

This drawing is for the sole purpose of obtaining Planning Approval and not intended for Construction/Working drawings

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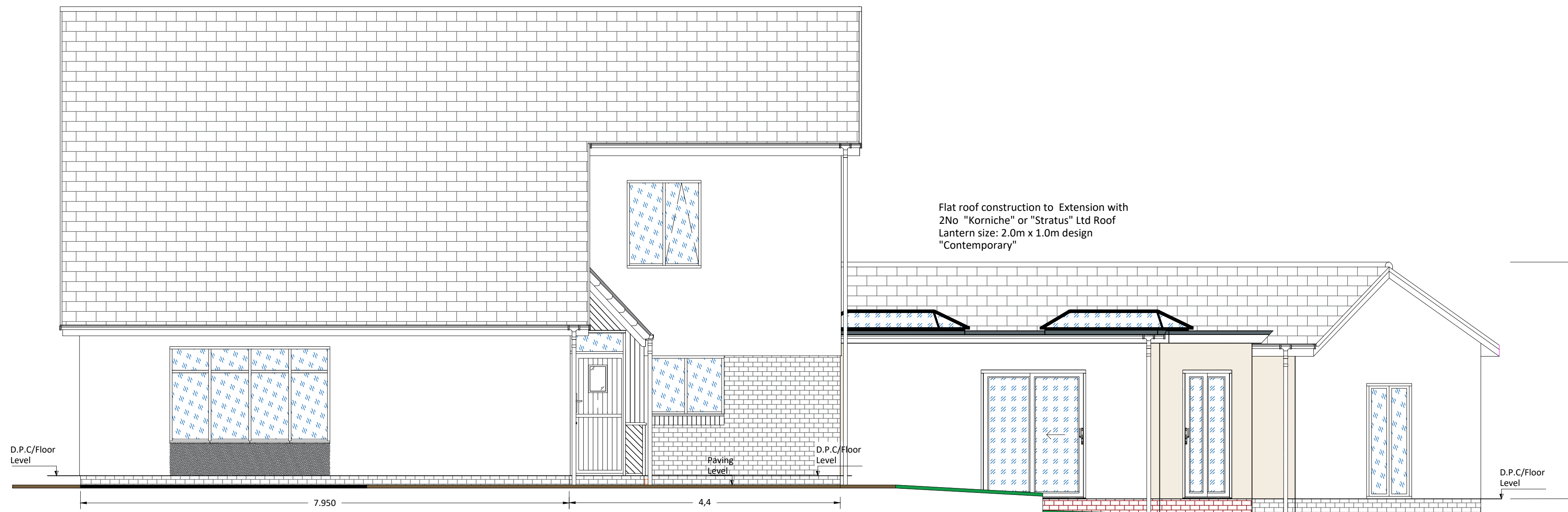
Client:- Mr & Mrs K Kellett
39 Church lane,
Wrightington .
WN6 9SN

Project:-
Rear Ground Floor Flat Roof Extension
to 39 Church Lane, Wrightington.

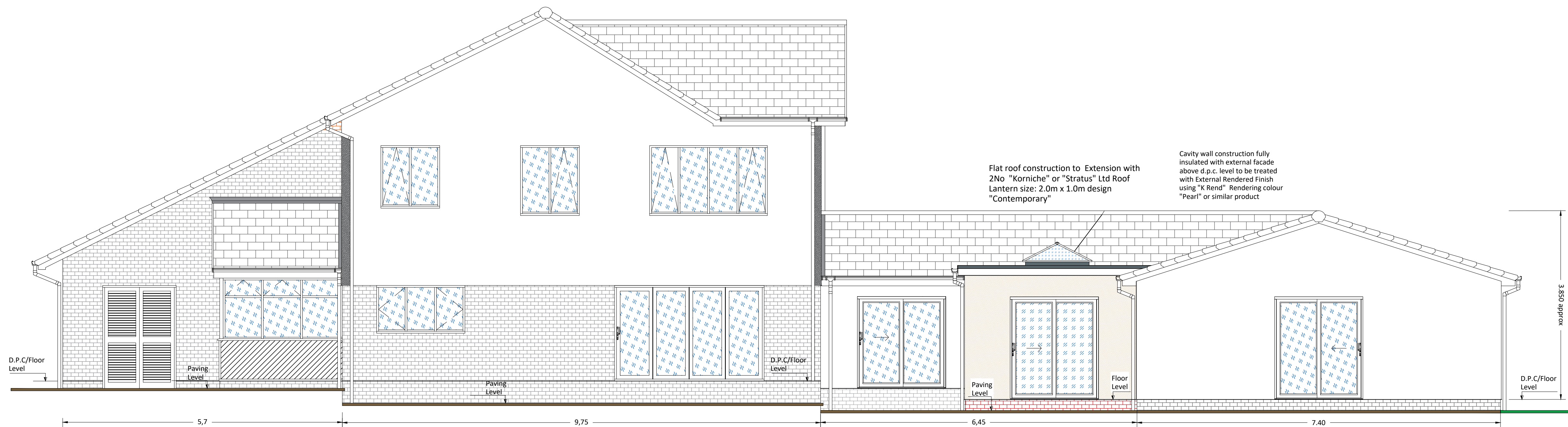
Drawing Title :-
Proposed Elevations & General Notes

