern, with mostly nineteenth- and early twentieth-century buildings interspersed with or redeveloped to incorporate more modern buildings with residential, commercial and, occasionally, institutional uses.

■ The Site

This plan is not to scale



Site Location (Baseplan Google Earth 2015)

UNDERSTANDING



The range of commercial and residential buildings on Great Titchfield Street



Twenty-first century development in Bourlet Close



Historic facade of former hospital incorporated into new residential development, Nassau Street



Bourlet Close viewed from Riding House Street

UNDERSTANDING



No. 10 Bourlet Court



No. 11 Bourlet Court



A view of the study site from the north end of Bourlet Court



No. 12 Bourlet Court

UNDERSTANDING

2.2 SETTING AND CONTEXT

2.2.1 Listed Buildings

The site itself is unlisted, but there are a number of listed buildings within the wider vicinity. These are marked on the plan adjacent, with the listing descriptions for the closest buildings reproduced in Appendix B below. The site can only be considered to fall within the wider settings of buildings A and B as marked on the plan below, although it is of further note that the interrelationship between these buildings is in areas without public access.

The numerous listings reflect the architectural and historic interest of the wider area, particularly the primary late eighteenth-century development of the area for residential use, and subsequent residential development at the turn of the twentieth century.



Listed Buildings (Baseplan Google Earth 2015)

A	20 Nassau Street W1	Grade II
B	23 Nassau Street W1	Grade II
C	26 Nassau Street W1	Grade II
D	10 Mortimer Street W1	Grade II
E	Middlesex Hopsital Chapel	Grade II*
F	59 and 61 Riding House Street W1	Grade II*
G	Tower House	Grade II
H	40 Foley Street W1	Grade II
I	All Souls' Church Day School	Grade II
J	18, 20 and 22 and attached railings	Grade II
K	16 and attached railings	Grade II
L	Sanderson Hotel (Formerly Sanderson House)	Grade II*
M	34-38 Mortimer Street	Grade II
N	42 and 44 Mortimer Street W1 (See details for further address information)	Grade II
O	42 Langham Street W1	Grade II
P	40 Langham Street W1	Grade II
Q	38 Langham Street W1	Grade II
R	Maitland Cook (The London Private Hospital)	Grade II
S	73-77 Great Titchfield Street W1	Grade II
T	101-93 Great Titchfield Street W1	Grade II
U	Church of St Charles Borromeo	Grade II
V	St Charles' Presbytery	Grade II
W	37 Foley Street W1	Grade II
X	Belmont House	Grade II

- The Site
- Grade I
- Grade II*
- Grade II

This plan is not to scale

UNDERSTANDING



59 and 61 Riding House Street W1



Belmont House



10 Mortimer Street W1



All Souls' Church Day School

UNDERSTANDING

2.2.2 Conservation Area

The site falls within the East Marylebone Conservation Area, the character of which is defined in the East Marylebone Conservation Area Appraisal document (adopted 2006) and reproduced below.

The Conservation Area was first designated in 1982, and extended to include the Middlesex Hospital site on Mortimer Street in 1990. It is bounded by Regent Street and Harley Street Conservation Areas to the west, Soho Conservation Area to the south, Charlotte Street Conservation Area to the west, and Bloomsbury Conservation Area (within Camden) to the east.

Bourlet Close is mentioned specifically in the appraisal document, highlighting the retention of original loading bays and hoists on the converted nineteenth-century warehouse buildings to the south of the study site. A photo included in the appraisal is reproduced below, and showing the blocking of the southern ground floor doorway to No. 10 Bourlet Close.

It should be noted that the appraisal pre dates the building's conversion into offices.

- Site
- Westminster Boundary
- East Marylebone Conservation Area

This plan is not to scale



(Baseplan Google Earth 2015)

UNDERSTANDING



Great Titchfield Street



Oxford Street to the south



The junction between Mortimer Street and Great Titchfield Street



Mews buildings, Wells Street

UNDERSTANDING

4 Character of the Conservation Area

GENERAL

4.1 East Marylebone today is characterised by its diverse townscape and the range and interest of its buildings and uses. It has a very urban character, with a rich mix of building types and styles; ranging from offices, light-industrial buildings and shops to terraced housing and mansion blocks.

4.2 Yet despite its prevailing urban character and central location, the atmosphere of East Marylebone, with the notable exception of Oxford Street, is striking for its calm. Few tourists visit this area, which retains a considerable working and growing residential population, and provides a distinct contrast to the more entertainment-focused areas to the south of Oxford Street.

4.3 A shift in character is, however, discernible in moving from the south to the north of the Conservation Area. In the south, buildings are predominantly in commercial use, with a wide range of shops and offices focused around the streets behind Oxford Street and Regent Street. These buildings are generally of a relatively large scale, many dating from the early 20th century.

4.4 The northern half of the Conservation Area feels increasingly residential, although the scale of buildings remains substantial. Many of the buildings in this part pre-date the mid-20th century and include a wide range of small shops, public houses and mansion blocks. The re-development of this part of the Conservation Area during the late Victorian/Edwardian era engenders a distinctive sense of place.

4.5 There are also a wide range of warehouses and mews throughout the Conservation Area, contributing to an industrial character in parts. To the north-east, there are a number of warehouses and the area is currently dominated by the bulk of the Middlesex Hospital.⁰¹

01 City of Westminster, 'East Marylebone Conservation Area Audit' (2006), http://transact.westminster.gov.uk/docstores/publications_store/East%20Marylebone%20CAA%20SPG.pdf



Bourlet Close as depicted in the East Marylebone Conservation Area Appraisal. To note is the blocked south doorway of No. 10 Bourlet Close, just visible on the left side of the photograph.

UNDERSTANDING

2.3 VIEWS

Views towards the site from the wider streetscape are extremely limited, as is demonstrated by the views diagram adjacent. The most important views towards the site are from within Bourlet Close to north and south of Nos.10-12 [Views 2 and 3]. There is also a very restricted view from Riding House Street to the north-west of the site [View 1], but in passing this is fleeting.

It is of note that, historically speaking, the view towards the mews buildings from the wider streetscape was not intended by architectural design but arose out of the practical need to access to these service buildings. The transition is frequently marked by a narrowing at the junction between the main street and the mews beyond, as is the case at Bourlet Close.

■ The Site

This plan is not to scale



(Baseplan Google Earth 2015)

UNDERSTANDING



View 1: The site viewed from Riding House Street to the west



View 2: The site viewed from Riding House Street to the north



View 3: The site viewed from Bourlet Close to the south



View 4: There is no view through to the site from Nassau Street



View 5: Buildings on Nassau Street form a continuous range, blocking views to the site



View 6: There are no views into the site from either Wells Street or Mortimer Street

SECTION 3.0

HISTORIC DEVELOPMENT

EARLY HISTORY OF THE SITE

The area of East Marylebone remained largely rural and beyond the boundaries of London until the acceleration of speculative development in the area during the mid eighteenth century. This process was facilitated by numerous wealthy land-owning families who owned large tracts of land across London and its environs, and was driven by commercial developers who purchased the rights to build houses on these parcels of land without acquiring ownership of the land itself.

Consequently, the architectural and spatial development of London as it expanded throughout the eighteenth, nineteenth

and twentieth centuries has been shaped fundamentally by these family-owned estates, such as the Cavendish Estate, the Grosvenor Estate, and the Portman Estate. The formally arranged squares, crescents and circuses of neo-Classical residential ranges that so characterise this part of London were the first products of this relationship between land-owner and builder.

Our study site too has played a small part in this story, falling within the jurisdiction of the Berners Estate. The Berners family eventually acquired the land in the late seventeenth century following the breaking up of ecclesiastical lands during Henry VIII's Reformation in the 1530s. Concurrent with developments in the Cavendish

Estate lands to the west of the site, the Berners Estate lands in the eastern part of St Marylebone were also developed for housing from the mid eighteenth century onwards.

With specific regard to the study site, the 1769 Rocque map shows that buildings were erected on the study site by the latter part of the eighteenth century, but no further details of these buildings have been established at this stage. To the north of the study site, just visible in the area detail of the 1769 map below, development peters out, capturing the area in a critical moment of change. It is of final note here that there is little of the surviving building within and around the study site that relates stylistically to the eighteenth-century development of the Berners Estate.



The East Marylebone area as depicted in the 1769 Rocque map



A detail of the site, 1769 Rocque map

HISTORIC DEVELOPMENT

NINETEENTH CENTURY

As is apparent from the surviving fabric, development and renewal of the building stock in East Marylebone continued throughout the nineteenth century. Extending and superseding earlier housing stock, later buildings in this area are smaller than those preceding, more closely spaced, and with smaller window and door apertures, in keeping with stylistic and regulatory changes which occurred during this period.

As was the case with the study site, alongside the main residential and commercial buildings were erected auxiliary mews buildings. These mews buildings housed commercial and semi-industrial operations, such as workshops, storage and infrastructure for horse transport. Accordingly, Nos.10 and 11 Bourlet Close have a historic association with Nos.17 and 18 Nassau Street, while No. 12 Bourlet Close has a historic association with No. 19 Nassau Street.

A map of London in 1832 demonstrates that the eighteenth-century pattern of development continued into the nineteenth century, and wider East Marylebone was densely developed by the 1830s. Indeed, the street and building pattern of the area in 1832 is broadly comparable to the street and building pattern today.

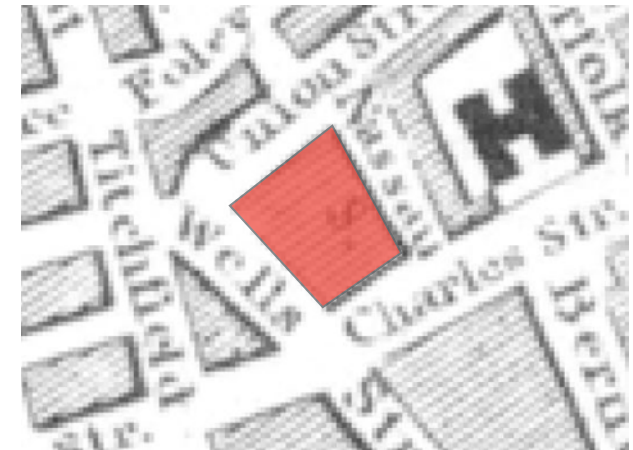
Greater detail of the study site is provided in the first edition Ordnance Survey (OS) map of 1862-72, which highlights several key differences in the site at this time. In particular, Bourlet Close and Riding House Street were named Union Mews and Union Street respectively, but shall be referred to throughout this site history and the report more broadly by their current names for clarity.

Further, there were two access routes into Bourlet Close (or Union Mews): from the north end of Bourlet Close, much as today, and via Wells Buildings to the west, a route that no longer exists. The buildings too take a different form than they do today, which supports the suggestion that the buildings depicted in the first edition OS map are earlier than those which stand today.

By the publication of the second edition OS map in 1896, little change is depicted within the wider area. The study site (marked in red) is however of some interest, showing the alteration of the areas between Nos.10, 11 and 12 Bourlet Close and Nos.17, 18 and 19 Nassau Street.



The East Marylebone area as depicted in the United Kingdom Newspaper map of 1832



A detail of the site in 1832

HISTORIC DEVELOPMENT

NINETEENTH CENTURY (CONTINUED)



The East Marylebone area as depicted in the first edition OS map, 1862-72



A closer view of the study site, 1862-72



A detail of 10-12 Bourlet Close, 1862-72

HISTORIC DEVELOPMENT

NINETEENTH CENTURY (CONTINUED)



The East Marylebone area as depicted in the second edition OS map, 1896



A detail of the site in 1896

BOURLET COMPANY, EST. 1864

In terms of the use of the study site over the course of the nineteenth century, it has not been established during the present research details of the earliest buildings on the site. From the 1860s however there is greater clarity in terms of the site's use.

From 1864 Arthur James Bourlet, who founded the picture framing company Bourlet, still operating today, ran his business from No. 17 Nassau Street (also known as Titian House), with No. 12 Bourlet Close serving as a workshop to the business.⁰¹ In 1895 Bourlet expanded into No. 18 Nassau Street, with No. 11 Bourlet Close providing additional workshop space.

In 1908 the Bourlet Company may have let go their use of Nos.11 and 12 Bourlet Close, at the same time as the Bourlet brothers' bankruptcy. Although the business was sold to the David Blackley (1863-1947), an Edinburgh-born theatre designer, the new owner retained the existing company name and premises.⁰²

Although the mews buildings appear to have been let go by the company in 1908, 1934 Berners Estate sale particulars group together the freehold ground rent of Nos.17 and 18 Nassau Street and Nos.11 and 12 Bourlet Close under the aegis of "Titian House".⁰³ The freehold ground rent of No. 10 Bourlet Close is also for sale at this time, but as a distinct entity.⁰⁴

1950s photographic evidence from the Bourlet Company's private archive (reproduced and discussed further below) suggests that the top floor of No. 10 Bourlet Close was in use as a workshop for the Bourlet Company in this decade. These photographs also provide the first partial evidence of the physical appearance of the study site, specifically No. 10 Bourlet Close. Unfortunately, no evidence for the status of Nos.11 and 12 in relation to the Bourlet Company have been found for this period.

In 1974 the Bourlet Company's historic association with the study site came to an end when the company moved to 36 Dover Street, and by the end of the decade the buildings appear to have been remodelled significantly.

