

Design & Access Statement

LAND TO THE REAR OF 152 HIGH STREET
OLD WOKING
GU22 9JH

October 2023



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Introduction

This statement has been prepared by Halo Architects Ltd to accompany an application for full planning permission on land to the rear of 152 High Street, Old Woking.

The proposal is for the erection of 1 no. detached bungalow with associated parking.

It has been produced in accordance with guidance published by the Commission for Architecture and the Built Environment (CABE) and covers the following:

- An analysis of the site as existing, the immediate area and the wider context.
- A description of the design process followed to reach the final design solution, covering the subjects of Use, Amount, Layout, Scale, Landscaping, and Appearance. It considers the constraints of the site and relevant local and national planning policies to demonstrate that the proposed scheme is well conceived with the aim of integrating with its surroundings.
- Considers accessibility within the site and the proposals relationship to transport links in the surrounding area, as well as inclusive access for the elderly and the disabled. It justifies the location of pedestrian and vehicular access points to the site and establishes accessibility to public transport.

It should be read in conjunction with all other correspondence submitted with the application, including Planning Statement, Flood Risk Assessment, Heritage Statement, Arboricultural Report, Energy Statement and Ecology Report respectively.

1 The Site

The site is situated on the southern side of the High Street, Old Woking. It is within a sustainable location, being within the centre of Old Woking, approximately 2km to the south of Woking town centre and Woking Railway Station. The site is within Old Woking Village Conservation Area.

The application site comprises of an open piece of land which lies to the rear of No.152 High Street. It is immediately to the east of No.150 High Street which was formerly the White Hart PH and has been converted into residential accommodation, following the grant of planning permission under PLAN/2012/0937 (as subsequently amended). This consent was also for the erection of a terrace of 3 houses to the rear of the site. No.150 High Street is also a locally listed building.

The site is proposed to be accessed via an existing access immediately to the west of No.150 High Street. This access had been constructed in association with the completion of application ref. PLAN/2012/0937 – Residential conversion of existing public house to form 2 houses and 4 flats and erection of terrace a 3no.houses at rear.

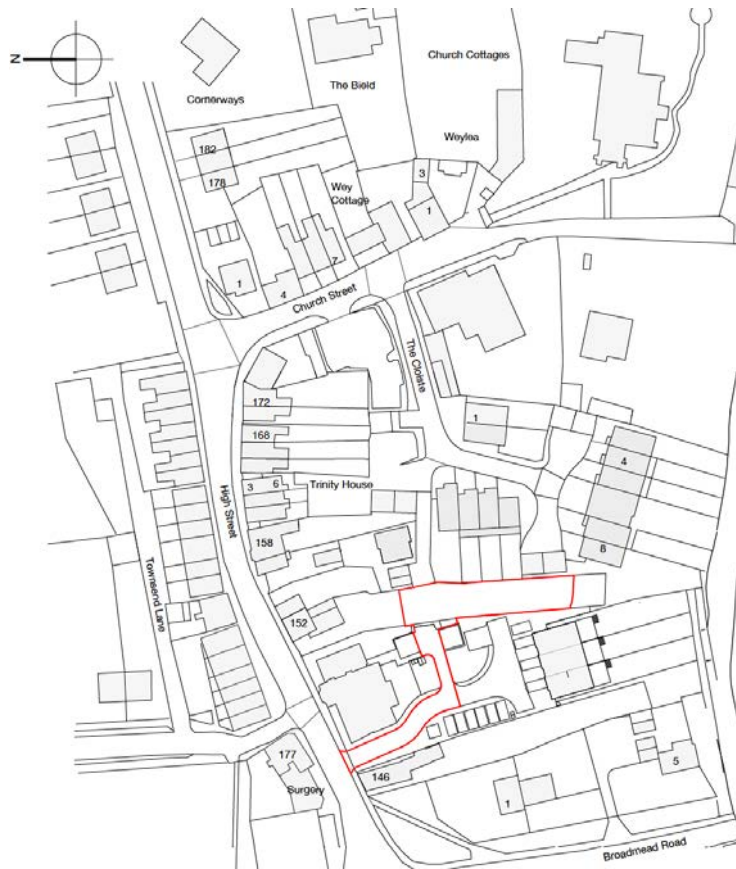


Fig.1 Location Plan

2 Urban Context

The site is within Old Woking Village Conservation Area. The Character Appraisal and Design Guidance states that the character of the conservation area varies with different sections. The application site is located to the south of the High Street, and to the west of The Cloisters. The Character Appraisal and Design Guidance states that within the High Street section the street pattern is dominated by continuous building frontages which closely line both sides of the street, directly abutting the narrow pavements. Narrow building plots predominate. The development of the 'Cloisters' and Riverside Gardens' are modern cul-de-sacs which have little relationship with the historic street pattern.

