



HAYDEN ASSOCIATES
CHARTERED SURVEYORS

Design and Access Statement

Marsland Manor, Morwenstow
Bude, Cornwall
EX23 9ST

August 2023



1. Introduction

This statement has been prepared to accompany the Listed Building Consent application for the creation of new bathrooms within existing rooms and the installation of a central heating system and other internal alterations, at Marsland Manor, Morwenstow.

Marsland Manor is a Grade II* Listed farmhouse dating back to at least the 16th Century, although it was remodelled during the period 1656-1662, according to the internal and external datestones within the east range of the property. There have also been later 19th Century and 20th Century alterations, including the separation of the 'West Wing' as self-contained accommodation.

2. Proposals

The application seeks to convert two first floor bedrooms into 'Jack-and-Jill' bathrooms, forming a ground floor shower room within the existing utility room, reinstating previous door openings and installing a wet central heating system with oil-fired boiler located in the lean-to store to the west.

The new oil tank will be a bunded tank, located at the north west of the property externally, sited in line with the requirements of Building Regulations Approved Document J including the incorporation of a protective fire guard. There is evidence of an oil tank having been sited in this location previously. The oil fired boiler is to be located within the adjacent lean-to store with flue terminating through the Delabole slate roof incorporating a pitched roof lead slate flashing detail. The pipework from the boiler into the property will be via minimal penetrations through a blocked up opening between the lean-to store and annexe sitting room. Circulation pipework will be surface mounted copper pipework to minimise disturbance of the historic fabric and enable the works to be reversible.

The applicant also seeks to 'reverse' some of the modern interventions within the property to provide finishes that are more in keeping with the style and architectural values of the house. These include the replacement of the contemporary floorboards within the south range bedroom, fitted due to previous decay, with timber floorboards sourced to match the dimensions and colour of historic boards elsewhere in the property. The applicant also intends to board and skim the underside of the exposed contemporary ceiling beams within the east range central bedroom to provide a finish and ceiling height that is consistent with the ceiling of the adjacent bedroom.

3. Design Information



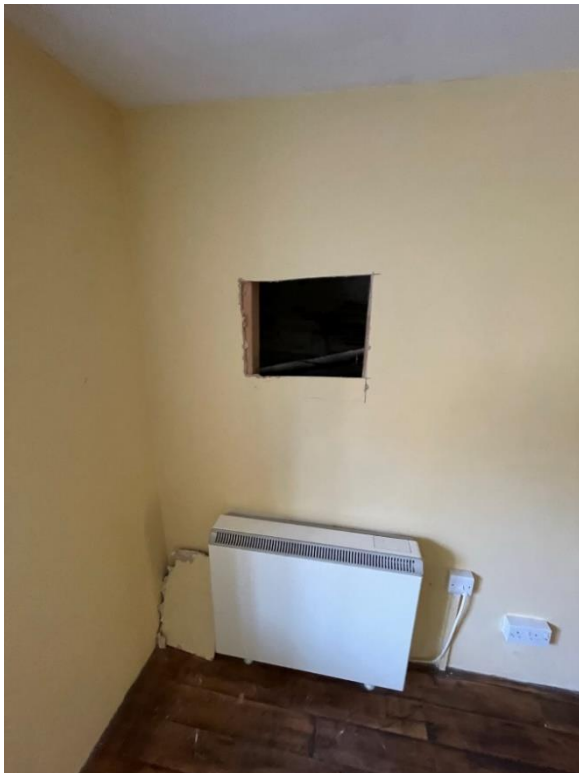
Figure 1 – Existing Bedroom 5 to be converted into a ‘Jack and Jill’ bathroom, retaining the through-passage layout. Pipework to be boxed in at low level and soil pipes to be located within existing cupboard, dropping down into the utility below.



Figure 2 – Existing utility room. New shower and WC to be installed behind bespoke three-quarter timber stall partition on raised floor. Final joinery details to be submitted for approval.



Historic opening reinstated



Figures 3-5 - Existing annexe bedroom to be converted into bathroom and opening to main Bedroom 1 to be reinstated. Photos showing timber plank and lath and plaster in-fill, timber lintels and plastered wall reveals, indicating historic opening, understood to have been blocked up in the 20th Century.

Pipework to be boxed in at low level, exiting through new opening in the external wall and connecting into existing external soil pipe.



Historic opening reinstated



Figures 6-7 – Existing annexe dining room, opening to main sitting room to be reinstated. Photos showing stone in-fill, timber lintels and plastered wall reveals, indicating historic opening, understood to have been blocked up in the 20th Century.

Pipework from new boiler to enter via blocked up door opening to rear wall, shown at the far left of the photograph.

Soil pipe to exit at low level and connecting into existing underground soil pipe



Figure 8 – East elevation. New soil pipe to exit at very low level to connect into existing underground soil pipe. Localised lifting of cobbles to enable installation of pipe branch, cobbles to be reset as existing.

Conservation vent grille serving extractor fan.

Soil pipe connecting into existing stack. Replaced with cast iron pipe.



Boiler flue outlet through lean-to store roof

Location of new bundled oil tank serving boiler

Figure 9 – North elevation. Conservation vent grille with insect mesh to be installed. New soil pipe connecting into existing stack and pipe replaced with cast iron pipework. Localised making good of stonework in lime putty mortar.



Conservation vent grille serving extractor fan, localised making good with lime putty mortar.

Figure 10 – Internal courtyard west elevation. Conservation vent grille with insect mesh to be installed and localised making good of stonework in lime putty mortar.



Figure 11 – Proposed conservation vent grilles (sourced from Cast Iron Brickwork Company).

Boiler flue outlet through lean-to store roof



Figure 12 - West elevation. Boiler flue to terminate through roof of lean-to store.



Figure 13 - Interior of lean-to store and location of proposed oil boiler, to be set on concrete plinth. Flue to terminate through rag slate roof. Service pipes to enter main house through blocked up opening (area of blackened render).



Figure 14 – Bedroom 2 ceiling – plasterboard to be fixed to underside of 20th Century timber beams, skimmed and painted, to provide ceiling of height and finish consistent with adjacent rooms.

4. Access

There are no changes to the site or property access as part of the proposals.