⁰¹ <http://www.npg.org.uk/research/conservation/directory-of-british-framemakers/b.php>

⁰² <http://www.npg.org.uk/research/conservation/directory-of-british-framemakers/b.php>

⁰³ London Metropolitan Archives, O/489/001

⁰⁴ London Metropolitan Archives, O/489/001

HISTORIC DEVELOPMENT

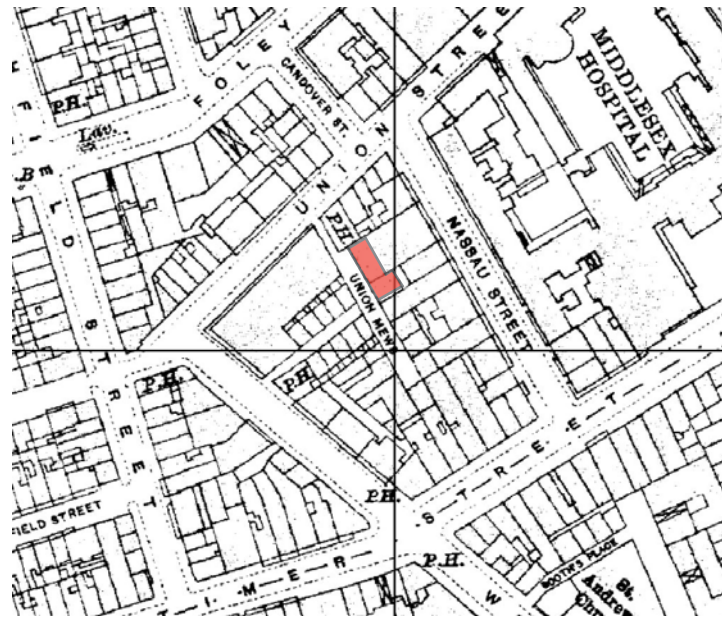
1908

As noted above, in 1908 the Bourlet Company may have let go their leaseholds of Nos.11 and 12 Bourlet Close when the company was sold.

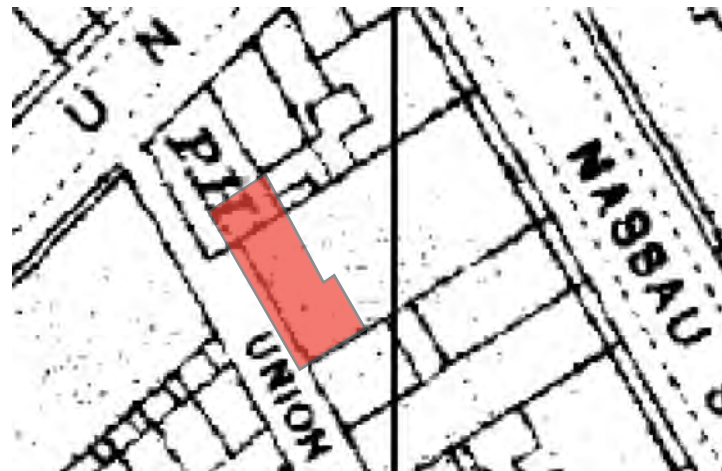
1916

The next depiction of the study site is in the third edition OS map of 1916. This shows significant changes to the site and the wider area. The buildings on the north-west side of Bourlet Close have been rebuilt, and there is also now a public house on the eastern side of the access into Bourlet Close from Riding House Street to the north.

The site itself has also changed significantly, with Nos.17 and 18 Nassau Street and Nos.11 and 12 Bourlet Close depicted as one block. No. 19 Nassau Street and No. 10 Bourlet Close also have footprints that differ to earlier forms, suggesting the infilling and alteration of the rear parts of both buildings.



The East Marylebone area as depicted in the second edition OS map, 1916



A detail of the site in the 1916 OS map edition

1934

In 1934 the freehold ground rents of Nos.10, 11 and 12 Bourlet Close were put up for sale by the Berners Estate. Interestingly, Nos.11 and 12 Bourlet Close were grouped with Nos.17 and 18 Nassau Street as "Titian House", while No. 10 was sold as a single entity. The sale particulars for these buildings are reproduced here as they provide important details of the uses of the study site.

Lot 14

The Business Premises

Known as

"Titian House"

Nos.17 & 18, Nassau Street

& 11 & 12, Union Mews, Mortimer Street, W.1

Having a Frontage to Nassau Street of about 45ft. 9in., with an average Depth of about 86ft. 11in., and a Frontage to Union Mews of about 46ft. 3in., with a Back Entrance therefrom. Total Site Area of about 4,000 sq. ft.

Comprising a Brick-built Building of Ground Floor, Basement, and Three Storeys over, the whole consisting of a Block of Showrooms and Workrooms, with Flats over.

On the Three Upper Floors Five Flats of Four Rooms each.

On the Ground Floor Large Showroom, with Two Galleries behind.

In the BasementWorkshops.

At the rear are Two Buildings of Ground Floor and Two Storeys over, communicating, and comprising Galleries on Ground Floor, with Workshops over, and known as Nos.11 and 12 Union Mews.

The Premises are let on one Lease for a term of 70 years from the 24th June, 1893 (thus expiring at Midsummer, 1963), at a Ground Rent of Per £70 ann.

With reversion in 1963 to the Estimated Rack Rental Value of

Per £1250 ann.

The Lessee Repairs, pays all Outgoings, and repays Insurance Premium.⁰⁵

⁰⁵ London Metropolitan Archives, O/489/001

HISTORIC DEVELOPMENT

Lot 22

No. 10, Union Mews, Union Street, W.1

Having a Frontage to Union Mews of about 23ft. 2in., with an average Depth of about 28ft. 5in., and a Site Area of about 650 sq. ft.

Comprising a Workshop on the Ground Floor, Basement, and Three Storeys of Workshops over.

The Premises are let on Lease for a term of 60 years from the 24th June, 1893 (thus expiring at Midsummer, 1953),

at a Ground Rent of

Per £20 ann.

With reversion in 1953 to the Estimated Rack Rental Value of

Per £120 ann.

The Lessee Repairs, pays all Outgoings, and repays Insurance Premium.⁰⁶



(London Metropolitan Archives, O/489/001)

⁰⁶ London Metropolitan Archives, O/489/001

HISTORIC DEVELOPMENT

1950s

BOURLET COMPANY ARCHIVES

There are a number of images that survive in the private archives of the Bourlet Company that date to the 1950s. Several photographs help to contextualise the Bourlet Company's use of the study site, although they do not assist with the task of identifying its historic appearance.

There is one image however – a view from Wells Buildings to the west, looking directly towards No. 10 Bourlet Close – that provides clear evidence of the historic form of No. 10. The photograph shows that historically it closely resembled its neighbours to the south, Nos.9 and 8, and also demonstrates the substantial remodelling of the front elevation of No. 10 since the 1950s.

The identification of the building as No. 10 Bourlet Close is corroborated both by a note on the verso of the photograph, and by plotting the location of the photograph on a contemporary OS map.

Although it suggests perhaps that Nos.11 and 12 Bourlet Close may also have resembled Nos.10, 9 and 8, no clear evidence has been found in the present research to substantiate this assertion.



A copy of a painting by John Cole of the Bourlet building, Nassau Street (reproduced with kind permission of Bourlet Company)



Bourlet staff handling a statue of Britannia at an unidentified location – possibly Bourlet Close – although the glazed brickwork of the doorway does not match anything visible on site today (reproduced with kind permission of Bourlet Company)

HISTORIC DEVELOPMENT



A 1950s photograph showing the view towards No. 10 Bourlet Close, from Wells Buildings to the west (reproduced with kind permission of Bourlet Company)

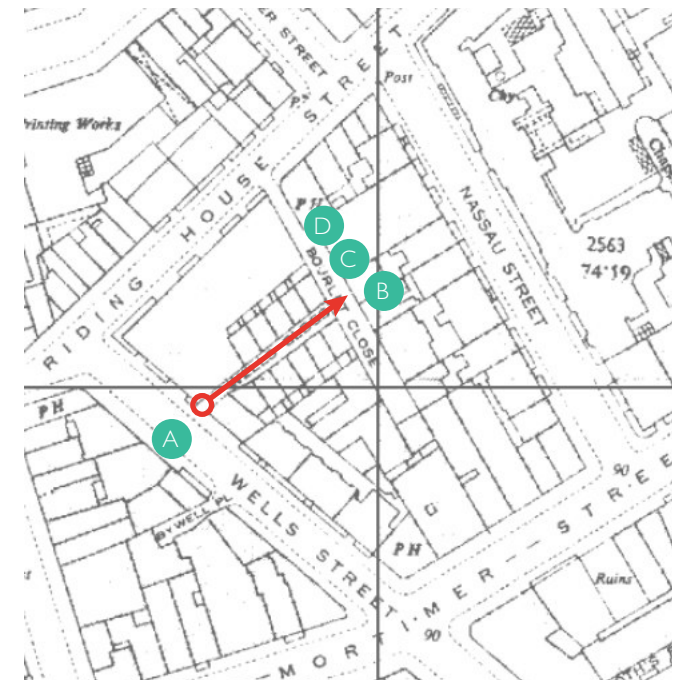
[Noted on the back on the photograph]
 Wells Buildings Bourlet Close
 At end No 10 Bourlet Close
 With the Frame Studio on the
 Top Floor



No. 9 Bourlet Close, which retains its historic appearance lost by No. 10 Bourlet Close



No. 8 Bourlet Close also shares this pattern of fenestration with Nos.9 and 10 (now lost)



The photograph plotted on the 1954 OS map

- A The location of the photographer
 - B 10 Bourlet Close
 - C 11 Bourlet Close
 - D 12 Bourlet Close
- This plan is not to scale

HISTORIC DEVELOPMENT

1960s

Although somewhat indistinct, the 1968-70 OS map captures a period of major change in the wider area. Wells Buildings is clearly in the process of being demolished, resulting in the loss of this western access route to Bourlet Close. Otherwise, the study site itself looks much the same as it is depicted in the 1954 OS map.



The East Marylebone area as depicted in the 1968-70 OS map



A detail of the site in 1968-70

HISTORIC DEVELOPMENT

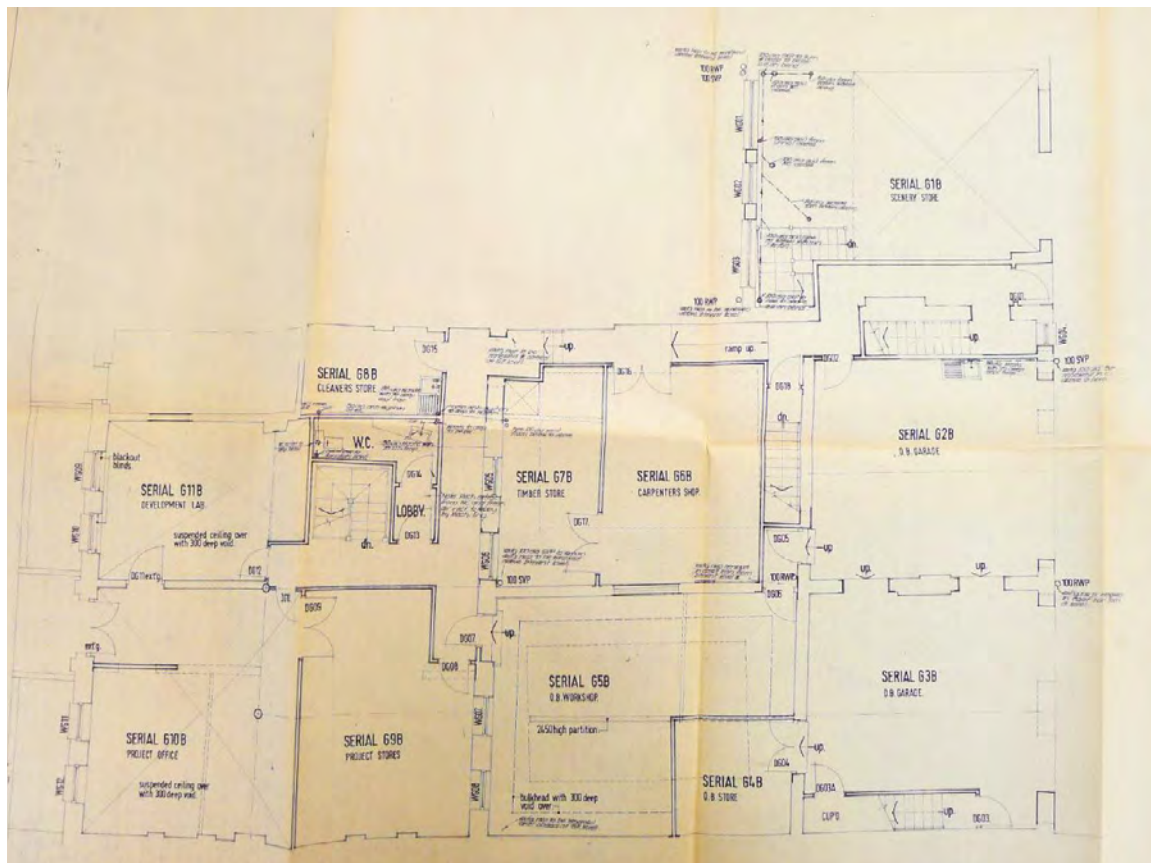
1970s

In 1974 the Bourlet Company moved premises for the first time in over a century. Shortly after this the study site appears to have undergone a significant period of alteration, particularly to the front elevations of Nos.10, 11 and 12 Bourlet Close.

A series of drainage plans for the site dating to 1977 – the first historic floor plans for the study site – show several key details.⁰⁷ Firstly they show the room functions in this period, which are now clearly in office use. They also demonstrate that Nos.10, 11 and 12 Bourlet Close were by this stage all part of a single site and they were still connected to Nos.17 and 18 Nassau Street.