Building plots are modest but slightly larger than those of older houses within the High Street.

To the north of the site is No.152 High Street which is a two storey semi-detached cottage which fronts onto the High Street. To the west of the site is No.150 High Street. The former Public House has been converted into residential accommodation, with a terrace of 3 houses located to the rear of the frontage building. To the east of the site are a number of terrace houses in The Cloisters (Nos.9-12) which back onto the application site. The River Wey lies further to the south of the site.



Fig.2 Aerial Photograph courtesy of Google Earth



Fig.3 – Site viewed North.



Fig.4 – Site viewed South



Fig.5 – Access to Site from High Street.



Fig.6 – Junction of the High St. and Church St



Fig.7 – Access to The Cloisters viewed West

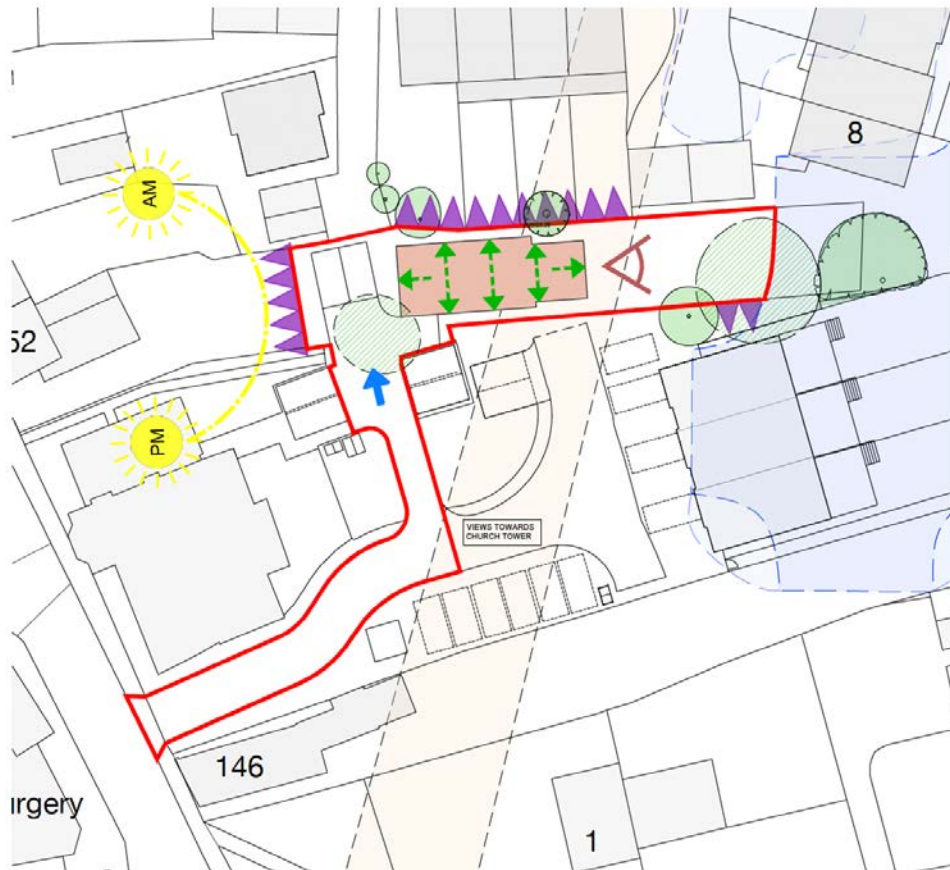


Fig.8– Church Street viewed South.

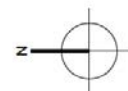


Fig.9 –152 High Street viewed South.