Scale :- 1:50(A1) **Drawn By :-** DPB **Date :-** Sept 2023

Drawing No :- DPB/ KK /2023/03P **Rev No :-**

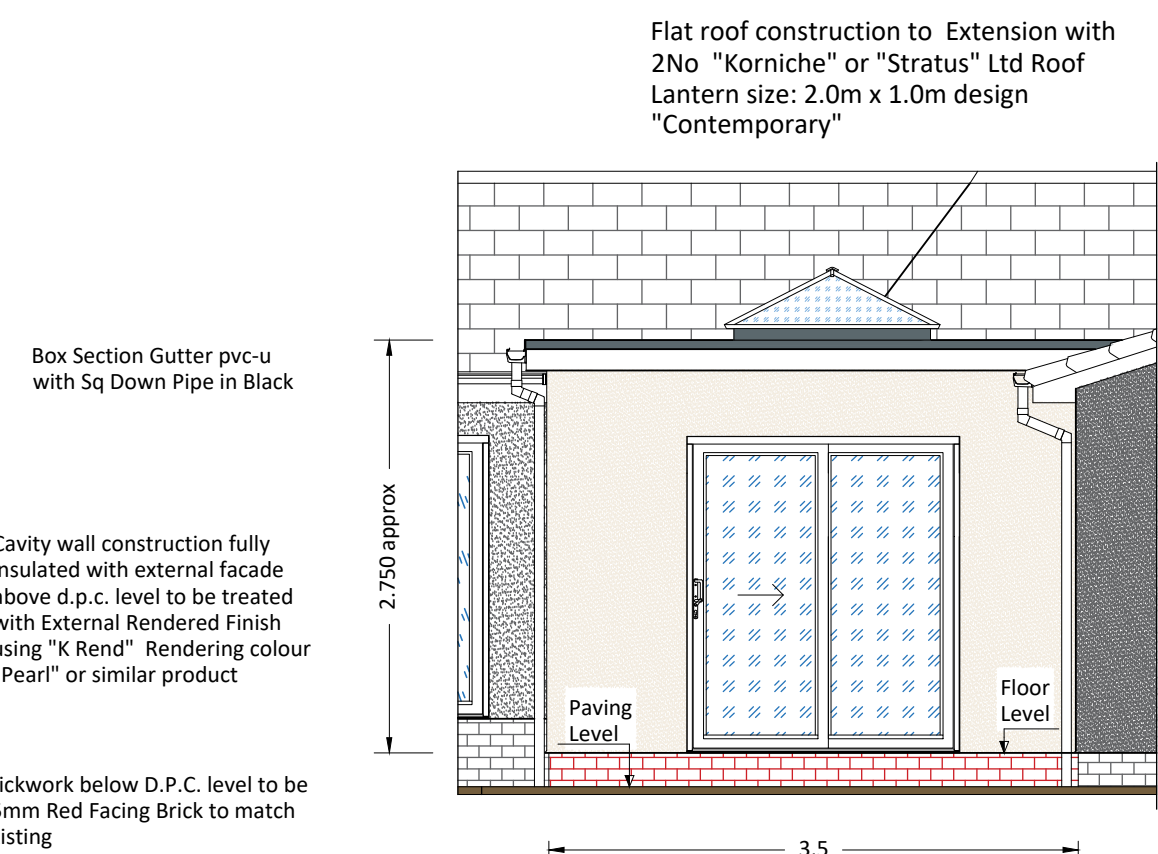


Proposed Side (East) Elevation

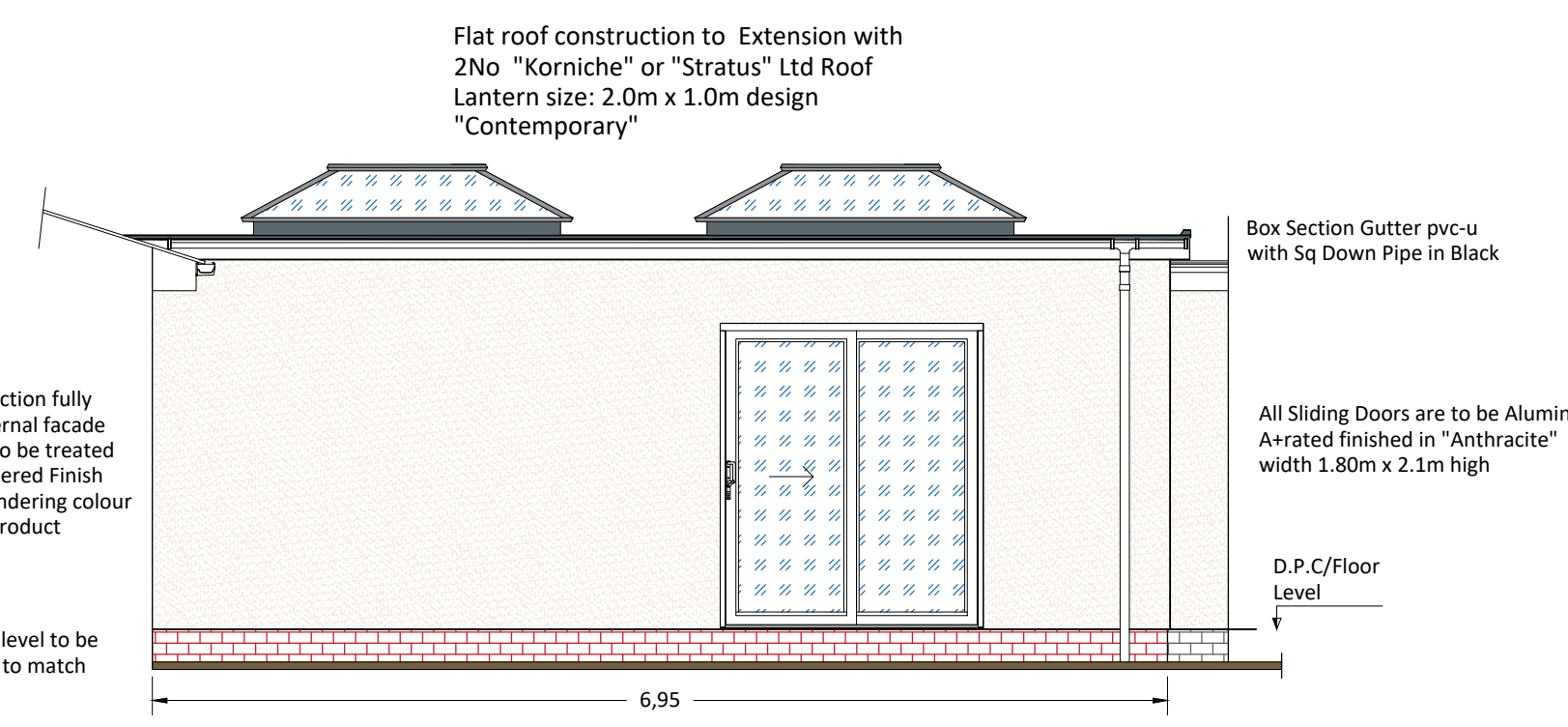


Proposed Rear (North) Elevation

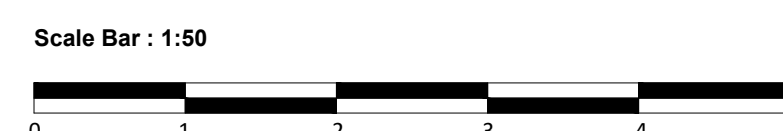
Area Around Property:- 3450.0m²
Area of Footprint:- 263.0m²
Existing Property :- 263.0m²
Rear Extension :- 26.73 m²
Volume of Extension :- 73.51m³