Finally and most critically the arrangement of the windows depicted on the plans matches their current arrangement across all three buildings. This demonstrates that the front elevation of No. 10 – and perhaps Nos.11 and 12 too – had been remodelled substantially by this stage to their existing appearance.

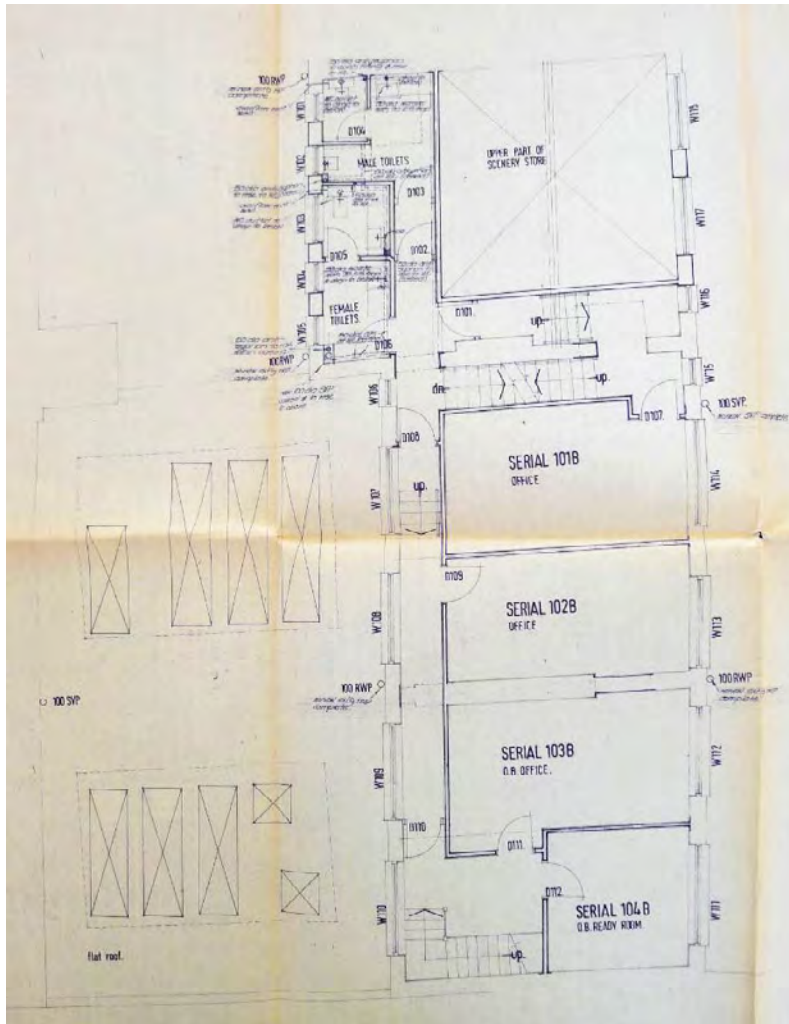
The discernible difference in the brickwork between No. 10 and Nos.11 and 12 - No. 10 having a slightly more orange / red stock brick in contrast to the more yellow stock brick of Nos.11 and 12 – may perhaps suggest that only No. 10 was altered from its historic form. However, this change in brickwork colour may also conceal a wider remodelling of the range, but this line of thought cannot be taken any further at the time of writing due to a lack of documentary evidence.



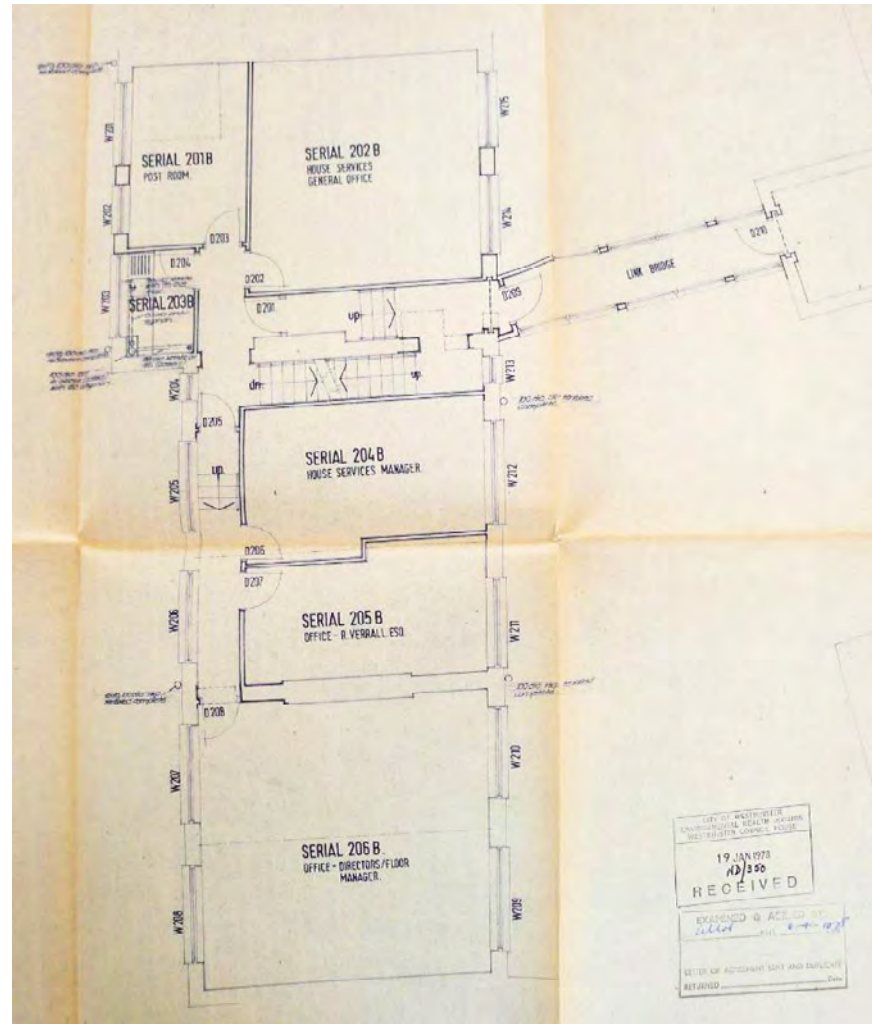
Ground floor plan (Westminster Archive Centre, WDP2/0370/11)

⁰⁷ Westminster Archive Centre, WDP2/0370/11

HISTORIC DEVELOPMENT

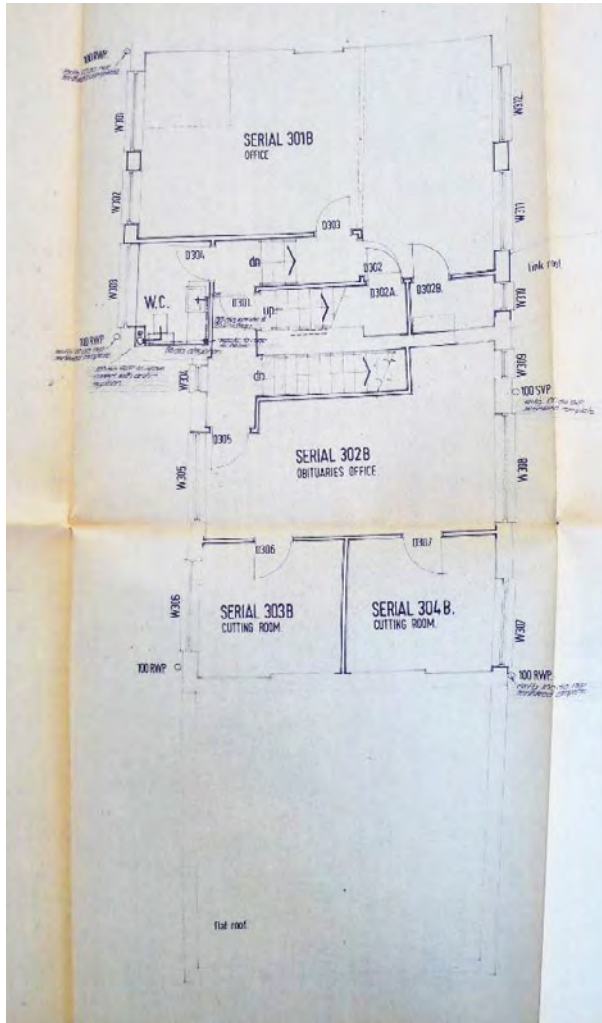


First floor plan (Westminster Archive Centre, WDP2/0370/11)



Second floor plan (Westminster Archive Centre, WDP2/0370/11)

HISTORIC DEVELOPMENT



Third floor plan (Westminster Archive Centre, WDP2/0370/11)

To the Present

Since the 1970s, Nos.10, 11 and 12 Bourlet Close have remained in office use, although in more recent years the buildings have stood empty. During this period of disuse, they have been altered and features and fittings have been stripped-out in preparation for an unrealised scheme.

In 2015 a scheme was put forward to convert the site into offices, and in the process to restore something of the historic character of the mews buildings and to enhance their tired appearance. The building now reflects that scheme in its appearance and condition.

HISTORIC DEVELOPMENT

3.2 HISTORIC DEVELOPMENT PLANS



(Baseplan Google Earth 2015)

- Eighteenth Century
- Nineteenth Century
- Nineteenth Century with modern restoration/conversion
- Nineteenth Century with modern rebuilding/remodelling
- Late Nineteenth/Early Twentieth Century
- Early Twentieth Century
- Late Twentieth Century/Early Twenty-First Century

This plan is not to scale

SECTION 4.0

STATEMENT OF SIGNIFICANCE

4.1 INTRODUCTION AND METHODOLOGY

People may value a place for many reasons beyond utility or personal association: for its distinctive architecture or landscape, the story it can tell about its past, its connection with notable people or events, its landform, flora and fauna, because they find it beautiful or inspiring, or for its roles as a focus of a community.⁰¹

The significance of the site and its place within the wider context of the East Marylebone Conservation Area are both defined in greater detail using Historic England's assessment criteria set out in their best-practice guidance document, *Conservation Principles, Policies and Guidance* (2008). Their criteria are as follow:

Evidential value: the potential of a place to yield evidence about past human activity.

Historical value: the ways in which past people, events and aspects of life can be connected through a place to the present – it tends to be illustrative or associative.

Aesthetic value: the ways in which people draw sensory and intellectual stimulation from a place.

Communal value: the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory.⁰²

As well as adopting Historic England's best-practice guidance, the degree of significance will be judged on the basis of the following scale:

- **High:** A theme, feature, building or space which is important at national or international level, with high cultural value and important contribution towards the character and appearance of the heritage asset and its setting.
- **Medium:** Themes, features, buildings or spaces which are important at regional or national level, with some cultural importance and some contribution towards the character and appearance of the heritage asset and its setting.
- **Low:** Themes, features, buildings or spaces which are usually of local value only but possibly of regional significance for group value. They are of minor cultural importance and make a minor contribution to the character or appearance of the heritage asset and its setting.
- **Neutral:** These themes, spaces, buildings or features have little or no cultural value but do not detract from the character or appearance of the heritage asset and its setting.
- **Intrusive:** Themes, features, buildings or spaces which detract from the values of the heritage asset, its setting, character and appearance. Efforts should be made to remove or enhance these features.

4.2 STATEMENT OF SIGNIFICANCE

Overall, Nos.10-12 Bourlet Close can be attributed with neutral to low heritage significance. The East Marylebone Conservation Area can more broadly be considered to hold medium heritage significance for the architectural and historic qualities of the wider streetscape, including high value Grade II-listed Nos.20 and 23 Nassau Street, but it is also interspersed with some neutral and intrusive elements.

The historic research has demonstrated that the site had been altered considerably from its historic form both internally and externally prior to its refurbishment in 2015, particularly the street-facing elevation of No. 10 Bourlet Close but also very likely the street-facing elevations of Nos.11 and 12 too. These alterations have lowered the site's historic, architectural and industrial interest, resulting in an attribution of neutral to low historic value.

The site has nonetheless retained a sense of its former historic semi-industrial character through features such as a winch bracket, as well as retaining original proportions. The vertical form (as opposed to the materials and appearance) of the fenestration, although not original perhaps, also follows a pattern sympathetic to the historic mews character. Additionally, the 2015 alterations to the building reinstated a sense of historic character to the mews elevations through the insertion of historically appropriate windows and retaining larger openings at ground floor level. This has preserved some sense of the site's historic function as a mews building within the wider context of the East Marylebone Conservation Area.

There is also low historic interest in the site as a former picture frame workshop for the notable Bourlet Company for over a century. This association is enhanced by the survival of a number of photographs in the private Company archives, which indicates the site's use in the latter part of this period. In terms of fabric however

⁰¹ Historic England, 'Conservation Principles', p.27, <https://content.historicengland.org.uk/images-books/publications/conservation-principles-sustainable-management/historicenvironment/conservationprinciplespoliciesguidanceapr08web.pdf/>

⁰² Historic England, 'Conservation Principles', p.7, <https://content.historicengland.org.uk/images-books/publications/conservation-principles-sustainable-management/historicenvironment/conservationprinciplespoliciesguidanceapr08web.pdf/>

STATEMENT OF SIGNIFICANCE

there is nothing surviving of these workshops, which means that they hold neutral potential evidential value as a means of finding out more about the operation of these framing workshops. This absence of evidential potential also applies to their historic connection to Nos.17 and 18 Nassau Street, which provided offices and sales rooms for the company.