3 Site Constraints & Opportunities



Key					
	Site boundary		Views		Potential development
	Main road		Existing trees		Sun Path
	Potential access		Trees to be removed		FLOOD ZONE 2
	Existing access		Unobstructed view of church tower above single storey		FLOOD ZONE 3
	Vista		Potential overlooking		



- The site falls within the Conservation Area for which a protected unobstructed view of the Church of St. Peters, located to the east of the site, is to be maintained.
- Mature trees occupy the southern, eastern, and northern boundaries whose root protection influences the location and size of the proposed dwelling
- Access to the site is from the High Street and access road from the adjacent development located west of the site at the rear of No.150 High Street constructed some 8 years ago. The access road is of standard and arrangement that allows easy ingress and exit to the proposed dwelling. The existing development is gated providing added security and overlooking to the proposed dwelling.
- Consideration should be given to the existing residential properties located adjacent to the site on the High Street to the north and The Cloisters to the east in terms of mass, scale, arrangement, elevational treatment as well as protection of the private amenity afforded to these properties.
- The site is outside the Flood Zone 2 & 3 and will therefore not be affected by the existing flood levels associated with the surrounding area.
- The site therefore provides the opportunity to introduce an additional dwelling in a well-established residential area to maximise the potential and make best use of redundant land.

4 Planning History

The main planning history relevant to the site is as set out below:

- PLAN/2023/0168
Land Rear Of 152 High Street Old Woking, Surrey.
Erection of a detached two storey dwelling to the rear of No.152 with associated car parking, tree works and landscaping. Refused 20/04/23.
- PLAN/2021/0275
Land Rear Of 152 High Street Old Woking, Surrey.
Erection of detached garage with accommodation in the roof space. Approved 07/09/21
- PLAN/2015/0528
Land Rear Of 152 High Street Old Woking, Surrey.
Erection of two detached dwellings with associated parking and landscaping. Refused 10/05/26

- PLAN/2014/0443
150 High Street Old Woking, Surrey.
Minor Material Amendments to Planning Permission PLAN/2012/0937 for residential conversion and extension of the existing public house to form 2 houses and 4 flats and erection of a terrace of 3 flats at rear – Approved 31/03/2015
- PLAN/2012/0937
150 High Street Old Woking, Surrey.
Application for residential conversion and extension of the existing public house to form 2 houses and 4 flats and erection of a terrace of 3 houses rear.
Approved
- AMEND/2014/0013
150 High Street Old Woking, Surrey.
–Non-material amendment to PLAN/2012/0937– Approved 28/04/2014
- PLAN 2012/2012/0397
150 High Street Old Woking, Surrey.
– Residential conversion and extension of existing public house to form 2 houses and 4 flats and erection of a terrace of 3 houses to the rear.
- Approved 20/09/ 2013.

For further details regarding the planning history and policies relevant to the proposal, please refer to the Planning Statement produced by Woolf Bond Ltd that accompanies this application.

5 Proposal

The proposal is for the erection of 1No. detached 2-bed/4person bungalow. The proposed dwelling is of a high-quality architectural design and the scheme has been specifically designed to ensure that the development will preserve or enhance the character and appearance of the conservation area within which it is located.

The dwelling, being a single storey building has been designed to address the reasons for refusal for the previous proposal (see section 12) with a low eaves and ridge height and will respect the scale and mass of adjoining development and will not compete visually with the rear of No.150 which is a locally listed building.

The height and scale of the dwelling ensures that it will not be overly prominent when viewed from the dwellings situated to the east of the site in The Cloisters.

The proposed dwelling has therefore been carefully sited in order to respect the siting of adjoining buildings and spaces, as well maintaining the important view across the site towards the Church Tower (please refer to the Heritage Statement that accompanies this application submission and the Proposed Site Plan).

(a) Amount

The proposal is for 1No. detached bungalow, as set out below:

Plot 1 (G.I.A) – 83.2sqm

The proposed dwelling has been designed to accord with nationally prescribed space standard requirements for a 2-bedroom/ 4-person dwelling in terms of bedroom sizes and storage.

(b) Layout

The layout of the development has been informed by the siting of existing buildings, including those recently constructed to the west of the site, as well as the need to ‘preserve or enhance’ the character and appearance of the conservation area .

The siting of the dwelling also respects that of adjoining development. The dwelling on has taken into account the positioning of No.13 The Cloisters to the east and also ensures that an adequate separation distance is provided between the rear of the proposed dwelling and the rear elevation of No. 152 High Street (to the north). The layout also ensures that the proposed development does not have any material impact on the setting of No.150 High Street.



Fig.12– Proposed Site Layout (not to scale)

The layout of the development also ensures that the important view of St.

Peter's Church (as identified in the Old Woking Conservation Area Character Appraisal and Design Guidance) from the junction of Church Street with High Street and Broadmead roundabout is not harmed.

The site will be accessed via the newly constructed access off an existing private parking courtyard to the west of the site and will be served by 2No. surface parking spaces.

The proposed dwelling will be provided with a private rear garden which has a southern aspect and is commensurate in size with the footprint of the proposed dwelling and gardens in the immediate vicinity of the site. Separation distances to adjoining properties is in accordance with local authority design standards.

