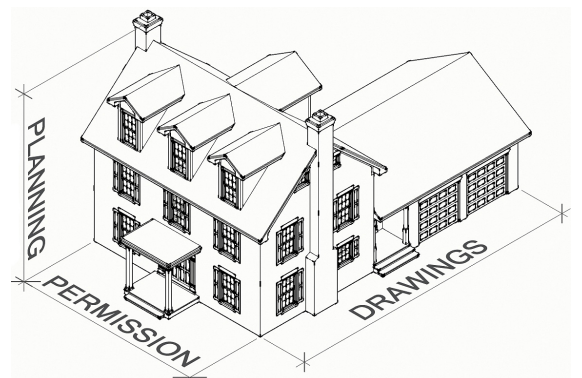


**22 COURTLEIGH AVENUE
LONDON EN4 0HS**

DESIGN & ACCESS STATEMENT

October 2023

231016_042/22CourtleighAve



CONTROL SHEET

CLIENT: Mr M Demetriou

PROJECT TITLE: 22 Courtleigh Avenue, London, EN4 0HS

REPORT TITLE: Design & Access Statement

PROJECT REFERENCE: 231016_042

Revision Record:

Issue	Amendments	Status	Date
P1	-	Issued for planning	16/10/2023

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Introduction:

This Design and Access Statement is in support of the Planning Application for an extension and loft extension within the detached residential property at an end of terrace residential property at 22 Courtleigh Avenue, London, EN4 0HS. This document generally concentrates on the proposed changes.

This property sits in a predominantly residential street, Courtleigh Avenue, alongside other similarly sized detached residential properties in the same street. All properties are set back from the roadway and footpaths that run on both sides of the road. Property styles within the street are varied, though there is a limited range of styles and sizes. Although many of the properties on the street have been extended resulting in varying styles, the road has retained its overall mixed character. Courtleigh Avenue is a street sited off Duchy Road, in the Hadley Wood area. The property is not located in a conservation area.

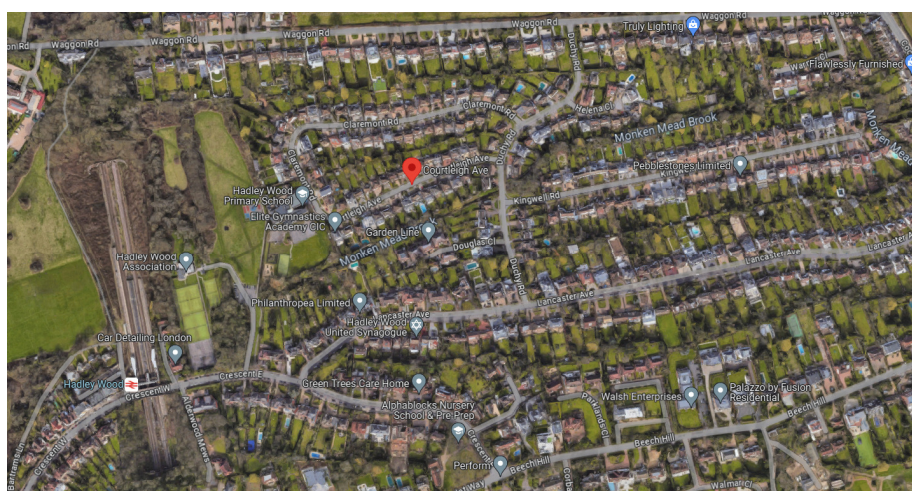
Various styles of residential property on Courtleigh Avenue



The property is a detached property constructed of smooth rendered masonry with a clay tiled pitched roof. The building consists of two floor levels. The property has been extended previously to the rear with a single storey kitchen extension with a pitched roof.

Windows are double glazed PVCu in white, and are fitted with internal glazing bard in white. There is a curved bay window at ground floor level. There is a front garden with ample off-street parking and a large rear garden. There is a side access to the rear from the front garden.

The property has retained its original features, both internally and externally. There have been very few changes to the house over the years.