In the wider setting, research has further demonstrated that the form and layout of Bourlet Close has also been altered. Change is particularly evident on the north-west side, with the demolition of Wells Buildings and the buildings to the north of this, which was followed by the subsequent building over of the western Wells Buildings passage and north-western buildings with new residential development.

A number of historic buildings have also been renewed in the wider area, for example the site of the former Middlesex Hospital buildings on the western side of Nassau Street. These buildings have been rebuilt entirely except for the Grade II*-listed chapel enclosed within the site historic, and the Nassau Street hospital elevation, which has been integrated into the street-facing elevation of the new development.

There are however also a number of buildings in the wider area of greater historic and architectural interest. In Nassau Street to the east, Nos.20 and 23 can be considered – from upper levels of the rear of the buildings only – to be within the setting of the study site. These Grade II listed buildings are of high heritage significance for their architectural qualities, and it is of further note that they have a loose historical association with the study site as part of the range of grand houses for which the mews buildings were service spaces. However, the area of intersection between these buildings and the study site does not make a significant contribution their primary heritage significance. The setting to the rear of Nos. 20

and 23 has altered over time and no longer strongly contributes to the setting of the buildings. What would have historically been garden space has been partly occupied by various extensions and outbuildings, both to the terrace houses fronting Nassau Street and the Mews houses on Bourlet Close. This has created a visual separation between the terrace houses and the mews which lessens the contribution of the mews to the setting of listed buildings.

In Bourlet Close, there are numerous historic street-facing elevations, particularly Nos.8 and 9 Bourlet Close (which also relate closely to the historic form of No. 10 Bourlet Close), in addition to other buildings at the southern end of Bourlet Close. Although all of these buildings have been refurbished, nonetheless they retain a strong sense of their historic character, serving to 'enhance the character or appearance of the area'. This is achieved through the retention of their historic proportions and fenestration patterns, the use of appropriate materials for the refurbishment of visually prominent areas, and the restoration of important surviving historic features, such as winch brackets.

Further, the retention of an industrial mews character and appropriate scale for the infill buildings, as well as some of the historic public realm materials and features – such as cobble stones and cast-iron lamp posts – all contribute to the legibility of the historic character of this street within its wider context. These elements can accordingly be attributed with neutral to medium historic value within the wider Conservation Area.

Otherwise, the communal value of the site and immediate setting is neutral to low, attracting little communal interest. An exception to this is perhaps the association with the Bourlet Company, which is of some interest within the art historical world – for example, to the National Portrait Gallery – who have compiled research about the Bourlet Company as part of their research directory of British framemakers, carvers, and guilders.⁰³

03 <http://www.npg.org.uk/research/conservation/directory-of-british-framemakers>

STATEMENT OF SIGNIFICANCE



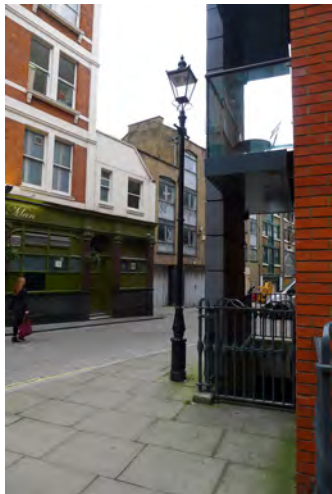
A view of the elevations of Nos.10-12 Bourlet Close, showing the full view of the fenestration



No. 5 Bourlet Close, which retains its historic street-facing elevation



Historic cobble stones at Bourlet Close elevation



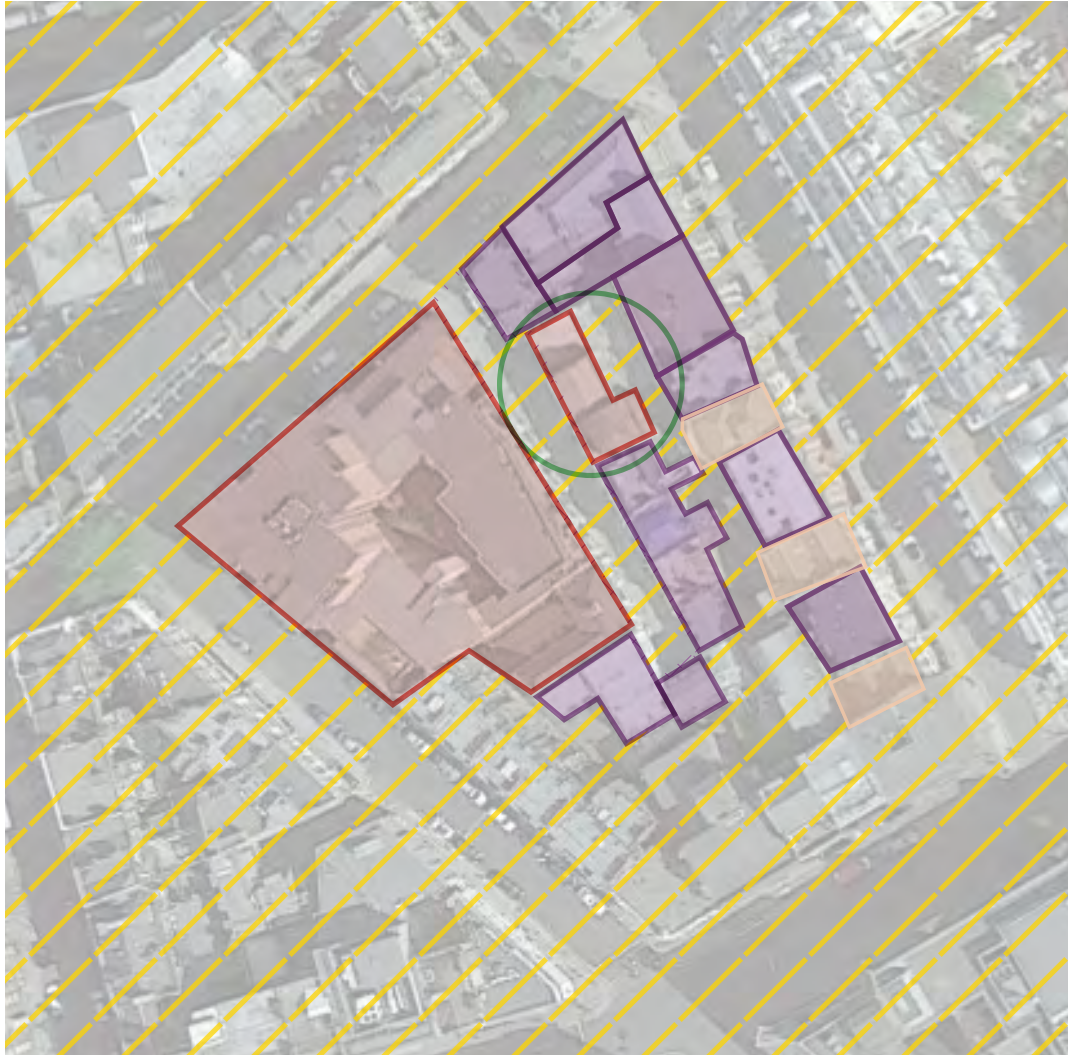
A historic cast-iron lamppost on the corner of Bourlet Close and West Riding Street











The roof-level rear view from the study site towards Nos.20 and 23 Nassau Street

STATEMENT OF SIGNIFICANCE

4.3 SIGNIFICANCE PLAN



SIGNIFICANCE PLAN

-  10-12 Bourlet Close
-  High
-  Medium
-  Medium/Low (areas of modern intervention represent areas of low significance)
-  Low
-  Low/Neutral
-  Neutral
-  Intrusive

This plan is not to scale

(Baseplan Google Earth 2015)

SECTION 5.0

LEGISLATIVE FRAMEWORK

5.1 SUMMARY OF THE LEGISLATIVE FRAMEWORK FOR PLANNING AND THE HISTORIC ENVIRONMENT

This section of the report briefly sets out the range of national and local policy and guidance relevant to the consideration of change in the historic built environment. It also sets out specifically those policies and sections of guidance that relate to the proposals for the development of the site.

5.1.1 NATIONAL LEGISLATION

- *Planning (Listed Buildings and Conservation Areas) Act 1990*
- *The Town and Country Planning Act 1990*
- *National Planning Policy Framework (2023)*
 - Prioritises 'sustainable development'
 - Requires good design
 - Chapter 16 addresses 'Conserving and enhancing the historic environment'

5.1.2 NATIONAL GUIDANCE

- Planning Practice Guidance, *Conserving and Enhancing the Historic Environment* (2014)
- Historic England, *Good Practice Advice in Planning Note 2* (2015)
- Historic England, *Good Practice Advice in Planning Note 3* (2015; replaces *The Setting of Heritage Assets*)
- Historic England, *Conservation Principles, Policies and Guidance* (2008)
- Historic England / CABE, *Building in Context* (2001)

5.1.3 REGIONAL PLANNING POLICY

- Mayor of London, 'The London Plan' 2021

5.1.4 LOCAL PLANNING POLICY

- Fitzrovia West Neighbourhood Plan (2021)
- City of Westminster, '*East Marylebone Conservation Area Audit*' (2006)
- City of Westminster, '*Development and Demolition in Conservation Areas*' (1996)
- City of Westminster, '*Mews - A Guide To Alterations*' (1992)

PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT (1990)

Listed Buildings are designated under the *Planning (Listed Buildings and Conservation Areas) Act 1990* for their special architectural or historic interest. Listing gives them protection as alterations, additions or demolitions are controlled by Listed Building Consent, which is required by local planning authorities when change is proposed. Conservation Areas are also protected under Section 69 of the same act.

LEGISLATIVE FRAMEWORK

5.2 NATIONAL PLANNING POLICY FRAMEWORK (2023)

The National Planning Policy Framework provides national legislative policy regarding development and the pillars of sustainability. With regard to design and heritage assets the document states:

190. Plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. This strategy should take into account:

- a) the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;*
- b) the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;*
- c) the desirability of new development making a positive contribution to local character and distinctiveness; and*
- d) opportunities to draw on the contribution made by the historic environment to the character of a place.*

194. In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.

195. Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking into account of the available evidence and any necessary

expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

199. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

202. Where a development proposal will lead to less than substantial

harm to the significance of a designated heritage asset, this harm should be weighted against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

CONSERVATION PRINCIPLES, POLICIES AND GUIDANCE

Historic England's best-practice guidance document is 'Conservation Principles, Policies and Guidance'. Published in 2008, it still provides essential guidance for assessing the impact of work on heritage assets and archaeology. With particular relevance here are the sections on Restoration (pp.55-57) and New Work and Alteration (pp.58-60), which are reproduced below.

Restoration

126 Restoration to a significant place should normally be acceptable if:

- a the heritage values of the elements that would be restored decisively outweigh the values of those that would be lost;
- b the work proposed is justified by compelling evidence of the evolution of the place, and is executed in accordance with that evidence;
- c the form in which the place currently exists is not the result of an historically-significant event;
- d the work proposed respects previous forms of the place;
- e the maintenance implications of the proposed restoration are considered to be sustainable.

New work and alteration

138 New work or alteration to a significant place should normally be acceptable if:

- a there is sufficient information comprehensively to understand the impacts of the proposal on the significance of the place;
- b the proposal would not materially harm the values of the place, which, where appropriate, would be reinforced or further revealed;
- c the proposals aspire to a quality of design and execution which may be valued now and in the future;
- d the long-term consequences of the proposals can, from experience, be demonstrated to be benign, or the proposals are designed not to prejudice alternative solutions in the future.

LEGISLATIVE FRAMEWORK

5.3 THE LONDON PLAN: SPATIAL DEVELOPMENT STRATEGY FOR GREATER LONDON 2021

The London Plan: Spatial Development Strategy for Greater London was published by the GLA in 2021. It provides the overall strategic plan for London over the next 25 years. Chapter 7 focuses on policies relating to heritage and culture.

Policy HCl Heritage conservation and growth

A Boroughs should, in consultation with Historic England, local communities and other statutory and relevant organisations, develop evidence that demonstrates a clear understanding of London's historic environment. This evidence should be used for identifying, understanding, conserving, and enhancing the historic environment and heritage assets, and improving access to, and interpretation of, the heritage assets, landscapes and archaeology within their area.

B Development Plans and strategies should demonstrate a clear understanding of the historic environment and the heritage values of sites or areas and their relationship with their surroundings. This knowledge should be used to inform the effective integration of London's heritage in regenerative change by:

- 1. setting out a clear vision that recognises and embeds the role of heritage in place-making*
- 2. utilising the heritage significance of a site or area in the planning and design process*
- 3. integrating the conservation and enhancement of heritage assets and their settings with innovative and creative contextual architectural responses that contribute to their significance and sense of place*
- 4. delivering positive benefits that conserve and enhance the historic environment, as well as contributing to the economic viability,*

accessibility and environmental quality of a place, and to social wellbeing.

C Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.

D Development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation. Where applicable, development should make provision for the protection of significant archaeological assets and landscapes. The protection of undesignated heritage assets of archaeological interest equivalent to a scheduled monument should be given equivalent weight to designated heritage assets.

E Where heritage assets have been identified as being At Risk, boroughs should identify specific opportunities for them to contribute to regeneration and place-making, and they should set out strategies for their repair and reuse.

WESTMINSTER'S CITY PLAN (2019)

39: Westminster's Heritage

A. Westminster's unique historic environment will be valued and celebrated for its contribution to the quality of life and character of the city. Public enjoyment of, access to and awareness of the city's heritage will be promoted.