(c) Scale

The scale of the proposed dwelling is appropriate to the context of the site having a low eaves and ridge height and being single storey, it will maintain the unobstructed views of St. Peter's Church Tower. The scale of the proposed dwelling ensures that the amenity of adjoining dwellings is not materially harmed, and that the proposal does not detract from the conservation area or the nearby locally listed building (No.150 High Street).

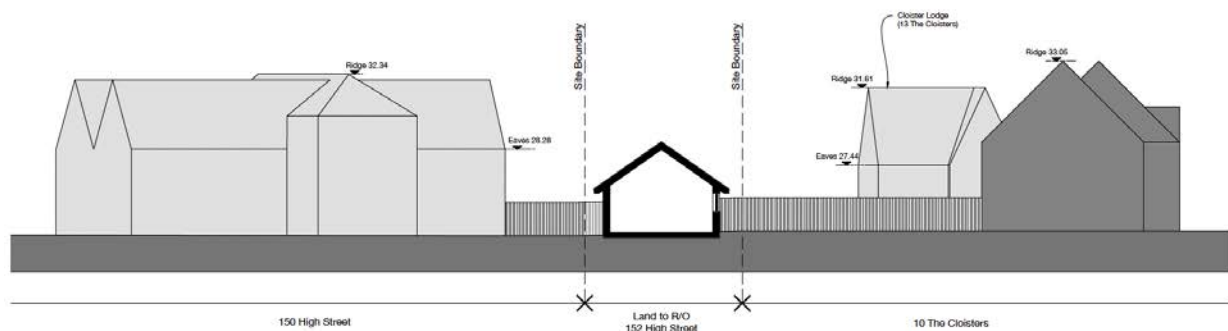
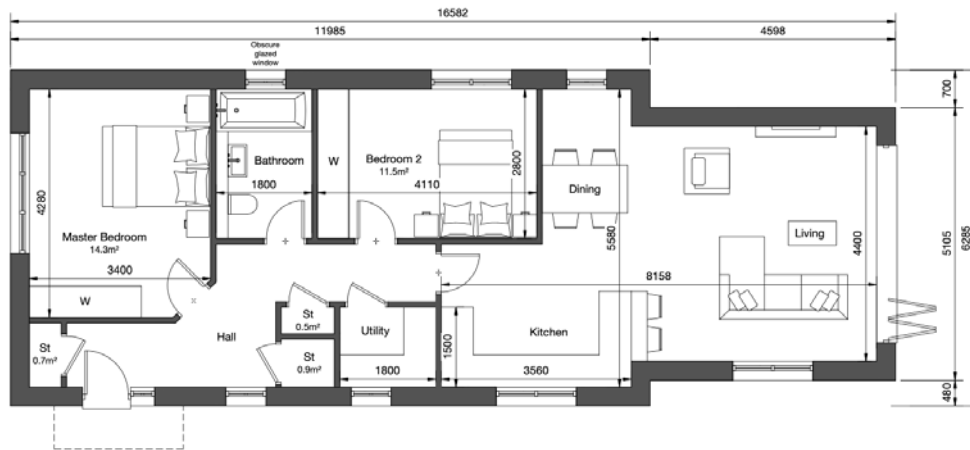


Fig.13- Proposed Site Section A-A (not to scale)

(d) Appearance

The proposed bungalow has been designed having regard to the character and appearance of the surrounding area. The physical step in height and footprint with a change in material finish also breaks up the mass of the building to give the appearance of a piecemeal form of development.

The proposed finish reflects the pallet of the immediate area with the walls finished in face brickwork and render. The roof is proposed to be finished in slate roof tiles. It is proposed to use high quality materials such as double glazed windows and patio doors and aluminium gutters and downpipes.



Ground Floor Plan
G.I.A - 83.2m²

Fig.14- Proposed Floor Plan



Fig.15- Proposed Elevations

(a) Landscaping

The application is accompanied by an Arboricultural Report (see section 11). Soft landscaping and new tree planting are proposed, particularly along the northern, southern, and eastern boundaries of the site to maintain and enhance the biodiversity and ecology.

All amenity areas would remain landscaped with high quality tree, shrub planting and lawn areas. The application drawings provide indicative planting proposals which will be developed, and further details will be submitted at a later date and dealt with by condition as required.

6 Access and Refuse & Recycling

a) Access

The site will be accessed from the High Street via the existing access adjacent to no.150 which serves the recently constructed development located west of the site and behind no. 150, for which the internal road layout easily allows for the manoeuvring of delivery, refuse and emergency vehicles within the development.