Location Plan



22 Courtleigh Avenue

Design:

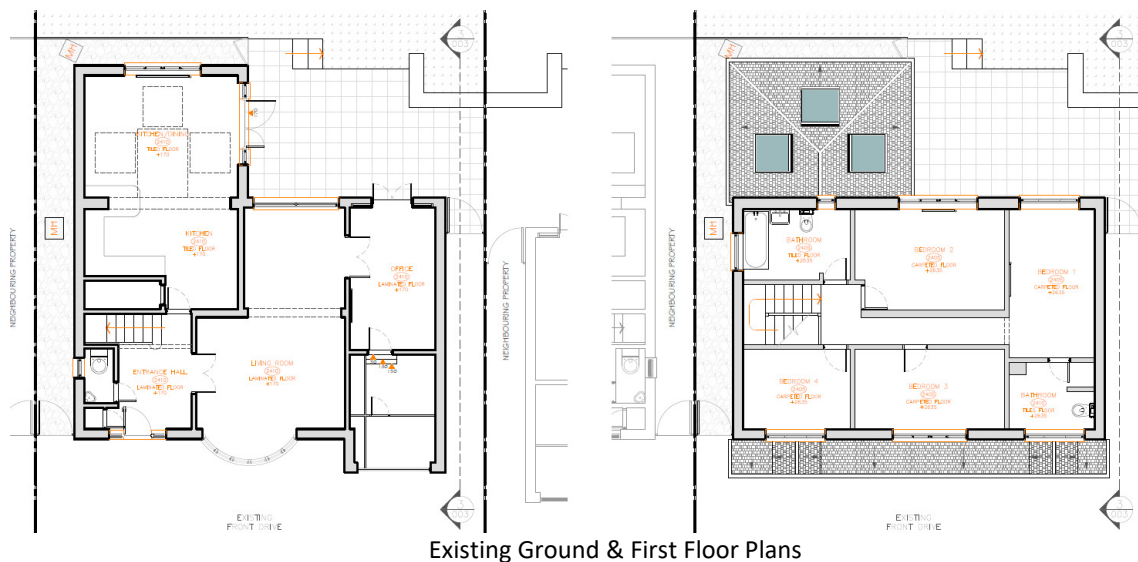
The proposed works include ground floor, first floor and loft level extension. The proposed works will provide an extended hallway to the front elevation that extends through all levels and includes a new glazed gable. The living room at ground floor rear is extended, an extended bedroom at first floor with 2 No. new en-suites, and a converted loft space. There are proposed works to the front elevation to improve the overall look of the property and add features displayed in similarly extended properties in the near vicinity (see picture of 13 Courtleigh Avenue below). It is important to note, there are no additional bedrooms included within the proposal, and that the extensions are for the existing family to have improved space available, with better facilities internally. In terms of the area created by the extension, the footprint increase is only