B. Development must optimise the positive role of the historic environment in Westminster's townscape, economy and sustainability, and will:

1. ensure heritage assets and their settings are conserved and enhanced, in a manner appropriate to their significance;
2. Secure the conservation and continued beneficial use of heritage assets through their retention and sensitive adaptation which will avoid harm to their significance, while allowing them to meet changing needs and mitigate and adapt to climate change;
3. Place heritage at the heart of place making and good growth, maintaining the unique character of our heritage assets and delivering high quality new buildings and spaces which enhance their settings.

...

Listed Buildings

G. Works to listed buildings will preserve their special interest, relating sensitively to the period and architectural detail of the building and protecting or, where appropriate, restoring original or significant detail and historic fabric.

H. Changes of use to listed buildings will be consistent with their

LEGISLATIVE FRAMEWORK

long-term conservation and help to restore, retain and maintain buildings, particularly those which have been identified as at risk.

I. Development within the settings or affecting views of listed buildings will take opportunities to enhance or better reveal their significance.

J. Demolition of listed buildings will be regarded as substantial harm and will be resisted in all but exceptional circumstances.

CONSERVATION AREAS

K. Development will preserve or enhance the character and appearance of Westminster's conservation areas. Features that contribute positively to the significance of conservation areas and their settings will be conserved and opportunities taken to enhance conservation areas and their settings, wherever possible.

L. There will be a presumption that unlisted buildings that make a positive contribution to a conservation area will be conserved, unless it has been demonstrated that the relevant tests in national policy have been met. Buildings which make a negative or neutral contribution may be replaced or refurbished where this will result in a high quality building which will improve their appearance in the context of the conservation area and their environmental performance.

M. The contribution of existing uses to the character, function and appearance of conservation areas will be considered and changes of use supported where they make a positive contribution to conservation areas and their settings.

40. Townscape and architecture

A. Development will be sensitively designed, having regard to the prevailing scale, heights, character, building lines and plot widths, materials, architectural quality and degree of uniformity in the surrounding townscape.

B. Spaces and features that form an important element in Westminster's local townscapes or contribute to the

significance of a heritage asset will be conserved, enhanced and sensitively integrated within new development, including important architectural details, boundary walls and railings, historic roof forms or structures, open lightwells, historic or characteristic shopfronts and street furniture, as well as squares, parks and gardens. Where possible, lost or damaged features will be reinstated or restored.

EXTENSIVE DEVELOPMENTS

C. Extensive development will maximise opportunities to enhance the character, quality and functionality of the site and its surroundings, including creating new compositions and points of interest, and high-quality new streets and spaces, linked to the surrounding townscape to maximise accessibility.

ALTERATIONS AND EXTENSIONS

D. Alterations and extensions will respect the character of the existing and adjoining buildings, avoid adverse visual and amenity impacts and will not obscure important architectural features or disrupt any uniformity, patterns, rhythms or groupings of buildings and spaces that contribute positively to Westminster's distinctive townscape.

ROOF EXTENSIONS

E. Roof extensions will be supported in principle where they do not impact adversely on heritage assets and should:

1. where part of a terrace or group already characterised by roof additions or alterations, be of appropriate design which follows an established form and would help to unify the architectural character of the existing terrace or a group;
2. where part of a terrace with an existing roof line unimpaired by roof extensions take a coordinated approach, adding roof extensions of consistent and appropriate design to each property across the terrace;
3. in other locations, be of appropriate design sympathetic to the architectural character of the existing building.

WESTMINSTER VIEWS

F. New development affecting strategic and local views (including local views of metropolitan importance) will contribute positively to their characteristics, composition and significance and will remedy past damage to these views wherever possible.

38. Design principles

A. New development will incorporate exemplary standards of high quality, sustainable and inclusive urban design and architecture befitting Westminster's world-class status, environment and heritage and its diverse range of locally distinctive neighbourhoods.

LEGISLATIVE FRAMEWORK

RESPONDING TO WESTMINSTER'S CONTEXT

B. All development will positively contribute to Westminster's townscape and streetscape, having regard to:

1. the character and appearance of the existing area, adjacent buildings and heritage assets, the spaces around and between them and the pattern and grain of existing streets, squares, mews and passageways;

2. materials, building lines, scale, orientation, access, definition, surface treatment, height and massing;

3. the form, character and ecological value of parks, gardens and other open spaces;

4. Westminster's waterways and waterbodies; and

5. the preservation and enhancement of the surrounding tree population.

PEOPLE-CENTRED DESIGN

C. All development will place people at the heart of design, creating inclusive and accessible spaces and places, introducing measures that reduce the opportunity for crime and anti-social behaviour, promoting health, well-being and active lifestyles through design and ensuring a good standard of amenity for new and existing occupiers.

SUSTAINABLE DESIGN

D. Development will enable the extended lifetime of buildings and spaces and respond to the likely risks and consequences of climate change by incorporating principles of sustainable design, including:

1. use of high-quality durable materials and detail;

2. providing flexible, high quality floorspace;

3. optimising resource and water efficiency;

4. enabling the incorporation of, or connection to, future services or facilities; and

5. minimising the need for plant and machinery.

E. Applicants will demonstrate how sustainable design principles and measures have been incorporated into designs, utilising environmental performance standards as follows:

1. Non-domestic developments of 500 sq m of floorspace (GIA) or above will achieve at least BREEAM "Excellent" or equivalent standard.

2. Residential conversions and extensions of 500 sq m (GIA) of residential floorspace or above, or five or more dwellings will aim to achieve "Excellent" in BREEAM domestic refurbishment or equivalent standard.

PROMOTING EXCELLENCE IN CONTEMPORARY DESIGN

F. Imaginative approaches to contemporary architecture and use of innovative modern building techniques and materials will be encouraged where they result in exemplary new buildings and public realm which incorporate the highest standards of environmental sustainability, that respect and enhance their surroundings and are integrated with and better reveal Westminster's heritage and existing townscape.

Fitzrovia West Neighbourhood Plan

Policy PRI: Promoting Regeneration states that:

- The redevelopment, refurbishment or extension of existing buildings in the designated area will be expected to meet the highest quality design standards, achieve the highest levels of environmental sustainability, and makes a positive contribution to the public realm in the light of local conditions and circumstances.
- Development proposals will be supported which preserve or enhance listed buildings and their settings;
- All applications for redevelopment, refurbishment and extension, whether within or outside a Conservation Area, will be expected to meet the following criteria: Additional floorspace, for example additional storeys or mansard roofs will be supported where it respects the character of the existing and adjoining buildings, avoids adverse visual and amenity impacts and does not obscure important architectural features or adversely affect the uniformity, patterns, rhythms or groupings of buildings that contribute positively to the area's character. Special attention should be paid to guidance in the Conservation Area Audits covering parts of the designated area.

'EAST MARYLEBONE CONSERVATION AREA AUDIT' (2006)

[Summary of Conservation Area character reproduced on p.12 above]

DEVELOPMENT AND DEMOLITION IN CONSERVATION AREAS' (1996)

The importance of unlisted buildings

E.9 The guidance produced by English Heritage in 'Conservation Area Practice' sets out the questions which should be asked in order to assess an unlisted building's contribution to the special architectural or historic interest of a conservation area. These relate to much more than a building's purely architectural merits.

E.10 The following questions should be asked:

- Has the building qualities of age, style, materials, or other characteristics which reflect those of at least a substantial number of the buildings in the conservation area?
- Does it relate by age, materials, or in any other historically significant way to adjacent listed buildings and contribute positively to their setting?
- Does it, individually or as part of a group, serve as a reminder of the gradual development of the settlement in which it stands, or of an earlier phase of growth?
- Does it have a significant historic association with established features such as the road layout, burgage plots, a town park, or landscape feature?
- Does the building have landmark qualities?
- Does it reflect the traditional functional character of, or former uses within, the area?
- Has it historic associations with local people or past events?
- If a public building, does its use and internal public spaces contribute to the character or appearance of the conservation area?

E.11 English Heritage state that any one of these could provide the basis for considering that the building make a positive contribution to the conservation area.

DES 7K - Retention of external features

In buildings which contribute to the character and appearance of conservation areas, it may be necessary to retain existing features, such as doors or windows, or to replace them in facsimile. Windows constructed in aluminium, UPVC or other non-traditional materials, or of a design out of character with the building in question, will not normally be acceptable. The replacement of existing non-traditional features with traditional alternatives will be encouraged.

K.1 Many features of a building contribute to its architectural character and its contribution to the character and appearance of a conservation area. Doors and windows are important features and they should normally be retained and repaired or reinstated to the original design if they are missing.

K.2 In recent years many alternatives to traditional windows and doors have become available. These include double glazed windows and doors in aluminium and plastic (UPVC). It is rarely, if ever, possible to produce a window in such materials which replicates accurately a traditional timber or metal window or door. Such modern alternatives have a major impact on the appearance of buildings and they are not normally acceptable on traditional buildings in conservation areas. Original traditional joinery or metalwork should be retained wherever possible. If later, non-original, windows or doors are to be replaced, replicas of the original work should be used. This will help preserve the character and appearance of the conservation area.

K.3 If double glazing is desired then internal secondary glazing behind the existing windows can be used without adversely affecting the external appearance of a building. On an unlisted building planning permission would not normally be required for this work. On listed buildings, listed building consent may be necessary.

K.4 In some cases, modern double glazed windows may be acceptable on unlisted buildings, provided that they would not replace important original windows, and their detailed design and appearance is entirely appropriate for the building and the conservation area. Such cases will be considered on their merits.

LEGISLATIVE FRAMEWORK

DES 7L - Restoration of external features

In buildings which have lost important original features such as shopfronts, front porches or decorative stucco work, the presumption will be in favour of restoring the building to its original appearance or replacing the missing features with designs which complement the architecture of the building in question.

L.1 It is normally desirable to restore a building to its original appearance. This will make a contribution to the restoration of the character and appearance of a conservation area and will, in most cases, constitute enhancement.

L.2. Over the years alterations or damage may have occurred, robbing buildings of important features such as historic shopfronts, porticoes, cornices and so on. When the opportunity arises, every effort should be made to reinstate such features as replicas of the originals, where information is available about the original designs.

L.3 In some instances it may be possible to replace unsympathetic alterations with new designs which are not replicas, whilst still respecting and complementing the character and appearance of the area. For example, there are instances where a modern, sensitively designed shopfront can be installed successfully within an old building.

In most cases the City Council will expect new development or alterations or extensions which materially affect the character or appearance of buildings in conservation areas, to use traditional or other durable natural materials which preserve or enhance the character or appearance of the conservation area.

M.1 Materials use in conservation areas can have a large impact on the character of these areas, especially where the character of the area is relatively homogeneous e.g. in Pimlico, Bayswater and Belgravia, the use of stucco has a very significant role in the established character of these areas. New proposals should respect the prevailing use of materials within an area. In areas where building styles and types are varied, a wider range of materials may be acceptable.

M.2 Conservation areas are often dominated by historic buildings which are built of traditional materials such as brick, stone, stucco, slate, lead, copper and bronze. Similar materials will therefore often be desirable in new developments, in order to preserve or enhance the character or appearance of the area. These should normally be used in a traditional manner.

M.3 The dominant roofing material in many of the City's conservation areas is natural slate. In some cases lead may be appropriate, for example, to clad screening to roof-level plant areas. In some rare cases copper may be an acceptable roofing material. Other metals, such as zinc, will rarely be acceptable because they are uncharacteristic of most conservation areas.

M.4 Extensive use of modern materials such as curtain wall glazing, colour-coated aluminium panels or stainless steel are unlikely to be appropriate in many conservation areas because these materials are alien to the existing historic character of these areas.

M.5 Not all conservation areas are dominated by old buildings. For example, the Churchill Gardens Estate (built 1946-62), the Hallfield Estate (built 1951-59) and the Lillington Gardens Estate (built 1964-72) are designated conservation areas, because of their architectural and (recent) historic interest. The use of more modern materials, reflecting the existing special architectural character of the areas, might be appropriate on new buildings.

M.6 Whether materials are traditional or modern, they should be of the highest quality and capable of standing the test of time. Alternative materials may not be acceptable because of their appearance and lack of longevity. For example, reconstituted stone will not normally be acceptable if used extensively as a facing material, because its appearance may deteriorate in the long term. Its use should generally be restricted to decorative details such as cornices.

'MEWS - A GUIDE TO ALTERATIONS' (1992)

4. Some Important Characteristics of Mews

4.1 Contrast in Scale

The original 'secondary' importance of mews (in comparison to the main streets and the main buildings which they used to serve), is reflected not only in the smaller size, but also in the smaller scale of these service streets and buildings. The Council's policy is to preserve both these important characteristics.

4.2 Enclosure

In the earlier times, when mews were purely service streets, effort was made to isolate them visually from main streets. An entrance through a narrow alleyway on the ground floor of a large terrace in the main street was a common type of access to mews in the early/mid 19th century and before, (see Craven Hill and Upbrook Mews above). Later, when mews buildings were separate and independent houses, access was provided through gates and arches which gave both privacy and a degree of grandeur (see Fosbury Mews Duke's Mews, and Eaton Mews).

4.3 'Turning the Corner': Visual Transition from the Main Street to the Mews

[Photographs provide examples of the 'Typical narrowing of the space between the terraces on the main street, to form an entrance to the mews' and the architectural treatment of a side elevation of a corner mews-building finished in stucco, with rustications, cornices and other decoration, in character with the style and appearance of the main building.]

4.4 Architectural Details: Doors and Windows

The wide ground floor timber coach-doors, usually with small-pane glazed lights at the top, and the upper floor split-level winch-doors, are some of the most characteristic features of mews buildings. The Council will seek to retain these features or to reinstate them where they have been lost. In cases where the retention of coach doors is totally impractical, it is recommended that they should be replaced with suitably designated 'panels' of timber doors and/or sash windows, to fill the original structural openings (see drawings pp. 19, 20, 21).