Vehicular access to the proposed dwelling is easily achieved with no alteration to the existing parking arrangements to the adjoining development behind No.150 High Street.

- Parking – the proposal will have 2no. surface parking spaces which accords with local authority requirements. The design with the layout is such that vehicles can exit in a forward gear thus avoiding reversing into the existing parking court. Visitors to the proposed dwelling can be accommodated within the site without compromising the existing parking arrangement and vehicular turning areas.
- An electric vehicle charging point will be positioned in front of one of the parking spaces as per local authority requirements for new dwellings.
- The proposed dwelling will also be provided with secure cycle storage for up to two bicycles located within the site curtilage adjacent to the parking spaces.

b) Refuse and Recycling

- The proposed dwelling will also be provided with secure storage for refused and recycling bins located adjacent the site entrance, The bins will be collected as per the current arrangement for the adjacent development behind no. 150 High Street.

7 Heritage

A Heritage Statement has been prepared by RPS Consulting which forms part of the application documentation and provides an assessment of the potential impact the development could have on the Old Woking Conservation Area (OWCA).

In conclusion, the proposed development is not considered to alter the significance,

or the ability to appreciate the significance of the OWCA and no potential harm to the significance of any listed building is identified.

The proposed development is considered to be proportionate to the character and location of the Site and reflects locally established patterns of scale, massing and materiality.

8 Energy & Sustainability

An energy statement has been produced by Blue Sky Unlimited and accompanies the application, a summary of which is follows.

- The proposal has been designed to install an air source heat pump to provide all space heating and hot water from renewable technologies.
- The fabric insulation proposed will be above the minimum required by building regulations
- There will be no gas connection to the site and therefore the no on-site NOx emissions
- Water efficiency measures within the house will ensue the water use is less than 105 litres per person per day.
- An electric vehicle charging point will be provided utilising low carbon electricity source where possible.
- The total emissions from the site based upon the maximum permissible by the Building Regulations (TER) are calculated as 1250kg Co₂ per year. Based upon the materials and insulation specified and the installation of an air source heat pump, the actual (DER) emissions after efficiency measures stated reduced by 48.34% to 392kg CO₂ per year.
- To minimise heat loss from the proposed dwellings and to maximise the efficiency, the proposal will incorporate the following:
 - Insulated roofs, walls, and floors
 - Double glazed windows
 - Ventilation incorporated onto the design to avoid condensation
 - Energy efficient lighting
 - Natural daylight to all habitable rooms
- To minimise the use of water, the proposal will incorporate the following:
 - Water saving devices, such as dual flush /low flush toilet.
 - Rainwater harvesting such as water butts and storage tanks

9 Flood Risk

The proposal falls outside the designated Flood Zone 2 and 3 and therefore will not raise any concern to Flood risk in the immediate area. A Flood Risk Addendum has been prepared by LDE which confirms the following:

- That the site wholly lies within Flood Zone 1.
- Flood risk from rivers or the sea is considered to be very low.
- Flood risk from surface water is considered to be very low.
- Flood risk from reservoirs is also considered to be very low.
- As the site is located entirely within Flood Zone 1, the development passes the sequential and exception test criteria with respect to flooding.
- This FRA also recommends that due to the minor nature of the development (1no. unit) and the location of the entire site in Flood Zone 1, that the development should not be precluded on flood risk grounds.

10 Arboriculture

As the site lies within the Conservation Area, trees are protected. An Arboricultural Statement and Tree Survey has been prepared and accompanies this application submission and can be summarised as follows: -

- The only trees on site which have been identified for removal are low category specimen. A recent consent for a tree removal has been accounted for within this proposal.
- The remaining trees surveyed fall outside the site, and it is considered that their root protection areas will not be a constraint on the proposed development.
- Existing boundary vegetation outside the site will be protected by existing fencing.
- The existing vegetation within the site is of a poor quality and condition and the proposed development will allow for new tree planting to improve the long-term amenity value of the site.

11 Ecology

An Ecological Appraisal Report (EAR)) has been undertaken by Wychwood Environmental to assess the presence of protected species and/or habitats of ecological and conservation value on the proposed development site. A summary of the findings are as follows: -

- The site habitat is considered to be of low ecological value.
- The proposal has potential to support foraging and commuting bats
- The proposal has the potential to impact on breeding birds and reptile species.

