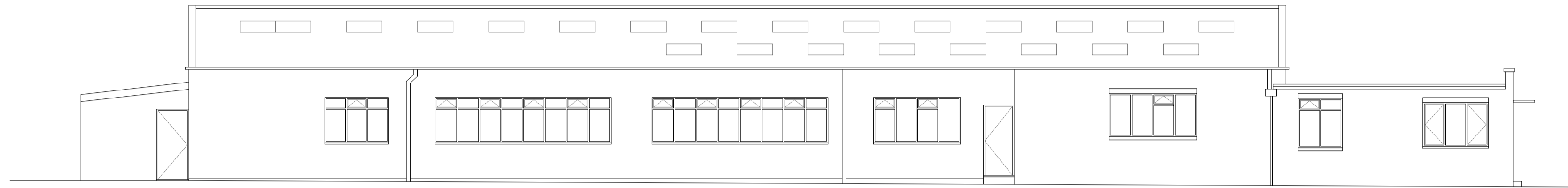


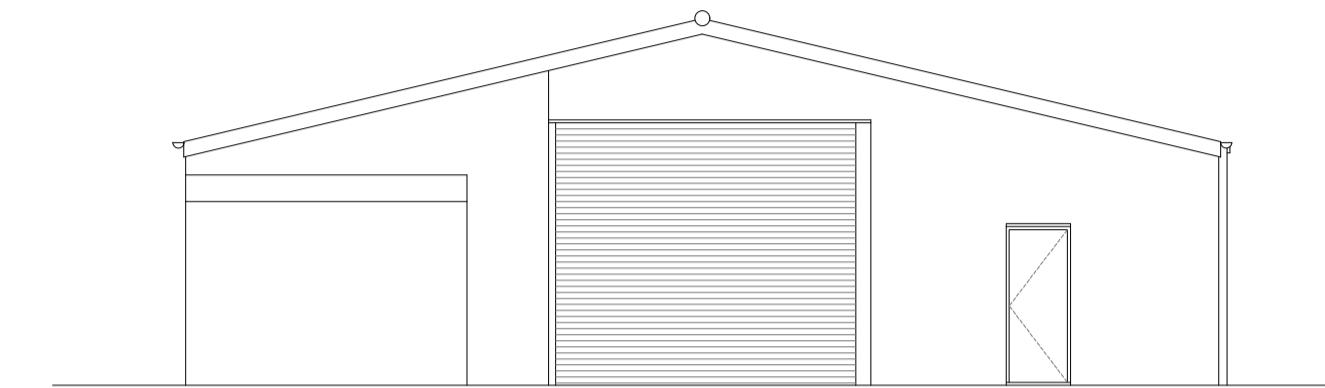
PLANNING PURPOSES ONLY.

Notes:

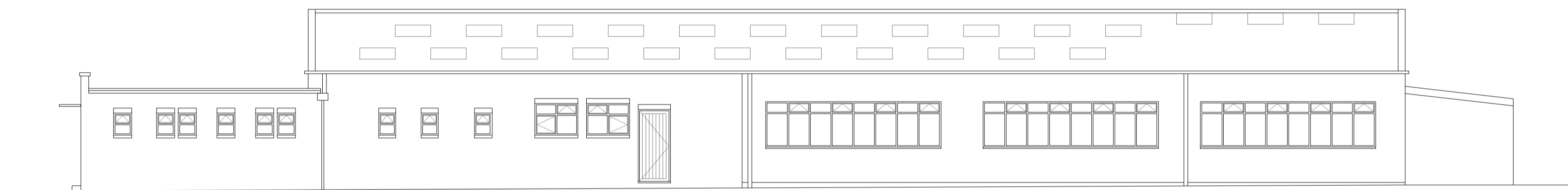
- 1) The contractor to confirm details of the existing structure are correct prior to commencement of any works. if there are any discrepancies please contact us.
- 2) Soakaways are to be a minimum of 5.0m away from any building and 10.0m away from any water course.
- 3) All drainage details are indicative and should there be any discrepancies, please contact us to review or agree with the building control officer.
- 4) In any project in which a building over a public sewer agreement is required, it is the contractor/ client responsibility to obtain the relevant approval. This is to be obtained prior to commencement on site.
- 5) Contractor to locate the position of any existing services prior to excavation.
- 6) In any project in which a Party Wall Agreement is required, it is the contractor/ client responsibility to obtain the relevant approval. In this circumstance boundary foundations may be required.
- 7) Unless noted otherwise, Rees Construction Management have not identified any significant risks associated with the design intent shown on this drawing which could not be managed safely by a competent contractor.



