



Design + Access Statement

Site Address

42 Coneyburrow Road, Tunbridge Wells,
TN2 3NB

Local Planning Authority

Tunbridge Wells Borough Council

Project Description

Proposed two storey rear extension, single storey front extension, floorplan redesign and all associated works



42 Coneyburrow Road. Aerial view

Introduction + Site

McCarron Architects have prepared this Design and Access Statement to support a planning application for the proposed development at 42 Coneyburrow Road. The purpose of this document is to ensure that the planning authority, Tunbridge Wells Borough Council, have a proper understanding of the proposal.

42 Coneyburrow Road is a two storey, 2 bedroom family dwelling. It forms part of a terrace stretching from no. 36-46. The property is finished with red brick, the pitched roofs are concrete tiles, the windows and doors are white uPVC.

The properties along the road are relatively consistent in appearance. However, many have been modified over the years with front and rear extensions.

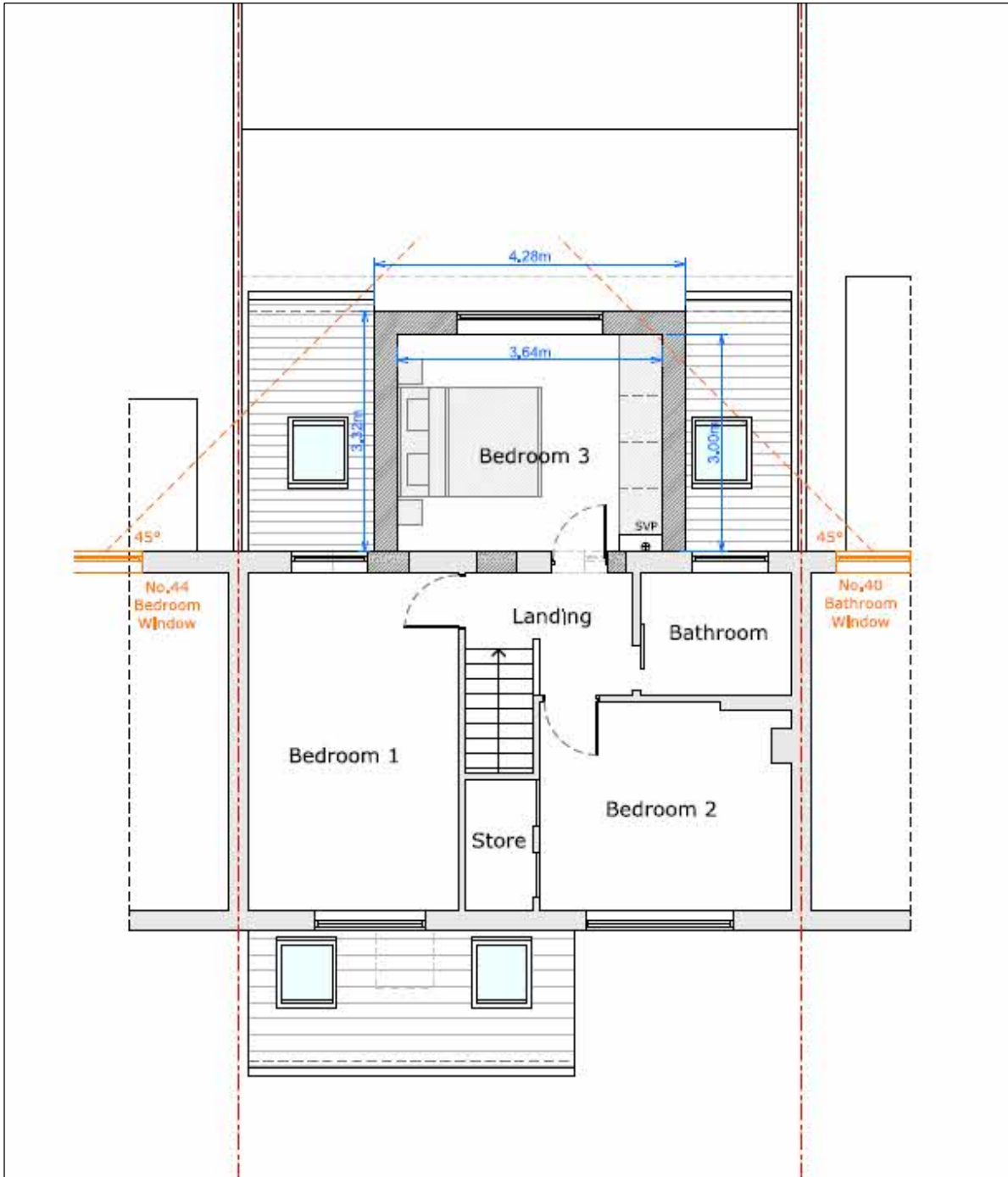
The site is not within a conservation area, nor is it listed.





Site photos. 20th September 2023





Proposed first Floor Plan

Proposed Design

Works to include:

- Single storey rear extension to project 3.32m
- Part two storey rear extension to project 3.32m and have a total width of 4.28m
- Single storey front extension to project 1.8m and have a total width of 4.48m
- Façade alterations to include repositioning bedroom 1 rear window
- Internal redesign

Scale + Form

The development has been designed to blend harmoniously with the existing building and property within the vicinity. The first floor roof will be a continuation of the eaves level and will match the existing roof angle.

Neighbouring Amenity

Impact on neighbours has been a key consideration during the design process. The first floor rear extension will be set in from the boundaries, no part of the mass will cross the 45° line when drawn from the neighbouring habitable windows (note: no.40's nearside window serves a bathroom). The single storey front and rear extensions will have pitched roofs to minimise impact on surrounding neighbours. The rear mass is also partly screen by existing neighbouring extensions on both sides.

Materials

All materials have been chosen to match the original building.



Supporting Precedents

There are approved precedents in the area which support the design put forward in this application. Some of which have been listed below.

22/02211/FULL

40 Bracken Road

Erection of first floor rear extension

22/02254/FULL

23 Fairmile Road

Proposed single storey rear extension and front porch

20/02180/FULL

108 Sherwood Road

Demolition of existing single storey front porch and erection of new single storey front porch extension and single storey rear extension



Sustainability

The proposal has been designed to be a sustainable development. High architectural performance will be achieved through the use of modern technologies and materials. The extension will be insulated to meet current energy-efficiency standards.

Access

The proposal will create a new access point via the proposed front porch and rear extension doors. .

Landscaping and Vegetation

The proposal includes minor landscaping works to tie the extension to the existing patio. No major trees or hedges will need to be removed or pruned. There will be some removal of minor bushes during the construction process.

Closing Remarks

The ambition is to create a high quality piece of architecture which respects the guidance set out by the local planning authority.

The applicant and agent would be pleased to communicate with the planning department throughout the process.

