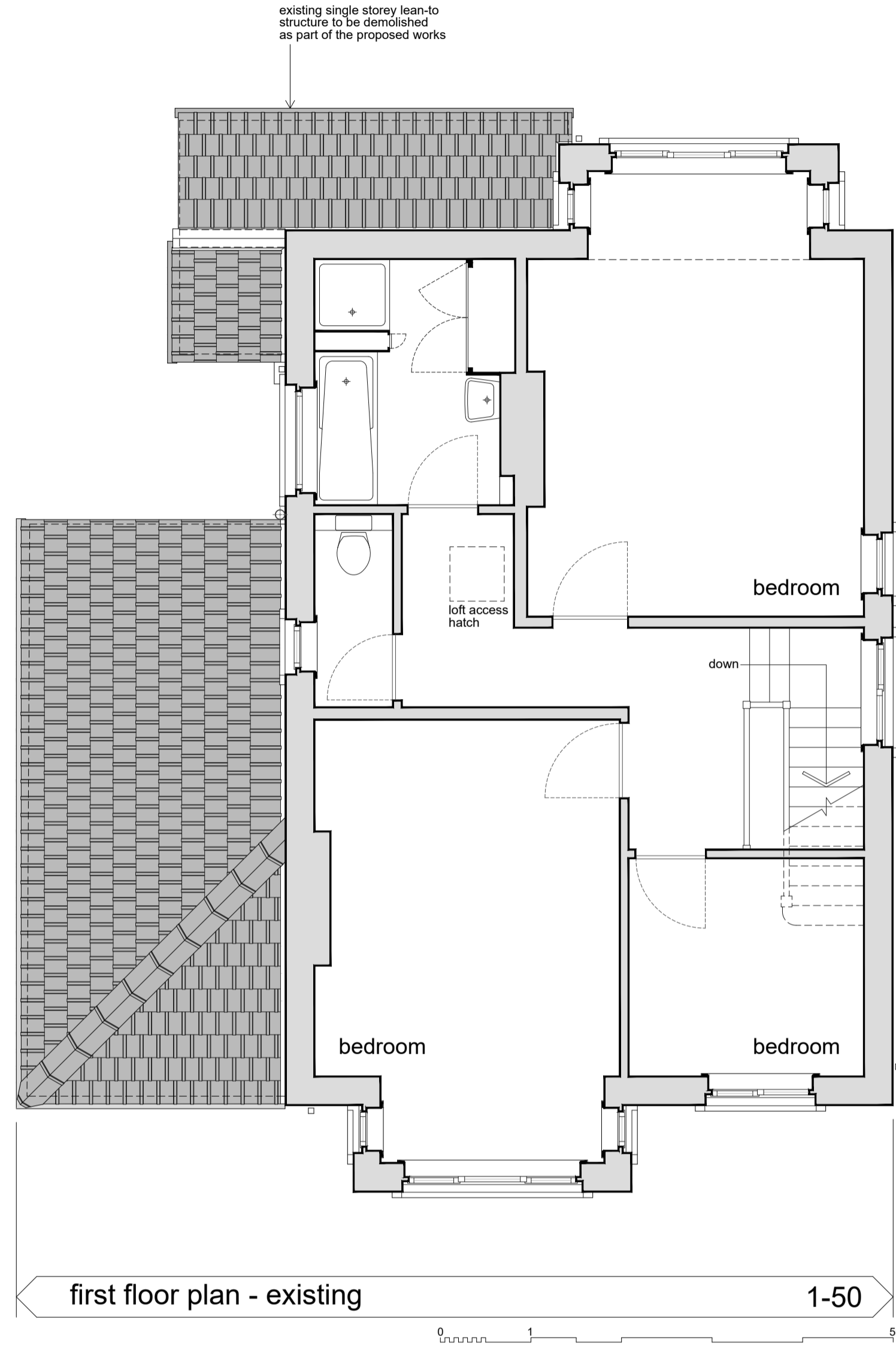
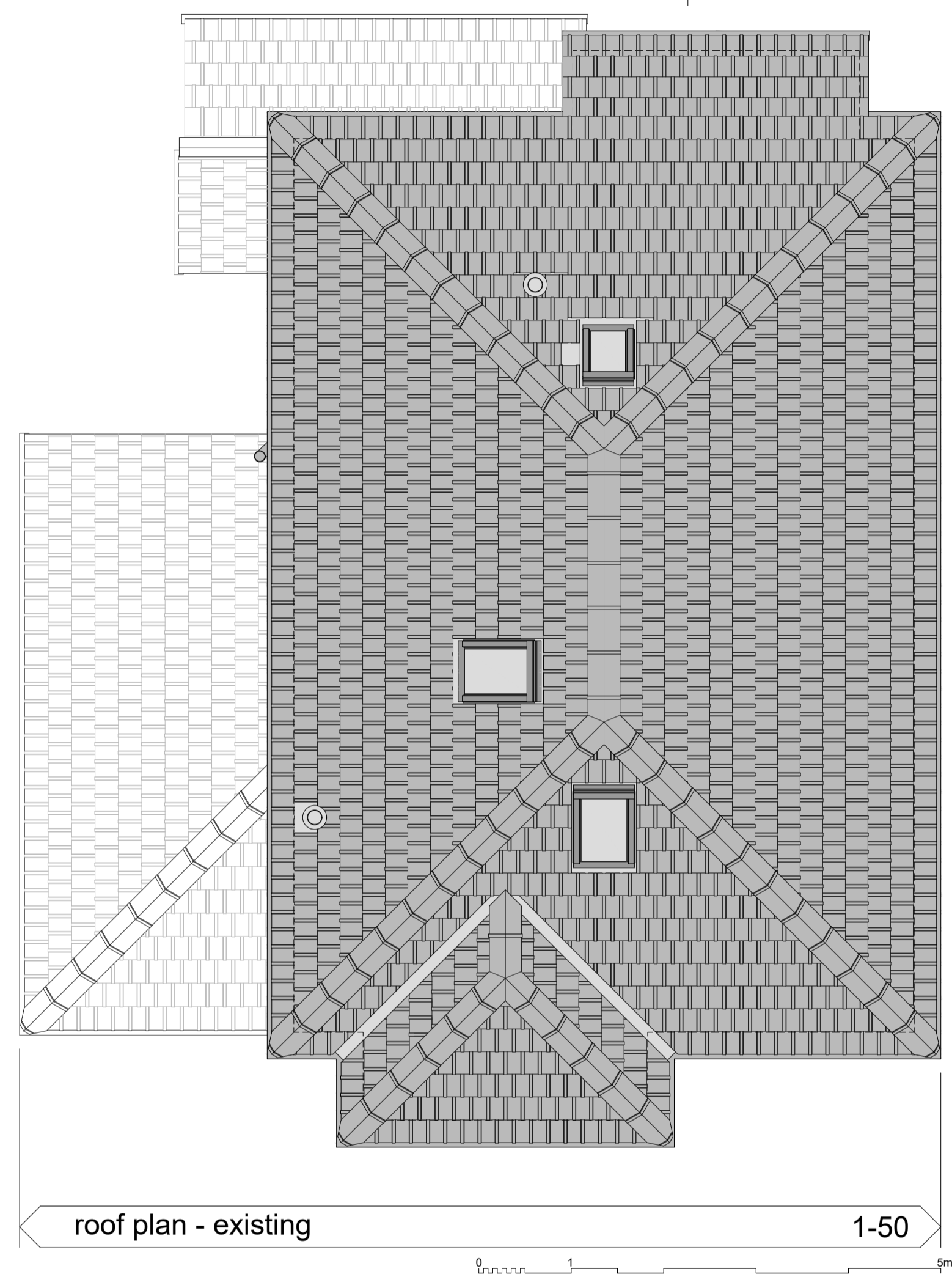