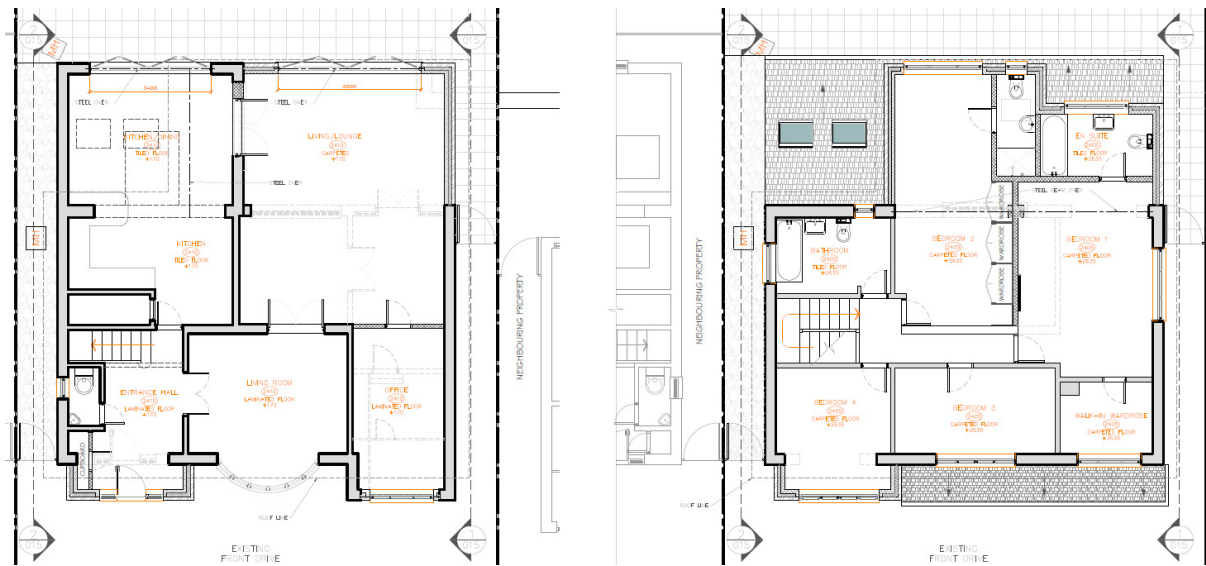


13 Courtleigh Avenue

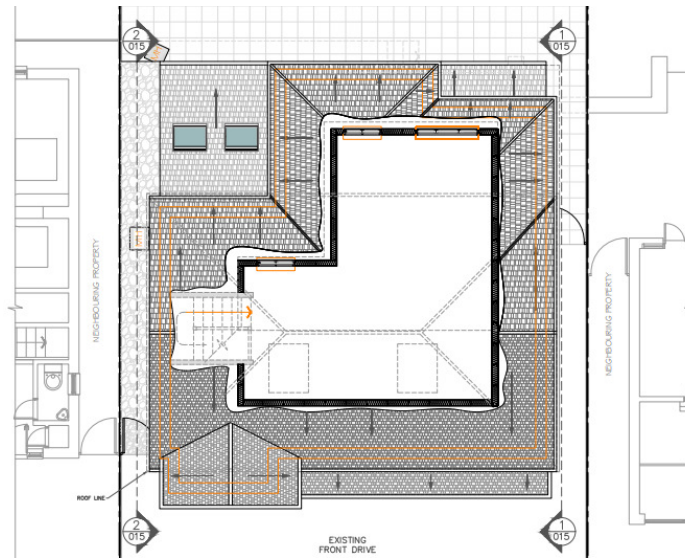
The works include for pitched roofs to be changed to a gable ended roof structure. Again, this feature is displayed on properties in the vicinity as demonstrated within the picture selection on page 4 of this document.

The proposal includes for similar use of external area materials to roofs and elevations. Any new windows will match those existing. All proportions for new windows relate to the existing windows. There will be 2 No. rooflight windows within the front elevation roof slope.

