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# PLANNING, DESIGN & ACCESS STATEMENT

PLANNING APPLICATION FOR: PROPOSED  
CARAVAN, STABLES & MENAGE/EXERCISE  
AREA AT LAND WEST OF DORRINGTON, FEN  
ROAD, SLEAFORD, LINCOLNSHIRE

# INTRODUCTION

## THIS STATEMENT

This multi-faceted statement has been produced to support a planning application for 1no caravan, stables & menage/exercise area and should be read in conjunction with the submitted drawings and application forms.

Although not strictly speaking a national requirement, I have for completeness produced a Design and Access Statement along with a Planning Statement under the cover of this single document. This constitutes a significant part of the justification in support of the proposed development and seeks to demonstrate that the proposal would be a sustainable form of development in conformity with the development plan.

# THE PROPOSAL

## PROPOSED CARAVAN & MENAGE/EXERCISE AREA

The proposal seeks permission for the current occupant and owner of the land to attain permanent residence incorporating the existing caravan, stables, exercise field and menage.



Caravan Images



Menage Images



Stables Images

# CURRENT CONTEXT

## DORRINGTON AND THE SITE

Dorrington is a village and civil parish in the district of North Kesteven, Lincolnshire, located approximately 1 mile south of Digby and 1 mile north from Ruskington. The nearest town is Sleaford which is approximately 4 miles to the south.



The site is located to the east of the village on the out skirts, approximately 2.5 miles east on Fen Road.

The site for the proposal currently has a Caravan which has been present alongside other caravans that have been and gone over the past 10 years or so, an exercise field/menage and stables are currently part of the existing site. The site is currently a registered small holding for sheep, lambs and horses. The site forms part of a business that runs a horse drawn carriage service for weddings, funerals, Christmas markets, etc. The site also has a partnership with Riseholme college and has a caravan that provides welfare for the students when visiting.

The total site is very long and thin and on the very southern boundary provides the site entrance off Fen Road, all other boundaries are surrounded by fields.

The site is not located within a conservation area.

However, the site falls in flood risk zone 3.

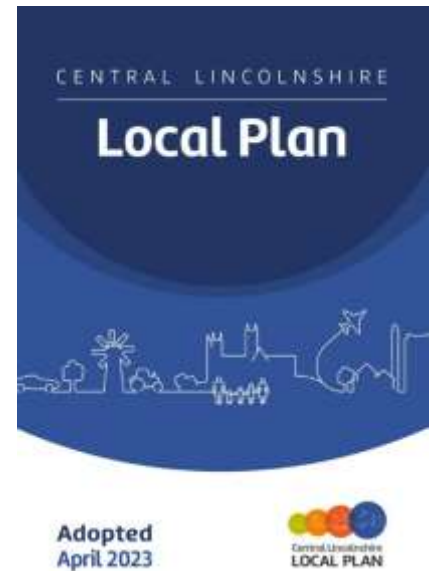
# LOCAL POLICIES

## CENTRAL LINCOLNSHIRE LOCAL PLAN

The Local Plan was developed by a partnership of local authorities including City of Lincoln, West Lindsey and North Kesteven District Council, and was adopted in April 2023. Some of the key aims relating to this application are as follows:

- Existing businesses will be encouraged to expand, whilst our agricultural land (much of it high quality) will be protected and associated businesses supported.
- Local Economy: To encourage and support a competitive, diverse and stable economy and to protect and enhance Central Lincolnshire's hierarchy of centres to meet the needs of residents and visitors.

The following policies are relevant to the determination of this proposal:



**Policy S1: The spatial strategy and settlement hierarchy:** The spatial strategy will focus on delivering sustainable growth for Central Lincolnshire that meets the needs for homes and jobs, regenerates places and communities, and supports necessary improvements to facilities, services and infrastructure. Development should create strong, sustainable, cohesive and inclusive communities, making the most effective use of previously developed land and enabling a larger number of people to access jobs, services and facilities locally. Development should provide the scale and mix of housing types and a range of new job opportunities that will meet the identified needs of Central Lincolnshire in order to secure balanced communities.