- It is considered that the proposed development will have a limited potential impact on protected areas over 1.5km from the site during the construction phase.
- The report recommends mitigation measures to reduce impact of the proposed development upon breeding birds, commuting, and foraging mammals as well as reptile species.
- In terms of biodiversity enhancements, the report recommends the integration of bat roosting features into the proposed dwelling native planting within the landscape plan of the site; roosting opportunities also for nesting birds and invertebrates.
- The report recommends that the mitigation measures should form part of a Biodiversity Enhancements and Mitigation Plan (BEMP) to be secured by condition.
- The report concludes that the survey identified a number for ecological constraints but with appropriate mitigation, there will be no residual impacts and the proposed enhancement measures will increase the net biodiversity on the site.

12 Response to Previous Refusal

The previous proposal for a single dwelling house submitted by the applicant in February 2023 was for a two-storey dwelling with associated car parking, tree works and landscaping (planning reference PLAN/2023/1068).

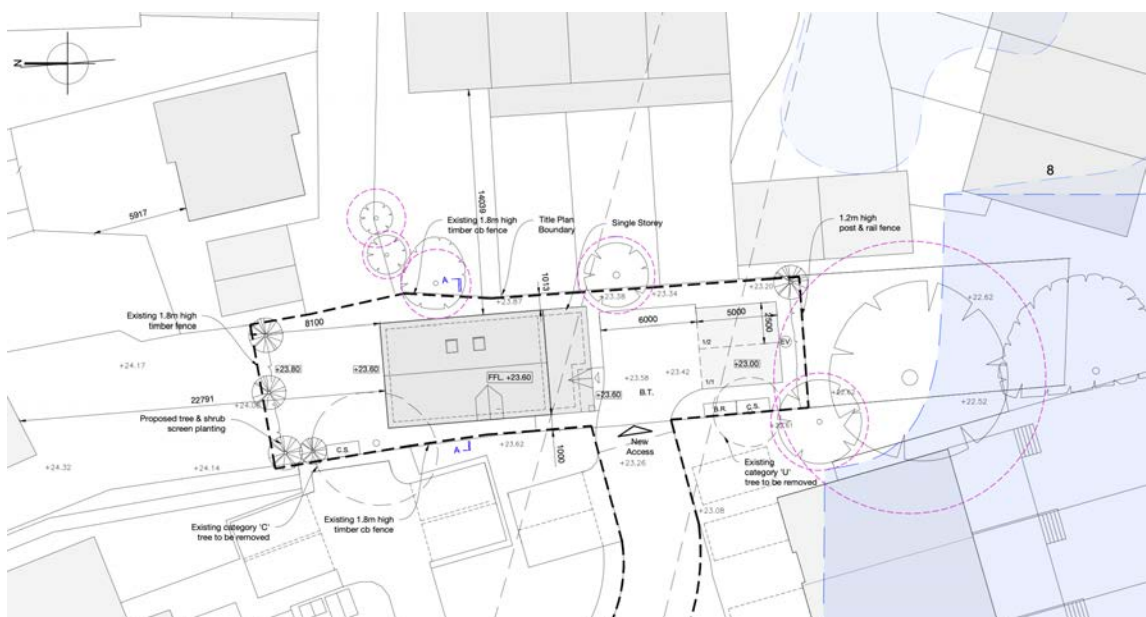
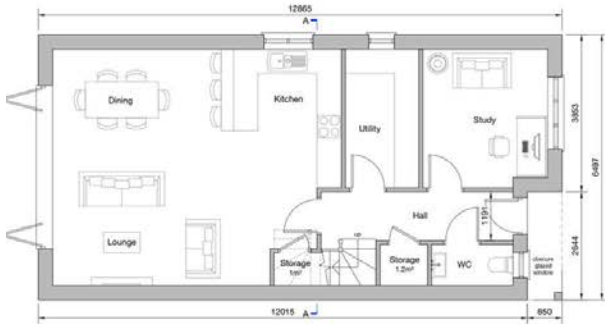
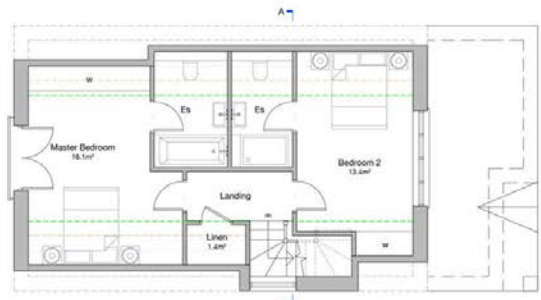


Fig.16– Refused Proposal – Site Layout Plan



Ground Floor Plan

G.I.A. - 68.2m²/734ft²
G.I.A. Total - 116.8m²/1257ft²



First Floor Plan

G.I.A. - 48.6m²/523ft²

Fig.17– Refused Proposal – Floor Plans



Front Elevation (South)

Side Elevation (East)

Fig.18– Refused Proposal – South and East Elevations



Rear Elevation (North)

Side Elevation (West)

Fig.19– Refused Proposal – North and West Elevations

After due consideration the local authority refused the application in April 2023 for the

following reasons.