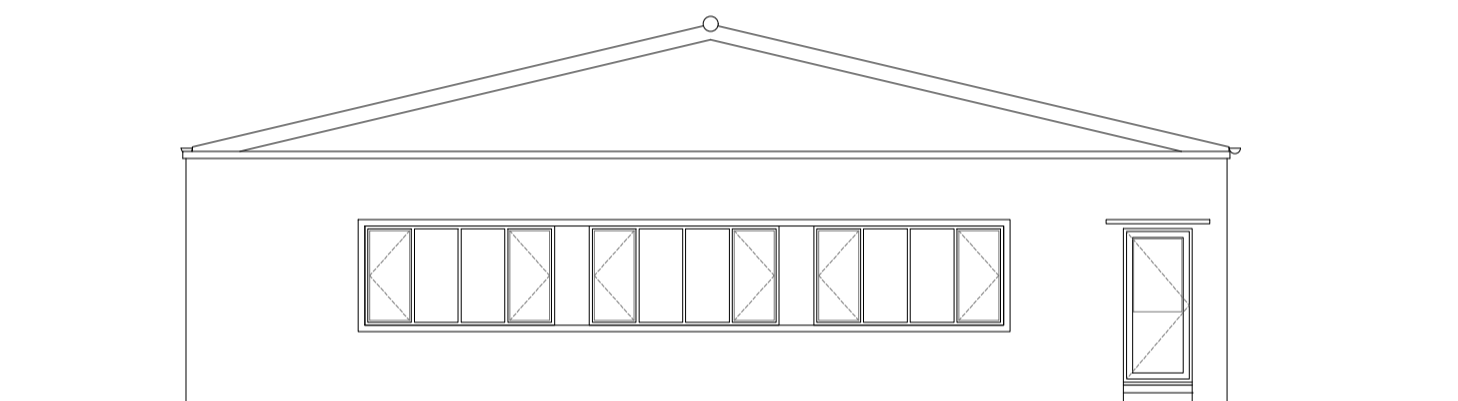
Existing West Elevation
Scale 1 : 100



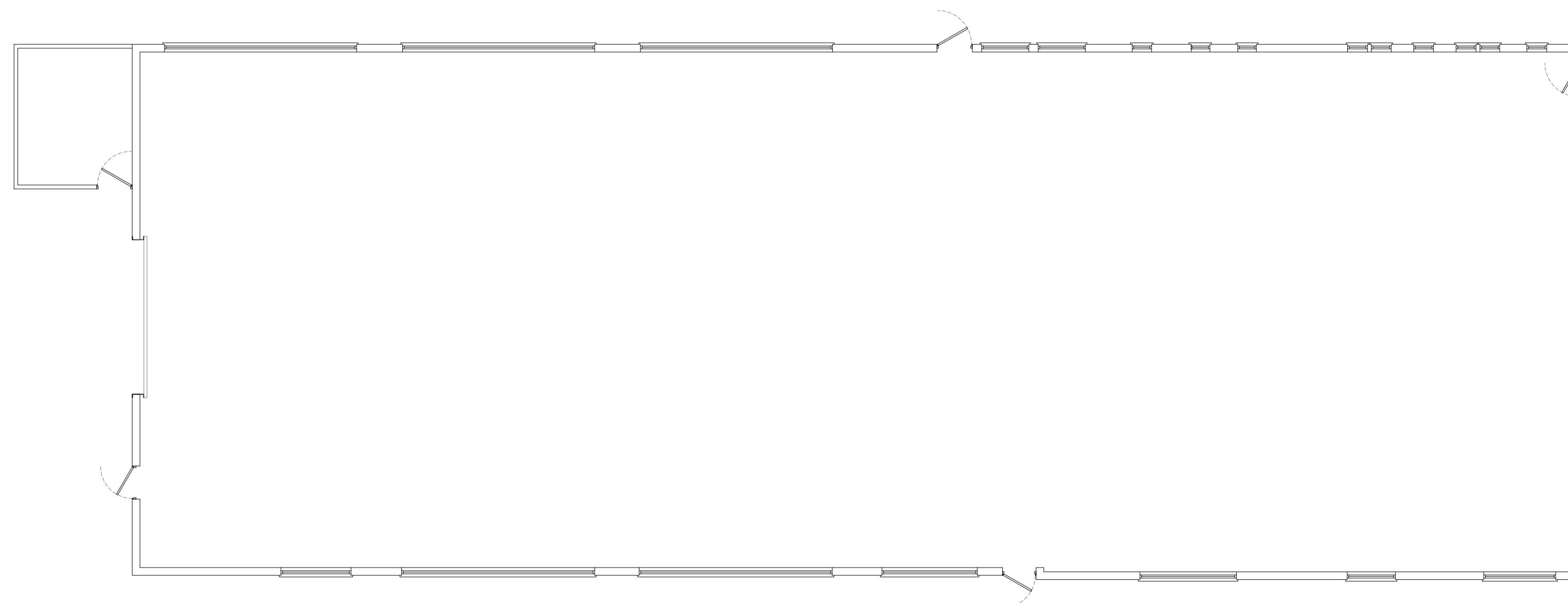
Existing South Elevation
Scale 1 : 100



Existing East Elevation
Scale 1 : 100



Existing North Elevation
Scale 1 : 100



Existing Footprint
Scale 1 : 100

Status: **PLANNING**

Revisions:	drn	chk	date
PO Initial issue.	NM	-	28/07/23

Client: **Mr R Goodman**
Colwick Industrial Estate, Private Road
Number 7, Netherfield, Nottingham, NG4 2JW

Project: **Industrial Development**

Drawing: **Existing Elevations & Plans
Building One**

Drawn by: **RD** Date: **July 2023** Scale: **As Shown @ A1.**



Address: 60 Carter Street, Uttoxeter, Staff, ST14 8EU. Tel: 01889 227127



Drawing No: **R0333 - 010**

PO