### **Policy S5: Development in the Countryside:**

Part C: Mobile homes within the countryside Applications for temporary and mobile homes will be considered in the same way as applications for permanent dwellings..

Part D: New dwellings in the countryside. Applications for new dwellings will only be acceptable where they are essential to the effective operation of existing rural operations listed in tier 8 of Policy S1. Applications should be accompanied by evidence of:

- a) Details of the rural operation that will be supported by the dwelling;
- b) The need for the dwelling;
- c) The number of workers (full and part time) that will occupy the dwelling;
- d) The length of time the enterprise the dwelling will support has been established;
- e) The commercial viability of the associated rural enterprise through the submission of business accounts or a detailed business plan;
- f) The availability of other suitable accommodation on site or in the area; and
- g) Details of how the proposed size of the dwelling relates to the needs of the enterprise.

**Policy S23: Meeting Accommodation Needs:** Developers are expected to provide housing solutions that contribute to meeting the housing needs of the housing market area, as identified in the latest Central Lincolnshire Housing Needs Assessment and in any other appropriate local evidence. This means new residential development should maintain, provide or contribute to a mix of housing tenures, types and sizes to help support the creation of mixed, balanced and inclusive communities.

**Policy S26: Houseboat Moorings & Caravans:** Caravan pitches and park homes Proposals for the delivery of new caravan pitches or park homes, or extensions to existing caravan or park home sites, will be supported where they are located on sites which would be acceptable for permanent dwellings and satisfy the policies in the Local Plan.

#### Houseboats and Caravan Accommodation Needs

4.5.1. The Housing Act 1985 (as amended) requires local housing authorities to assess and understand the accommodation needs of people residing or resorting to their District with respect to sites for caravans and the mooring of houseboats. The HNA undertook a review of data available to understand the need for houseboat moorings and caravan pitches.

4.5.3. For caravans it is important to distinguish the difference between Gypsy and Travellers (the needs of which are addressed in chapter 14 of this Local Plan) and other people wishing to live in caravans. In relation to people who want to live in caravans or park homes, the HNA noted that such homes make up a valuable part of the housing stock at a lower price point than bricks and mortar homes.

4.5.4. The HNA identified that there is a modest increase in need for both houseboat moorings and caravans/park homes.

**Policy S28: Spatial Strategy for Employment:** In principle, employment related development proposals should be consistent with meeting the following overall spatial strategy for employment.

The strategy is to strengthen the Central Lincolnshire economy offering a wide range of employment opportunities focused mainly in and around the Lincoln urban area and the towns of Gainsborough and Sleaford, with proportionate employment provision further down the Settlement Hierarchy (see Policy S1).

# NATIONAL PLANNING POLICY FRAMEWORK (NPPF):

The recent revision of the National Planning Policy Framework which was released on published (July 2021) replaces the earlier variants.

A fundamental element of the NPPF is to achieve sustainable development and identifies three dimensions to sustainable development. These are regarded by the NPPF as being interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives): -

- **an economic objective** – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth;
- **a social objective** – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities’ health, social and cultural well-being; and
- **an environmental objective** – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity and adapting to climate change, including moving to a low carbon economy.

The following paragraphs are cited as being particularly pertinent to the proposal currently submitted for consideration:

Para 9 – “These objectives should be delivered through the preparation and implementation of plans and the application of the policies in this Framework; they are not criteria against which every decision can or should be judged. Planning policies and decisions should play an active role in guiding development towards sustainable solutions, but in doing so should take local circumstances into account, to reflect the character, needs and opportunities of each area.”

Para 78 – “In rural areas, planning policies and decisions should be responsive to local circumstances and support housing developments that reflect local needs.”

Para 84 – ‘Planning policies and decisions should enable:

- a) the sustainable growth and expansion of all types of business in rural areas.
- c) sustainable rural tourism and leisure developments which respect the character of the countryside; and
- d) the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship.”