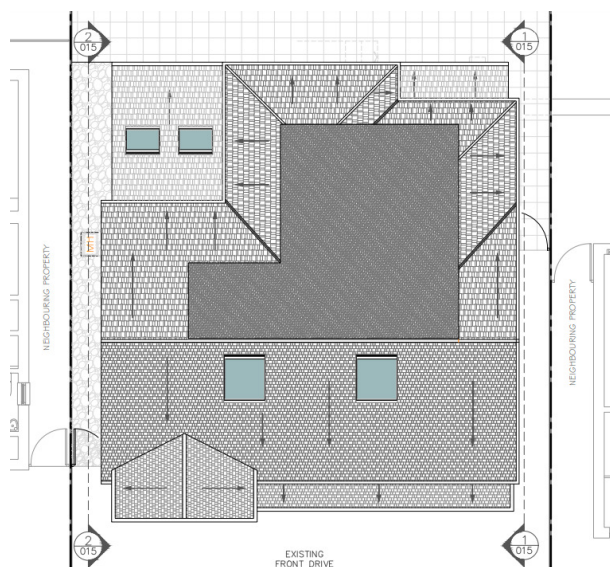




Proposed Ground & First Floor Plans



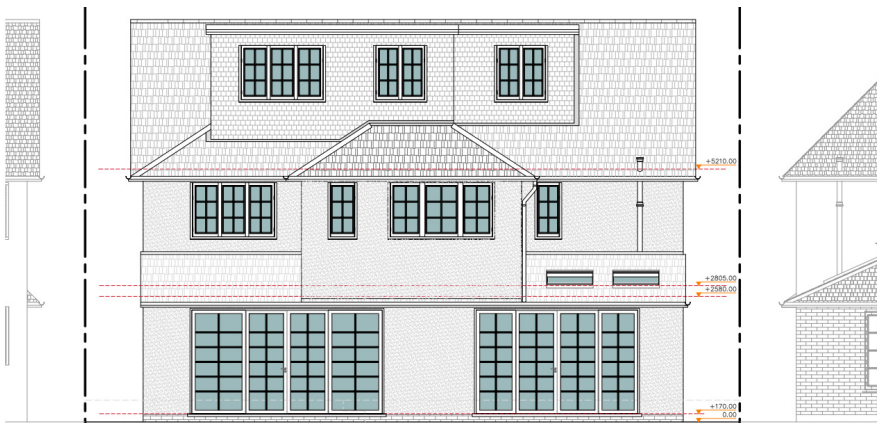
Proposed Loft Floor



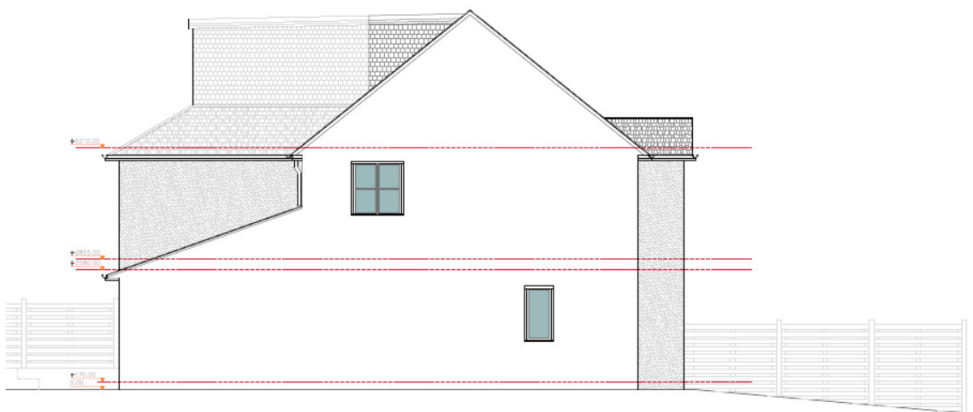
Proposed Roof



Proposed Front Elevation



Proposed Rear Elevation



Proposed Side Elevation

Access:

A new door is situated at the front of the property as part of a new porch arrangement. The form at ground floor is extended through to the first floor, and creates a gable ended window at loft level. This arrangement is very similar to that previously approved at 13 Courtleigh Avenue (opposite 22 Courtleigh Avenue).
Access from the front footpath remains unchanged.

Conclusion:

The scheme has been carefully prepared and designed to accommodate and respect planning policy and the character of the property and other properties in Courtleigh Avenue.

By respecting the style and proportions of the existing house and using an appropriate roof form, scale and architectural style of the original building. Therefore; the proposal is in keeping with the street style, is not obtrusive and does not result in harmful loss of outlook, appear overbearing, or cause an increased sense of enclosure to the adjoining neighbours. The proposal will not reduce light to neighbouring properties or their windows to habitable rooms, and will not cause any overshadowing as the extended parts are restrictive in scale.

The scale of this proposal is in keeping with the scale of the property, particularly in relation to the size of rear garden, and its proportions and configuration balance with the existing front & rear elevations. Materials will match existing and details will be replicated to retain character with the original house.



architects / project managers / designers

// Acxis Limited / 125 East End Road / London / N2 0SZ //

// Tel: 020 8248 7881 // Web: acxisltd.com //