4.5 Architectural Details: Lanterns, Winch-brackets, Vents and Other Cast-iron Features

In the small scale environment of mews, small features such as cast-iron lanterns, hopper-heads or boot-scrappers play an important role and add significantly to the character of buildings and streets. The Council will encourage owners to retain and maintain these features, and if possible, reinstate them, using replacements of authentic design and traditional materials.

4.6 Paving

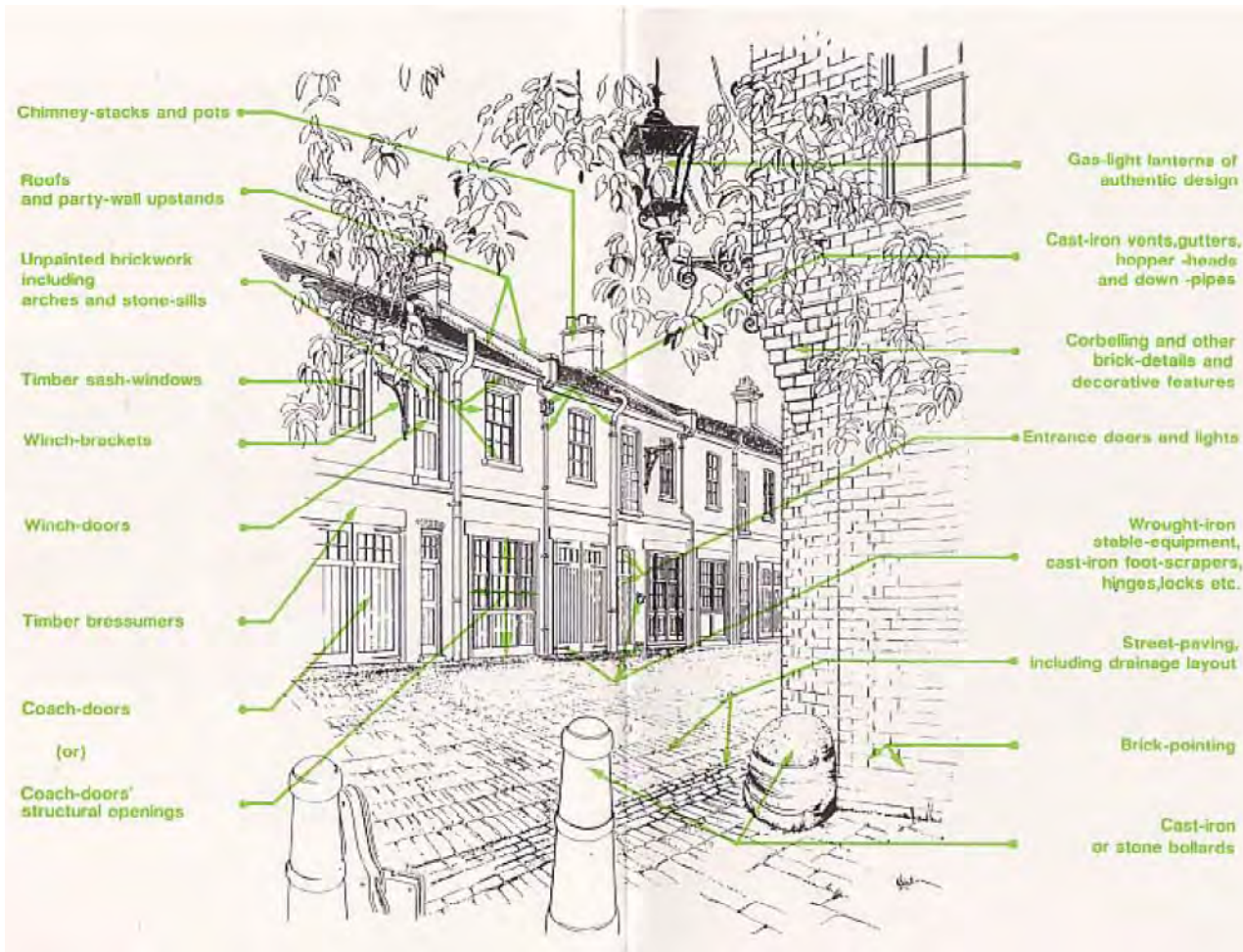
The repaving of privately owned parts of mews -streets may require the Council's consent. In many cases the Council will insist on the use of traditional materials such as granite setts. The retention of central or side gutters and their special treatment in terms of layout of paving stones (see photograph, left), is considered essential.

4.7 Retention of General Character

Converting a mews building to a house can be achieved without damaging its overall character. These examples illustrate conversions where most of the original character of the buildings has been preserved (with varying degrees of success) by retaining the materials, the original openings, the design of windows and doors, the roofs and chimney stacks, and as much as possible of the original ironwork and other external features, including the paving of the street.

LEGISLATIVE FRAMEWORK

Some Important Characteristics of Mews - a Summary



7. Alterations to Facades

7.1 Most mews consist of small, simple buildings whose character relies on well-proportioned and detailed elements including doors to former haylofts and stables, windows, and more unusually, external stairs and access balconies. Decorative brickwork and ironwork, including cast-iron drain pipes with lead hoppers, door-hinges, foot-scrapers etc. are also important. All these features add to the architectural and historic qualities of the mews, and their loss or insensitive alteration should be avoided. For example, the character of certain mews-buildings would be destroyed if their access stairs or balconies were removed or filled in.

7.2 When it is necessary to replace doors or windows, the materials and design of the replacements should be carefully chosen to match the originals, and the opportunity taken to restore the original appearance where earlier inappropriate alterations have taken place. It is most important to give careful attention to details; for example the materials, the pattern and size of glazing bars, the depth of window reveals, and the type of window sills. Where hayloft doorways still exist on the first floor, an interesting link with the past is kept by retaining them. If necessary they can be sensitively adapted to suit the first floor accommodation. Suitable timber windows of appropriate design, with timber panels below the sill are shown in Figures 3 and 4, and a pair of 'French' doors with flush railings are shown in Figure 5.

7.3 The simplicity of these mews houses is one of their great attractions. It should not be marred by adding projecting balconies, sun blinds, canopies or porches. Such features are unacceptable, as are attempts (rarely successful) to alter facades to mimic small-scale Georgian town houses by the addition of bow windows or 'classical' style front doors.

7.4 The former stables and coach-houses at ground floor are now mainly used as garages, workshops and stores, or have already been altered for habitation. When considering planning applications to convert mews dwellings to entirely residential use, the Council will seek the retention of garage parking space for at least one car per dwelling with a traditional timber door, ideally the original. If the original cobblestones remain in the 'garage' area, every effort should be made to retain them.

7.6 Different ways of providing windows and doors in these original ground floor openings are shown in Figures 3, 4 and 5. They use materials traditional in this context, i.e. timber frames, timber boards and panelling rather than brickwork. The use of metal or PVC is not considered appropriate. These illustrations show alternative garage doors and front doors which fit into the overall design, and also show how different requirements can be accommodated. Many variations are possible, and the use of traditional materials within a simple existing framework can produce well-proportioned designs. Altered in this way, mews adapt well to modern use while retaining their character and coherence.

7.7 Brickwork should not usually be painted, rendered or covered with cladding material. As well as damaging the original architectural character of the mews and requiring continuing maintenance, painted brickwork becomes grimy and dull, whereas the surface of good natural brickwork improves with age. Particularly unfortunate are instances where brickwork details, such as arches, string courses and window surrounds, have been painted. Such work usually spoils the appearance of any building or group of buildings, for the sake of a short-term 'face-lift' of no merit. In a rare case of extreme decay, repair and careful cleaning of brickwork may be necessary. Where original details have been lost they should be restored; where they have deteriorated they should be repaired by means of traditional materials to match the original. The use of modern materials such as fibre-glass, reinforced plastic or concrete is not appropriate.

SECTION 6.0

HERITAGE IMPACT ASSESSMENT

6.1 CRITERIA FOR ASSESSMENT

This section provides an outline heritage impact assessment for the pre-application submission.

The impact will be assessed based on the following criteria:

Magnitude of Impact	Definition
High Beneficial	The development considerably enhances the heritage asset, views of the heritage asset, or the ability to appreciate its significance.
Medium Beneficial	The development enhances to a clearly discernible extent the heritage asset, views of the heritage asset, or the ability to appreciate its significance
Low Beneficial	The development enhances to a minor extent the heritage asset, views of the heritage asset, or the ability to appreciate its significance.
Negligible	The development does not affect the heritage asset, views of the heritage asset, or the ability to appreciate its significance.
Low Adverse	The development harms to a minor extent the heritage asset, views of the heritage asset, or the ability to appreciate its significance.
Medium Adverse	The development harms to a clearly discernible extent the heritage asset, views of the heritage asset, or the ability to appreciate its significance.
High Adverse	The development severely harms the heritage asset, views of the heritage asset, or the ability to appreciate its significance.

The National Planning Policy Framework requires, where the impact is adverse, that this is assessed in terms of causing less than substantial harm or substantial harm.

6.2 OUTLINE OF PROPOSED WORK

In order to appraise fully the heritage impact of the proposals on the East Marylebone Conservation Area and – to a more limited degree – on nearby listed buildings, the assessment will focus on the alterations that will be visible to the building exteriors. Specifically, these works comprise the single storey vertical extension and new mansard roof on No. 12, the extension of the rear elevation of Nos. 11 and 12 at first, second and third floor levels to align with the rear elevation of No. 10 and the relocation of the roof plant to the new flat roof. Full details include:

- Demolition of existing mansard roof of No. 12 to allow for the single storey vertical extension with a new mansard roof with slate and lead covering and dormers to match existing.
- Demolition of the first and second floor rear elevation wall of Nos. 11 and 12 and of the third floor rear elevation wall of No. 11.
- Extension of the first and second floors of Nos. 11 and 12 and the third floor of No. 11 to the rear to align with the rear elevation of No. 10. The brickwork and windows will match existing.
- Relocation of existing roof plant to new flat roof of Nos. 11 and 12 within an acoustic enclosure.

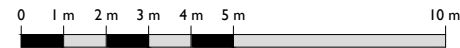
Accordingly, the following existing and proposal drawings are reproduced on the pages below:

- 01 Existing and proposed front elevation, showing the front elevations of Nos.10-12 Bourlet Close in greater detail;
- 02 Existing and proposed rear elevation, showing the rear elevations of Nos.10-12 Bourlet Close in greater detail;
- 03 Existing and proposed section.

HERITAGE IMPACT ASSESSMENT

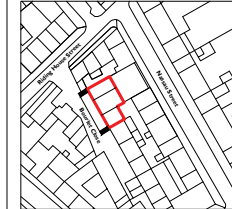


1 FRONT ELEVATION AS EXISTING
1:100 @ A3



Notes: 25/10/2023 14:10:19
 Drawings are based on survey data and may not accurately represent what is physically present.
 Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.
 All dimensions are in millimeters unless noted otherwise.
 Purcell shall be notified in writing of any discrepancies.


Key Plan
 not to scale



— Site Boundary
 Existing Fabric

PO3	25/10/2023	GC	AR	For Planning
PO2	13/10/2023	GC	CW	For Client Approval
PO1	03/05/2023	CW	CW	Preliminary
REV	DATE	BY	CHK	DESCRIPTION

CLIENT
Nick Nicholas
 PROJECT
10-12 Bourlet Close, London
 JOB NUMBER
242579



TITLE
Front Elevation
As Existing

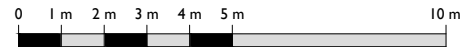
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REV	SUFFICIENCY REASON FOR ISSUE			
P03	S4 - For Approval			
DRAWING NUMBER 242579-PUR-00-XX-DR-A-1200				

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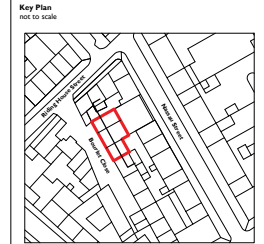
HERITAGE IMPACT ASSESSMENT



SECTION A - EXISTING
1009 1:100




Notes: 25/10/2023 140855
 Drawings are based on survey data and may not accurately represent what is physically present.
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— Site Boundary
 ■ Existing Fabric

REV	DATE	BY	CHK	DESCRIPTION
P03	25/10/2023	GC	AR	For Planning
P02	13/10/2023	GC	CW	For Client Approval
P01	24/04/2023	CW	CW	01

CLIENT
Nick Nicholas
 PROJECT
10-12 Bourlet Close, London
 JOB NUMBER
242579



TITLE
Section A
As Existing

SIZE	SCALE	LAST REVISED	DRAWN	CHECKED
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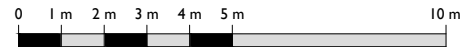
REVISIONS
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P03 S4 - For Approval

DRAWING NUMBER
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HERITAGE IMPACT ASSESSMENT

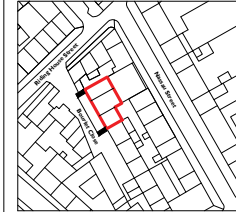


1 FRONT ELEVATION AS PROPOSED
2200 1:100 @ A3



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 Drawings are based on survey data and may not accurately represent what is physically present.
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Key Plan
 not to scale



- Site Boundary
- Existing Construction
- Proposed Construction
- Demolished Construction

REV	DATE	BY	CHK	DESCRIPTION
P03	25/10/2023	GC	AR	For Planning
P02	13/10/2023	GC	CW	For Client Approval
P01	03/05/2023	CW	CW	Preliminary