# DETAILS

## Principle of Development

The proposal seeks permission for the current occupant and owner of the land to attain permanent residence incorporating the existing caravan, stables, exercise field and menage.

Amount, layout, appearance & scale will not be altered from its current state.

## Use

The existing use of the land will be maintained as part of the proposal.

## Flood Risk

The site and subsequent holding/business has been in operation for many years with a variety of caravans on a temporary basis along with the stables in their current location assisting in the operation of the business that many use and enjoy throughout the year. The caravan is the only current 'accommodation' for the site and is above the ground by some distance due to the design of the caravan and the principle of them being positioned on supporting legs as opposed to a traditional house with a ground bearing slab, etc. The site as it stands has had no direct flooding issues due to the current arrangement and accommodation type on the site.

## Highway Safety

The site entrance from Fen Rd will be retained as it is and will have no adverse effects on the current main road.

## Policy S5: Development in the Countryside (as mentioned earlier in the document)

Part C: Mobile homes within the countryside Applications for temporary and mobile homes will be considered in the same way as applications for permanent dwellings. The exception to this is cases when a temporary or mobile home is needed during the construction of a permanent dwelling on site or on a nearby site: in such cases more flexibility will be applied. Permission granted in such instances will be subject to time restrictions.

Part D: New dwellings in the countryside. Applications for new dwellings will only be acceptable where they are essential to the effective operation of existing rural operations listed in tier 8 of Policy S1. Applications should be accompanied by evidence of:

*a) Details of the rural operation that will be supported by the dwelling;*

The site is currently a registered small holding with sheep, lambs and horses. The site forms part of a business that runs a horse drawn carriage service for weddings, Christmas markets, etc. The site also has a partnership with Riseholme college and provides a caravan that provides welfare for the students when visiting.

*b) The need for the dwelling;*

The need for the caravan/dwelling is to ensure 24 hour care can be given to the animals, there is also a concern over the security to the animals along with the items important to the running of the business after some attempts of theft to the site have been noticed.

*c) The number of workers (full and part time) that will occupy the dwelling; 3 No.*

*d) The length of time the enterprise the residence will support has been established; 2 years*

*e) The commercial viability of the associated rural enterprise through the submission of business accounts or a detailed business plan;*

Accounts can be provided upon request.

*f) The availability of other suitable accommodation on site or in the area;*

Due to the location of the site and relative rural location there is no housing that meets the needs of providing 24 hour care to the animals, security to the site and costs associated with a new dwelling or renting nearby will impact the land owner and business.

*g) Details of how the proposed size of the dwelling relates to the needs of the enterprise.*

The residence is small in comparison to the site but will provide suitably size accommodation for the applicant.

# CONCLUSION

## PROPOSAL CONCLUSION

The business has been run for 2 years on this land with the current set up of caravan for accommodation albeit not always permanent, the site has provided a service to the local area and college and has and continues to provide employment opportunities to the local area too. The applicant's daughter (8 years old) currently goes to school in the local primary school and is fully emersed into the local area. Making this a permanent residence will ensure the business continues to support the local area providing a variety of services, the business will continue to support the local community in providing employment and there is no disruption to the family too.

It is also worth mentioning that within the local plan it notes that existing businesses will be encouraged to expand and the agricultural land protected along with associated businesses which in this case approving this planning application will do. Policy S26 of the local planning document also mentions there is a need for caravan pitches for people wishing to live in caravans which in turn provides an important part of the housing stock with lower price points and costs to buying a home.

In conclusion, on the basis of the aforementioned information, read in conjunction with the submitted application forms and drawings, it is considered that there will be no detrimental harm created by this proposal, and therefore it is considered that the proposed development can be sufficiently justified. It is therefore respectfully considered that the proposed development should be approved.

Should the appointed Case Officer or other representative of the Local Planning Authority be concerned by any aspect of this proposal, it is respectfully requested that they engage with the agent at the earliest possible opportunity to ensure that all issues can be resolved in a timely and efficient manner.

END