Proposed Rear Elevation



Proposed Side Elevation



General Notes

Scope of works :-

- Construction of a Single Storey Rear Extension attached to existing Swimming Area.
- This to provide a Gym and Well-being & Changing Rooms .
- Flat Roof with 2 No Glass Lanterns .

Drainage :-

- Existing 100mm (I.D.) consists of s.g.w combined foul & surface water system which discharges into existing main sewer .
- All existing Inspection Chambers and drainage pipes to be reused, all within the boundary of the property.
- All new pipe work ,gullies and associated fittings to be underground upvc system all to be fitted in accordance with manufactures specification and to comply with approved Document H 2002 ,all proposed drainage to be approved by Building Control Officer

Structure :-

- Strip foundations to be inspected before any structural work is carried out to property and to be approved by Building Control Officer. .
- Cavity wall construction to be 350mm with the required insulation fitted with in cavity
- Cavity wall to be constructed using 100mm solid concrete blocks to the out leaf with 150mm cavity and to the inner leaf 100mm "Tarmac Topflite" light weight blocks.
- All external block work to be rendered using "K Rend" or similar product
- Guttering to be "Box" section profile with 65mm sq down pipe to match existing
- All windows & doors are to be high performance A+ upvc in "Anthracite" providing a minimum "U" value of 1.4 W/m²K for windows and 1.4 W/m²k for doors all in accordance with approved Document L1B2010
- Plaster work to be 12.5mm plasterboard dot & dab to block work with 3mm skim finish to first floor only.
- All internal finishes to be agreed and confirmed by the client.
- Flat Roof Construction with GRP roofing covering & 2 No Glass Roof Lanterns
- All works to comply with current Building Control Regulations Approved Documents A, B , C, D,E,F,G, H,K, L1A, L1B L2B, M, N ,P, Q, and Regs 7

Boundary Treatment :-

- All existing boundary fencing to remain as existing.

Landscaping :-

- Layout of Landscaping as shown on drawing but to be confirmed by client.

Mechanical Heating & Plumbing:-

- All plumbing to be carried out by a competent plumber.
- Proposed heating to building is to be connected to existing Central heating System in the Main Property all associated works to the central heating system to be carried out by Gas Safe & Hetas registered engineers.
- Proposed radiators to be connected/ feed off existing central heating system will be fitted with Thermostatic radiator valves and all existing pipe work is 15mm copper
- Any proposed alterations to hot and cold water feeds to be in 15mm copper pipe work.
- Any pipes in vulnerable location are to be protected using 25mm thick walled insulation.
- All plumbing to be in accordance with Building Regulation Document H.

Electrical :-

- All electrical works to be carried out by a NICEIC or ECA approved and Registered Electrician and all works to be carried out in accordance with Building Regs Document L1 & P1. and B.S.7671 IEE Regulations.On completion of all electrical works a suitable Part"PP" certificate to be submitted to Building Control Department.
- Electrician to carry survey of all existing wiring and capacity of existing consumer unit to see if it can accept additional loading .if existing wiring and consumer unit is not adequate then up grading of the system of the property will have to be carried out.
- All work to be in accordance with Building Regs Document L1 & P1
- All new electrical work are to comply with latest edition of the IEE regulations.
- Provide 25% energy efficient lighting
- Provide Smoke & Heat detectors in accordance with the guidance of Approved Document "B". Smoke to be located at ground floor lounge area and link into existing smoke/heat detection circuit in existing property . All fittings are marked on drawings shown as :- (S.D.) & (H.D.)
- Layout of sockets . light switches and lights to be confirmed with client