CLIENT
Nick Nicholas
 PROJECT
10-12 Bourlet Close, London
 JOB NUMBER
242579



TITLE
Front Elevation
As Proposed

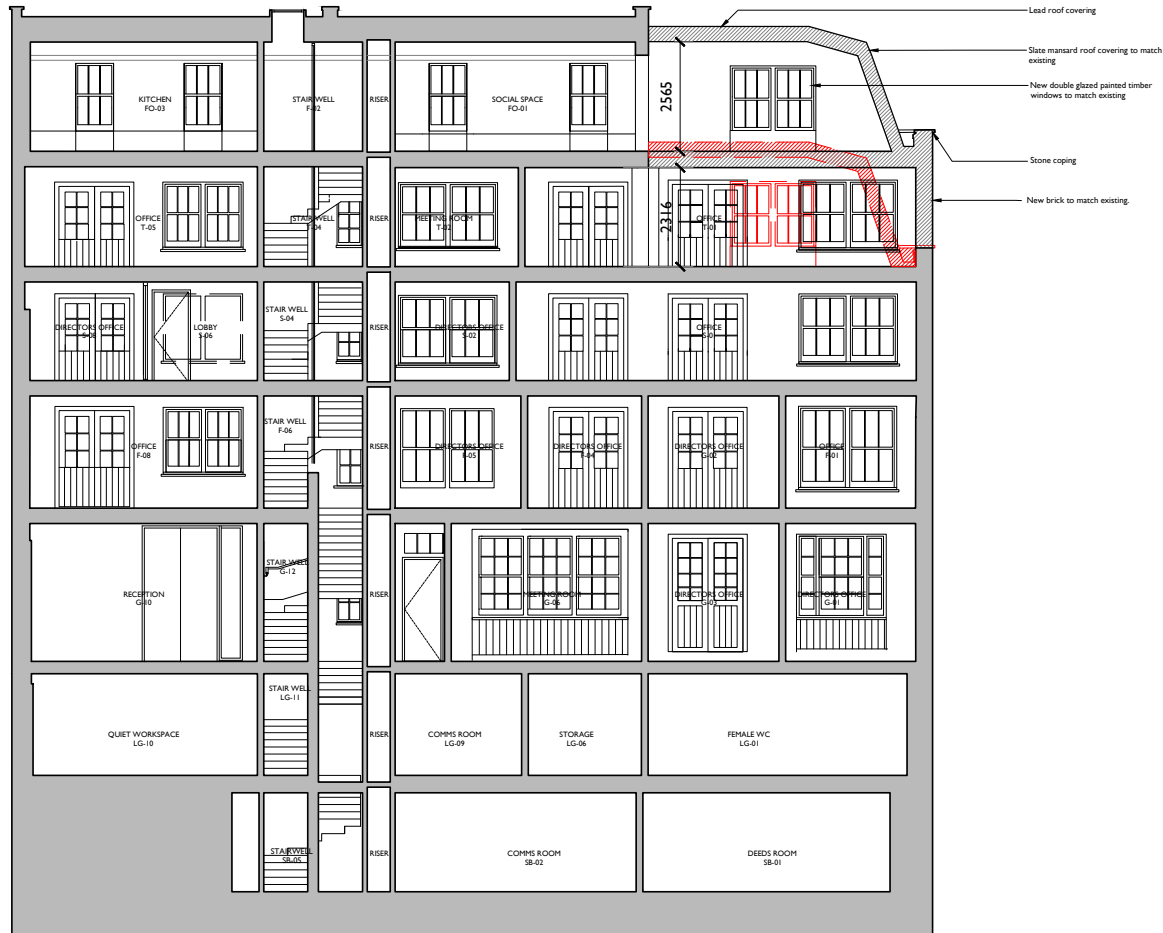
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REVISIONS
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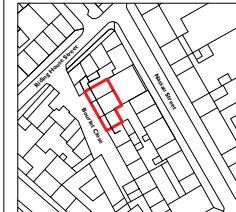
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HERITAGE IMPACT ASSESSMENT



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Key Plan
 not to scale



- Site Boundary
- Existing Construction
- Proposed Construction
- Demolished Construction

REV	DATE	BY	CHK	DESCRIPTION
P03	25/10/2023	GC	AR	For Planning
P02	13/10/2023	GC	CW	For Client Approval
P01	03/05/2023	CW	CW	Preliminary

CLIENT
Nick Nicholas
 PROJECT
10-12 Bourlet Close, London
 JOB NUMBER
242579



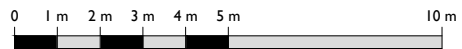
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As Proposed

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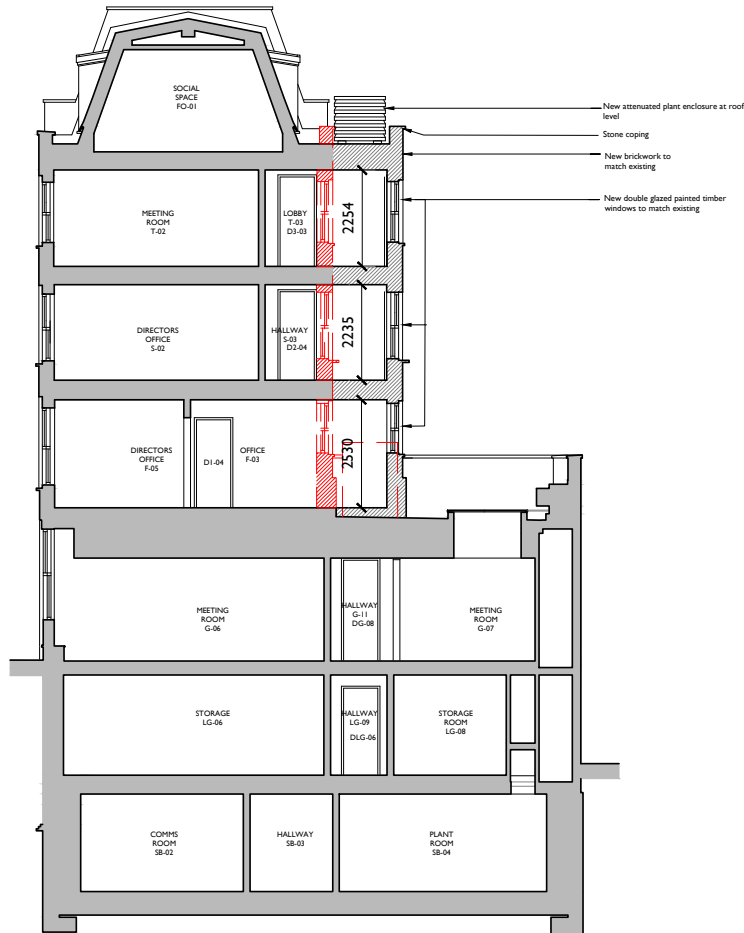
REVISIONS
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P03 S4 - For Approval

DRAWING NUMBER
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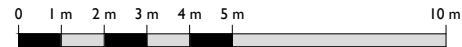
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HERITAGE IMPACT ASSESSMENT

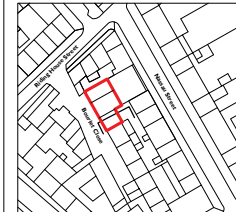


SECTION B AS PROPOSED
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 All dimensions are in millimeters unless noted otherwise.
 Purcell shall be notified in writing of any discrepancies.

Key Plan
 not to scale



- Site Boundary
- Existing Construction
- Proposed Construction
- Demolished Construction

REV	DATE	BY	CHK	DESCRIPTION
P03	25/10/2023	GC	AR	For Planning
P02	13/10/2023	GC	CW	For Client Approval
P01	03/05/2023	CW	CW	Preliminary

CLIENT
 Nick Nicholas
PROJECT
 10-12 Bourlet Close, London
JOB NUMBER
 242579



TITLE
 Section B
 As Proposed

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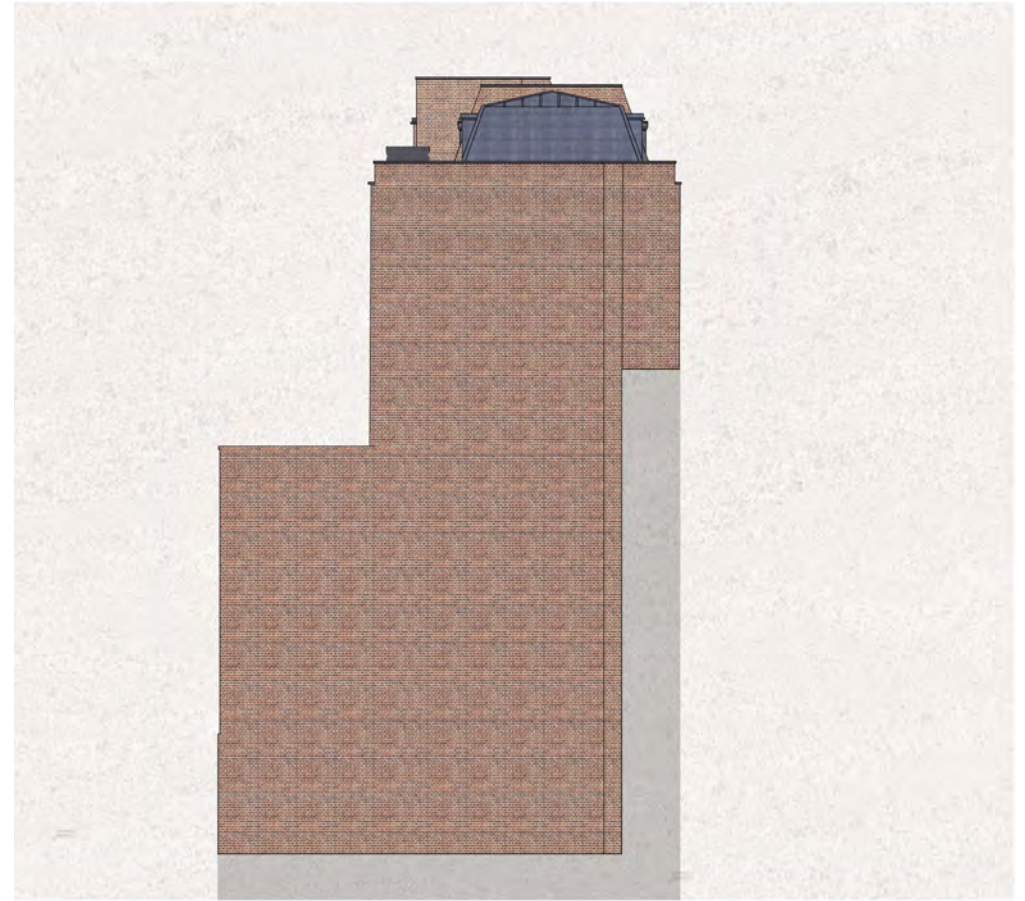
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P03 S4 - For Approval
DRAWING NUMBER
242579-PUR-00-XX-DR-A-2101

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HERITAGE IMPACT ASSESSMENT



Proposed back elevation



Proposed side elevation



Proposed front elevation

HERITAGE IMPACT ASSESSMENT

6.3 HERITAGE IMPACT ASSESSMENT

As set out in the report above, the study site is unlisted, but it falls within the wider East Marylebone Conservation Area. It is also within the settings of two listed buildings, although this impact is limited to high-level areas that are not in wider public access.

In order to ensure that the potential heritage impact of each element of the proposed works is articulated fully, the assessment addresses the different elements of the scheme under the following headings:

- Assessment of impact on East Marylebone Conservation Area; and,
- Assessment of impact on nearby listed buildings.

6.3.1 Assessment of impact on East Marylebone Conservation Area

This section addresses the impact of the proposals on the special character of the East Marylebone Conservation Area. Overall, it is judged that the proposals will preserve the special historic character of the East Marylebone Conservation Area.

The proposed vertical and rear extension to the site will maintain the existing historic character of the mews, recently enhanced by restoration in 2015, through the use of identical materials to the existing. This includes the use of bricks and insertion of windows to match the existing on both the front and rear elevations.

The rear extension of Nos. 11 and 12 will align with the existing rear elevation wall of No. 10 which projects out slightly further than the adjoining Nos. 11 and 12. This alignment of the extension with the existing elevation will create a neat and uniform appearance to the rear elevation whilst maintaining the building's historic scale and character.

The rear elevation is not visible from the public realm and is part of the densely built up area to the rear of the mews and terrace houses which front onto Nassau Street. This rear area has experienced a higher level of alteration than the street facing elevations with various extensions and is not a key contributor to the special historic character of the Conservation Area. The proposed insertion of a plantroom at roof level may be partly visible over the parapet of Nos. 11 and 12. However, its elevated position on the roof of a mews building within a densely built area will result in a negligible impact on the special historic character of the Conservation Area.

Although the building has some historic interest and contains some historic fabric, the external elevations – particularly No. 10 but very likely Nos.11 and 12 too – have been altered externally almost entirely from their historic form, likely to have once been in a manner similar to the other mews buildings on Bourlet Close. As such, through taking care to replicated the existing materials the proposed alterations will maintain the historic character that has already been preserved and enhanced through carefully considered conservation led restoration of the site.

With regard to the single storey vertical extension of No.12 the form, scale and choice of materials ensures the preservation of the historic character of the Conservation Area. It will replicate the existing mansard roof in material and form which was carefully designed to draw closely on the forms of existing roof extensions to mews buildings in historic forms throughout Bourlet Close. Furthermore, it will align with the roof level of No.11, creating visual unity with Nos. 10 and 11. This design ensures that the vertical extension and mansard roof are appropriate for the setting of Bourlet Close and the surrounding Conservation Area.