Reason(s) for Refusal

01. The proposal would result in a poorly conceived dwelling with large expanses of bland and featureless flank elevations which would fail to preserve or enhance the character or appearance of the Old Woking Conservation Area and amounts to a cramped and incongruous form of development which would be at odds with the existing pattern of development within the area. In line with the National Planning Policy Framework, it is considered that this would result in less than substantial harm to the designated heritage asset of Old Woking Conservation Area, however no public benefits have been presented that would outweigh the harm identified. The proposal is therefore contrary to Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policies CS20 and CS21 of the Woking Core Strategy 2012, Policy DM20 of the Development Management Policies DPD 2016, the Council's Supplementary Planning Document 'Design' 2015, Old Woking Conservation Area Appraisal and the NPPF.
02. By reason of its cumulative scale, fenestration layout and proximity to the shared boundaries of Nos. 9, 10, 11 and 12 The Cloisters as well as No.150B High Street, the proposed dwelling would give rise to a significant harmful sense of enclosure and be overbearing in the outlook at the rear of Nos. 11 and 12 The Cloisters. It would also give rise to a significant harmful loss of sunlight, and to adverse overshadowing to the amenity spaces of these properties given its positioning and positioning due west of these properties. Further to this, given the internal layout and fenestration proposed, clear unobstructed views into the rear amenity spaces of Nos. 9 and 10 The Cloisters as well as the amenity space of No.150B High Street would significantly impact on the privacy of these neighbouring properties. This would result in an unneighbourly form of development which would fail to achieve a satisfactory relationship with these neighbours or respect the separation between buildings and is, therefore, contrary to the provisions of Section 12 of the National Planning Policy Framework, Policy CS21 of the Woking Core Strategy 2012, Supplementary Planning Documents 'Design' 2015 and 'Outlook, Amenity, Privacy and Daylight' 2022.
03. The development would fail to provide a good standard of amenity for future residential occupiers considering the restricted rear private amenity space that would fall below the minimal amount of space required as outlined in the Council's Supplementary Planning Document 'Outlook, Amenity, Privacy and Daylight' 2022. The development would, therefore, fail to accord with the provisions of the National Planning Policy Framework, Policy CS21 of the Woking Core Strategy 2012 and Supplementary Planning Document 'Outlook, Amenity, Privacy and Daylight' 2022.
04. It has not been demonstrated that the proposed development would not cause harm to protected species or habitats or that the proposed development would not result in a net loss of biodiversity on the proposal site. The proposed development is therefore contrary to the provisions of Section 15 of the National Planning Policy Framework and Policy CS7 of the Woking Core Strategy 2012.
05. In the absence of a Legal Agreement or other appropriate mechanism to secure contributions towards mitigation measures, it cannot be determined that the net additional dwelling arising from the proposed development would not have a significant impact on the Thames Basin Heaths Special Protection Area, contrary to Policy CS8 of the Woking Core Strategy 2012, the Thames Basin Heaths Avoidance Strategy 2022, saved policy NRM6 of the South East Plan 2009 and the Conservation of Habitats and Species Regulations 2017 (SI No. 1012 - the "Habitats Regulations").

To address the above reasons for refusal, the following changes to the scheme has been implemented in this submission, namely: -

- The site has increased in size by approximately 100sq.m which allowed for the new proposal to have a change in orientation and a much larger rear garden amenity in comparison to the previously refused scheme.
- The proposed dwelling has been reduced from two storey to a single storey dwelling. This has reduced the overall height by approximately 2 metres.
- In comparison with the refused scheme, the overall size of the proposed dwelling has reduced from 116.8sq.m to 83.2 sq.m, a 28% reduction.
- In comparison with the refused scheme, the proposed dwelling has been reorientated 180° so that the rear garden is now south facing onto the river. Furthermore, the garden amenity has increased in size by 92%

from 69sq, to 133sqm. With a garden depth of over 12m in length the rear amenity area matches the footprint of the proposed dwelling.