part site / ground floor plan - existing 1-50



first floor plan - existing 1-50



roof plan - existing 1-50

CAR PARKING:
- A minimum of two 'off-street' car parking spaces can be accommodated at the property to the front drive / forecourt as shown. The integral garage is discounted.

DRAINAGE:
- Upon an initial visual inspection, the property appears to be served by a private combined foul / surface water drain which runs from the property to a public sewer located in the adopted highway to the front of the property (invert levels etc. to be confirmed).
- Further enquiries will be made with Dwr Cymru Welsh Water regarding the exact location of any existing public sewer within the vicinity of the proposed works in due course. Confirmation will be sought from DCWW to determine if the applicant is required to enter into a Building Over Sewer Agreement with Dwr Cymru Welsh Water following determination of this application.

DEMOLITION WORKS:
- Demolition works comprise of the removal of the existing single storey rear lean-to structure (highlighted in green on the adjacent plan).

TREES:
- There are no trees within the vicinity of the new extension that would be adversely affected by the proposed works.

SUSTAINABLE DRAINAGE SYSTEMS (SuDS):
From 7 January 2019, all new and significant developments will have to implement some form of sustainable drainage system (SuDS) as part of its design and construction.

Schedule 3 (Sustainable Drainage) of the Flood and Water Management Act (FWMA) 2010 requires that all new developments will have to provide approved surface water systems on developments of two or more properties or those developments with a construction area of 100 sqm or more.

With regard to this project, development of a single storey side / rear extension (and associated works) does not result in a construction area of 100 sqm or more and therefore does not fall within the auspices of Schedule 3 (Sustainable Drainage) of the Flood and Water Management Act (FWMA) 2010. As a result, it is not proposed to submit any application to the SAB in respect of SuDS approval.

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- All dimensions are in millimetres unless noted otherwise.
- All walls are shown in metres unless noted otherwise.
- All dimensions are to be checked on site prior to commencement of works and any discrepancies must be checked immediately with the architect.
- This drawing is to be read in conjunction with all other relevant architect, engineer's, sub-contractor's and specialist's drawings and specifications.

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Project Title
PROPOSED SINGLE STOREY SIDE / REAR EXTENSION (AND ASSOCIATED WORKS) at 8, BRYN-GWYN ROAD, CYNCOED, CARDIFF for HENRY & SARAH VAILE

Drawing Title
PLANNING (HOUSEHOLDER APPLICATION): PART SITE / GROUND, FIRST & ROOF PLANS - EXISTING

Drawing Number: 0506 (ALT)_P02 Date: 10 / 2023 Rev: Scale: 1-50 @ A1

proposed single storey side / rear extension
8, BRYN-GWYN ROAD, CYNCOED, CARDIFF

PLANNING