Regarding the choice of materials, the mansard roofs will be constructed in lead with natural slate finishes. These materials

are highly appropriate for the settings of Bourlet Close and the surrounding Conservation Area, which contain largely traditional roof materials, even in areas of modern extension [in line with 'UNITARY DEVELOPMENT PLAN', POLICY DES 9: CONSERVATION AREAS].

With direct reference to Westminster's City Plan, policy 40 Townscape and Architecture, it is useful here to provide a direct commentary on the basis of the policies on roof extensions therein:

In accordance with policy within Townscape and Architecture in the Westminster City Plan the roof extension will not impact on nearby heritage assets, is of appropriate design which follows an established form and helps to unify the architectural character of the existing group of mews.

6.3.2 Assessment of impact on nearby listed buildings
This section addresses the impact of the proposals on the setting of nearby listed buildings, Nos.20 and 23 Nassau Street. Overall, it is judged that the proposed extensions will have a negligible impact on the special architectural and historical interest of the nearby listed buildings.

The role of the study site within the settings of Nos.20 and 23 Nassau Street is extremely limited, being restricted due to the close proximity of the surrounding buildings, and the setting back of the study site to the north-west of the listed buildings. Moreover, a sense of the historic spatial relationship between the listed buildings and the study site can only be gained from the upper and roof areas of these buildings, and not within the public realm.

It is of further note here that the historic relationship between the large residential houses on Nassau Street – including those which are listed – and the mews buildings on Bourlet Close is better

HERITAGE IMPACT ASSESSMENT

expressed by buildings closer to the listed buildings, which are not only more directly associated with these important buildings, but which also survive in forms closer to their historic appearance.

Consequently, the proposed vertical and rear extensions which have been designed to align with the scale and materials of No. 10, the closest mews to the listed buildings, will have a negligible impact on the dual settings of – and therefore their contribution to – the special architectural and historic interest of either listed building. The extensions will not alter fundamentally the hierarchy of scale and function that exists between the townhouses and their service ranges. The rooftop plantroom will be partly visible. However, views between the listed buildings and the site are restricted and it is unlikely that possible glimpsed views of the plant will adversely impact the special architectural or historic interest of the listed buildings.

6.4 CONCLUSION

In summary, due to the form, design detailing, and choice of materials, it is considered that the proposed extensions are in line with national and local planning policies and will preserve both the special historic character of the Conservation Area and the special architectural and historic interest of the nearby listed buildings. Whilst the proposed rooftop plant will be partly visible on the new flat roof, it is considered that it will have a negligible impact on both the Conservation Area and the listed buildings due to its elevated location in a densely built area with restricted views to the rear of both the mews houses and the listed buildings.

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APPENDIX A

LIST ENTRY DESCRIPTIONS

Name: 20, NASSAU STREET W1⁰¹

List entry Number: 1267200

Grade: II

Date first listed: 10-Sep-1954

List entry Description

TQ 2981 NW CITY OF WESTMINSTER NASSAU STREET W1 (west side) 46/24 No 20 10.9.54 - II

Terrace house. c1760-70. Brown stock brick with rusticated stucco ground floor; slate roof. 4 storeys, basement and dormered mansard. 3 windows wide. Entrance to left, 6-panel door with semicircular arched fanlight; rustication struck to flat arches of ground floor sash windows. Upper floors have recessed sashes, no glazing bars, under flat gauged arches. Stucco panel across second floor below window sills, parapet with coping. Wrought iron area railings. Interior retains original cornices and geometrical staircase with cut bracket strings and good wrought iron balustrade with enriched reverse S panels; the detailing of mouldings restrained but sharply profiled with delicate friezes etc.

Listing NGR:TQ2921381624

Name: 23, NASSAU STREET W1⁰²

List entry Number: 1266862

Grade: II

Date first listed: 10-Sep-1954

List entry Description

TQ 2981 NW CITY OF WESTMINSTER NASSAU STREET W1 (west side) 46/25 No 23 10.9.54 - II

Terrace house. c1770-80. Brown brick with rusticated stucco ground floor; slate roof. 4 storeys. 3 windows wide. Entrance to left with fine wooden doorcase of engaged Doric columns, triglyph dossierets and mutule pediment, framing 6-panel door with fanlight; rustication struck to ground floor flat window arches. Upper floors have recessed sashes, no glazing bars, under flat gauged arches. Parapet with coping. Interior has plain panelled ground and 1st floor front rooms with fluted friezes and sharply profiled cornices; geometrical staircase with enriched S pattern wrought iron balusters, etc ... No 23 was the residence of James Rennell, geographer; in 1792 (GLC plaque). The doorcase, of superior quality in its proportions, would seem to relate to the, now demolished, contemporary houses by Chambers in Berners Street.

Listing NGR:TQ2922381607

Name: 26, NASSAU STREET W1⁰³

List entry Number: 1267201

Grade: II

Date first listed: 01-Dec-1987

List entry Description

TQ 2981 NW CITY OF WESTMINSTER NASSAU STREET W1 (west side) 46/26 No 26 - II

Terrace house. c1770-80. Stock brick, slate roof. 4 storeys and basement. 3 windows wide. Ground floor stuccoed up to 1st floor sill band, with entrance to right: 6-panel door with reeded transom below fanlight in architrave surround, console bracketed cornice carried over early to mid C19 display window. Upper floors have recessed sashes, no glazing bars, under red brick flat gauged arches. Parapet with coping. Wrought iron area railings.

Listing NGR:TQ2923481590

01 <https://www.historicengland.org.uk/listing/the-list/list-entry/1267200>

02 <https://www.historicengland.org.uk/listing/the-list/list-entry/1266862>

03 <https://www.historicengland.org.uk/listing/the-list/list-entry/1267201>

LIST ENTRY DESCRIPTIONS

Name: 10, MORTIMER STREET W1⁰⁴

List entry Number: 1267274

Grade: II

Date first listed: 01-Dec-1987

List entry Description

TQ 2981 NW MORTIMER STREET W1 (North Side)
46/27 No 10

II

The description shall be amended to read:-

Corner block of offices and chambers. 1898 by W.T.M. Walker for Bratt Colbran & Co of Finsbury. Good quality red brick with Portland stone dressings, slate roof, in restrained Arts and Crafts Tudor Style. 4 storeys and basement. 3 irregular bays wide on each front. Entrance in second bay from corner with plain stone surround and segmental pediment. Very shallow rectangular 3 storey bay windows to each front, stone dressed with 6-light mullioned transomed casement windows to each floor; the mullions and transoms squared and set flush with face; otherwise coupled glazing bar sashes in one reveal with flat gauged arches and 2 groups of 4 sashed lights to attic storey facing Mortimer Street. Shallow projecting stone cornice at 3rd floor level, broken over bay windows and attic crowned by plain stone frieze and cavetto coping. Cast iron area railing with very restrained Arts and Crafts detailing.

TQ 2981 NW CITY OF WESTMINSTER MORTIMER STREET W1 (north side) 46/27 No. 10

- II

Corner block of offices and chambers. c.1898-1903 possibly by Walker or more likely H. Fuller Clark (c.f. Nos 59-61 Riding House street). Good quality red brick with Portland stone dressings, slate roof, in restrained Arts and Crafts Tudor style. 4 storeys and basement. 3 irregular bays wide on each front. Entrance in second bay from corner with plain stone surround and segmental pediment. Very shallow rectangular 3 storey bay windows to each front, stone dressed with 6-light mullioned-transomed casement windows to each floor; the mullions and transoms squared and set flush with face; otherwise coupled glazing bar sashes in one reveal with flat gauged arches and 2 groups of 4 sashed lights to attic storey facing Mortimer Street. Shallow projecting stone cornice at 3rd floor level, broken over bay windows and attic crowned by plain stone frieze and cavetto coping. Cast iron area railing with very restrained Arts and Crafts detailing.

Listing NGR: TQ2926081598

⁰⁴ <https://www.historicengland.org.uk/listing/the-list/list-entry/1267274>

LIST ENTRY DESCRIPTIONS

Name: 59 AND 61, RIDING HOUSE STREET W1⁰⁵

List entry Number: 1235222

Grade: II*

Date first listed: 05-Feb-1970

List entry Description

TQ 2981 NW CITY OF WESTMINSTER RIDING HOUSE STREET,W1 46/1 Nos.59 and 61 5.2.70 GV II* Corner commercial premises, offices and flats. 1903 by H. Fuller Clark for Boulting and Sons. Purple brick, hard red brick, some glazed tilework and Portland stone dressings, slate roof. Highly original Free Style with restrained use of Tudor derived details. 5 storeys, basement and dormered mansard. 5 windows wide, corbelled corner oriel and 2-window returns. Main office entrance to right of No. 59 in broad panelled stone surround, the doorhead raised in "keystone" panel; central low entrance to No. 61 with camber arched deep doorhead contained by reveals carved up to frame by light. Fenestration principally throughstorey shallow rectangular bay windows with flush stone frames and plain square section stone mullions, but the ground floor windows of more changeful design with large square section mullion and transom stone framed display windows to ground floor of No. 59 rising directly from pavement, those flanking corner in blind brick bays which at 3rd floor level have large corbelled mosaic panels emblazoned with firm's name in elongated Edwardian gold lettering. Small oriel over entrance to No. 61 with sashes lighting staircase above. Shaped sections of parapet between through-storey bay windows which are finished off with shaped stone roofs or segmental cornice gables; odd square turret features

flanking crown of corner oriel and blind flank bays of No. 61 where the centre bay is carried up through parapet and finished off square with cornice and shaped parapet. The whole chunky and variegated roofscape crowned by big square brick chimney stacks. See also Tower House and Belmont House, Candover Street and No. 40 Foley Street. Arts and Crafts Architecture; Peter Davey.

Listing NGR:TQ2919081683

Selected Sources

Books and journals

Davey, P, Arts and Crafts Architecture, (1980)

Name: TOWER HOUSE⁰⁶

List entry Number: 1066342

Grade: II

Date first listed: 09-Jan-1970

List entry Description

TQ 2981 NW CITY OF WESTMINSTER CANDOVER STREET,W1 46/14 Tower House 9.1.70 GV II Tenement flats, c.1903. Probably by H. Fuller Clark. Red and purple brick and glazed brick with Portland stone dressings, slate roof. Free Style Arts and Crafts with some "Wrenaissance" details. 5 storeys, basement and dormered mansard. 3 windows wide. Central hooded arched entrance with small tent-roof oriel over and low swept parapet tower above. 3 storeyed oriels on either side with shaped parapets; casement lights and glazing bar exposed from sashes on upper floors. Swept parapet. See also Nos 59 and 61 Riding House Street, W1.

Listing NGR:TQ2918381691

⁰⁵ <https://www.historicengland.org.uk/listing/the-list/list-entry/1235222>

⁰⁶ <https://www.historicengland.org.uk/listing/the-list/list-entry/1066342>

LIST ENTRY DESCRIPTIONS

Name: 40, FOLEY STREET W1⁰⁷

List entry Number: 1211904

Grade: II

Date first listed: 14-Nov-1985

List entry Description

TQ 1981 NW CITY OF WESTMINSTER FOLEY STREET, W1 46/12 No. 40 14.11.85 II Block of tenement flats. c.1903 probably by H. Fuller Clark. Red brick and stucco slate roof. Free Style with slight 'Wrenaissance' touches. 4 storeys, basement and dormers in roof. 3 windows wide. Central entrance with hooded arch and mezzanine stair lights above in stucco centre piece spreading at top with parapet swept up. Flanking bays have mullioned glazing bar casements and sashes to upper floors. Brick coping to parapet swept up in shaped gables with oculi. Arts and Crafts area railings. See also Belmont House etc. Candover Street, around corner.

Listing NGR:TQ2918481704

Name: 37, FOLEY STREET W1⁰⁸

List entry Number: 1357014

Grade: II

Date first listed: 14-Jan-1970

List entry Description

TQ 2981 NW CITY OF WESTMINSTER FOLEY STREET, W1 46/16 No. 37 14.1.70 - II Terrace house. Late C18. Stock brick, slate roof. 4 storeys. 3 windows wide. Mid C20 shop front to ground floor. Upper floors have recessed glazing bar sashes under flat gauged arches. Parapet with coping. L.C.C. plaque commemorates residence of Henry Fuseli.

Listing NGR:TQ2915281673

Name: BELMONT HOUSE⁰⁹

List entry Number: 1066343

Grade: II

Date first listed: 09-Jan-1970

List entry Description

TQ 2981 NW CITY OF WESTMINSTER CANDOVER STREET, W1 46/17 Belmont House 9.1.70 GV II Chambers and flats, c.1903 probably by H. Fuller Clark. Purple brick, brown glazed brick and stucco with painted and red brick dressings, slate roof. Free Style Arts and Crafts with some "Wrenaissance" details. 4 storeys, basement and dormered mansard. 3 windows wide. Central entrance, double panelled and glazed doors under lintel and semicircular mezzanine window contained in archway with hood mould. Vertically linked, glazing bar, mullioned casements and flush framed glazing bar sashes. The upper part of facade stuccoed with shaped parapet arched up over. See also Nos 59 and 61 Riding House Street, W1.

Listing NGR:TQ2916781673

⁰⁷ <https://www.historicengland.org.uk/listing/the-list/list-entry/1211904>

⁰⁸ <https://www.historicengland.org.uk/listing/the-list/list-entry/1357014>

⁰⁹ <https://www.historicengland.org.uk/listing/the-list/list-entry/1066343>