- Additional planting and landscaping will provide a net gain in biodiversity for the site.
- Access to the proposed dwelling is also relocated to the northern portion of the site, still accessed from the parking court.
- In comparison with the refused scheme, the proposed dwelling is significantly reduced in terms of mass, bulk, height and scale.

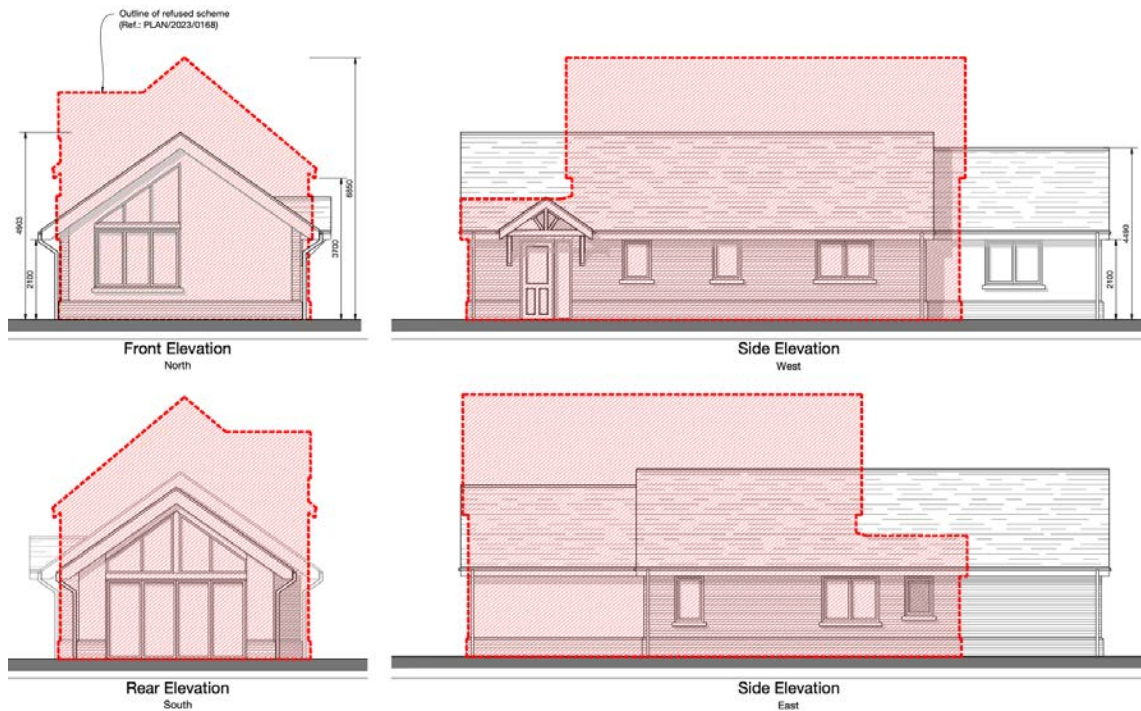


Fig.20– Comparison Elevations Existing & Refused

13 Conclusion

The planning application provides for the erection of 1no. new dwelling, with associated parking. The proposal meets in full the Council’s adopted Local Plan policies and should be supported for the following reasons:

- The application site falls within a location where the principle of redevelopment is acceptable, subject to meeting the Council’s design policies.
- The proposal has taken into account the location of the site within the Old Woking Conservation Area. The proposal is small in scale and has been specifically designed to respect the character and appearance of adjoining development and the conservation area in general. The proposal would therefore preserve the character and appearance of the Conservation Area

and would not detract from the nearby locally listed building.

- The siting of the new dwelling has taken into account the positioning of adjacent dwellings and ensures that the proposal would not result in any loss of amenity to occupants of adjoining properties.
- The proposal provides for a form of development that is in keeping with the character and appearance of the surrounding area in terms of its size, scale, layout, height and design.
- The new proposal has significant changes that addresses the reasons for refusal for the previous scheme by the reduction in height, mass, bulk and scale together with the reorientation of the proposed dwelling.
- The site is accessible to public transport modes and provides for unrestricted access to the elderly and disabled.

Appendix A: Drawings List

HA23-218-P200	Location Plan
HA23-218-P201	Existing Block Plan
HA23-218-P202	Proposed Block Plan
HA23-218-P203	Proposed Site Plan
HA23-218-P204	Proposed Floor Plan
HA23-218-P205	Proposed Elevations
HA23-218-P206	Site Section
HA23-218-P207	Bin & Cycle Storage deraolLocation Plan
HA23-218-P208	Comparison Elevations – Refused and Proposed.