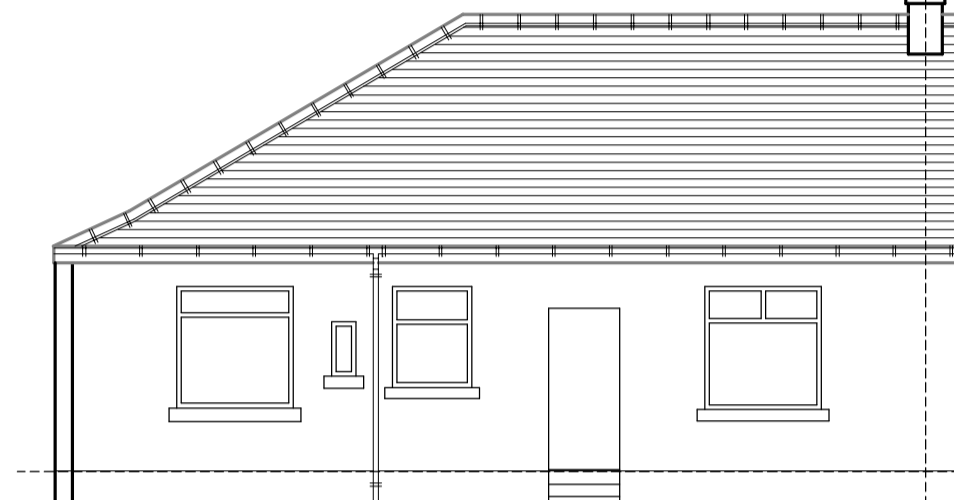


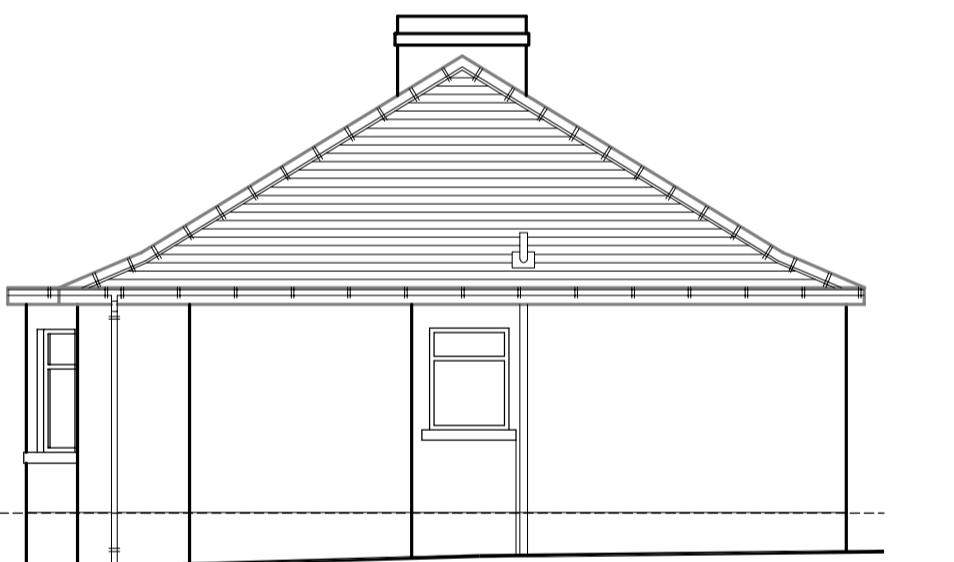
EXISTING GROUND FLOOR PLAN 1:100



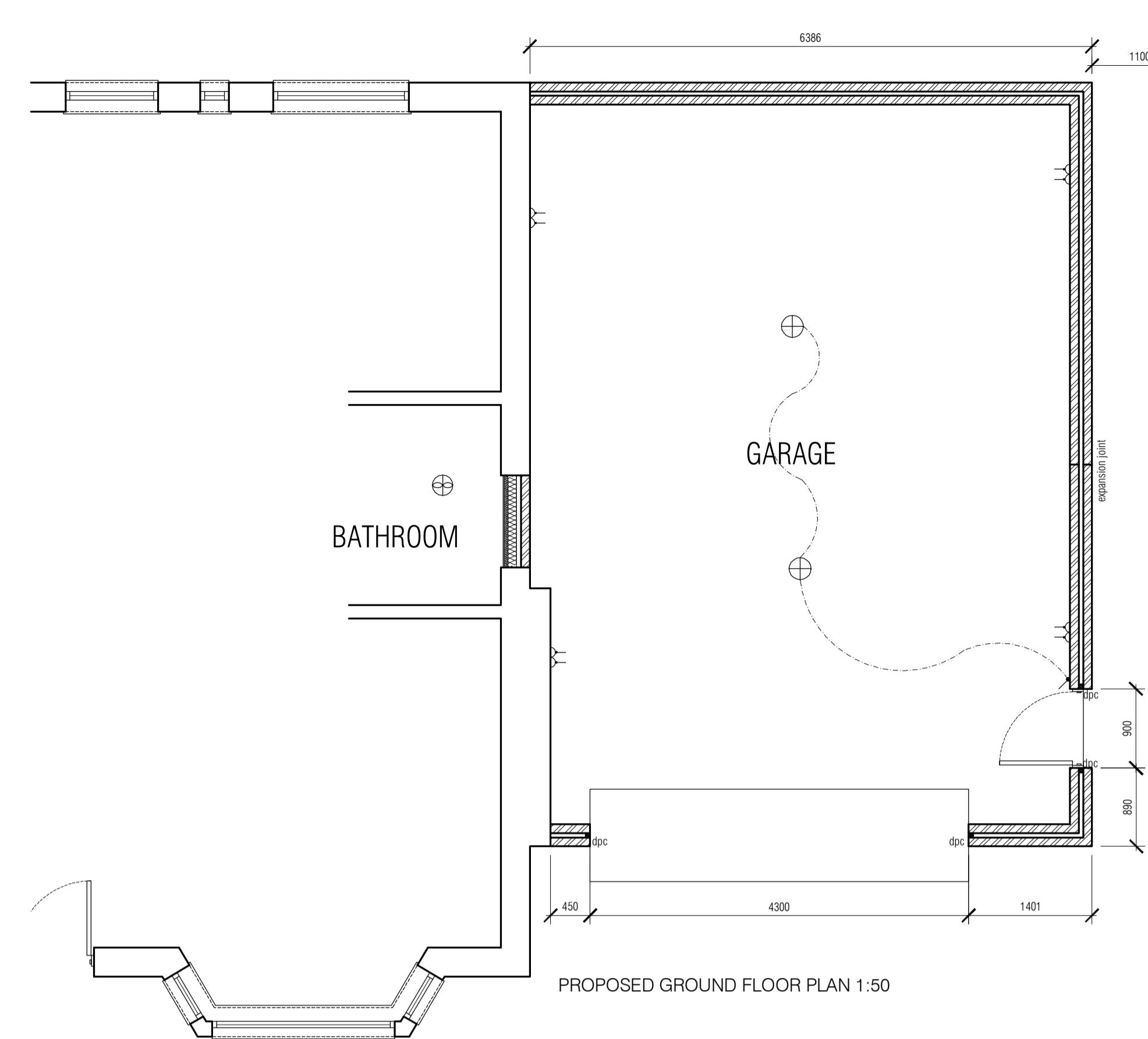
EXISTING REAR ELEVATION 1:100



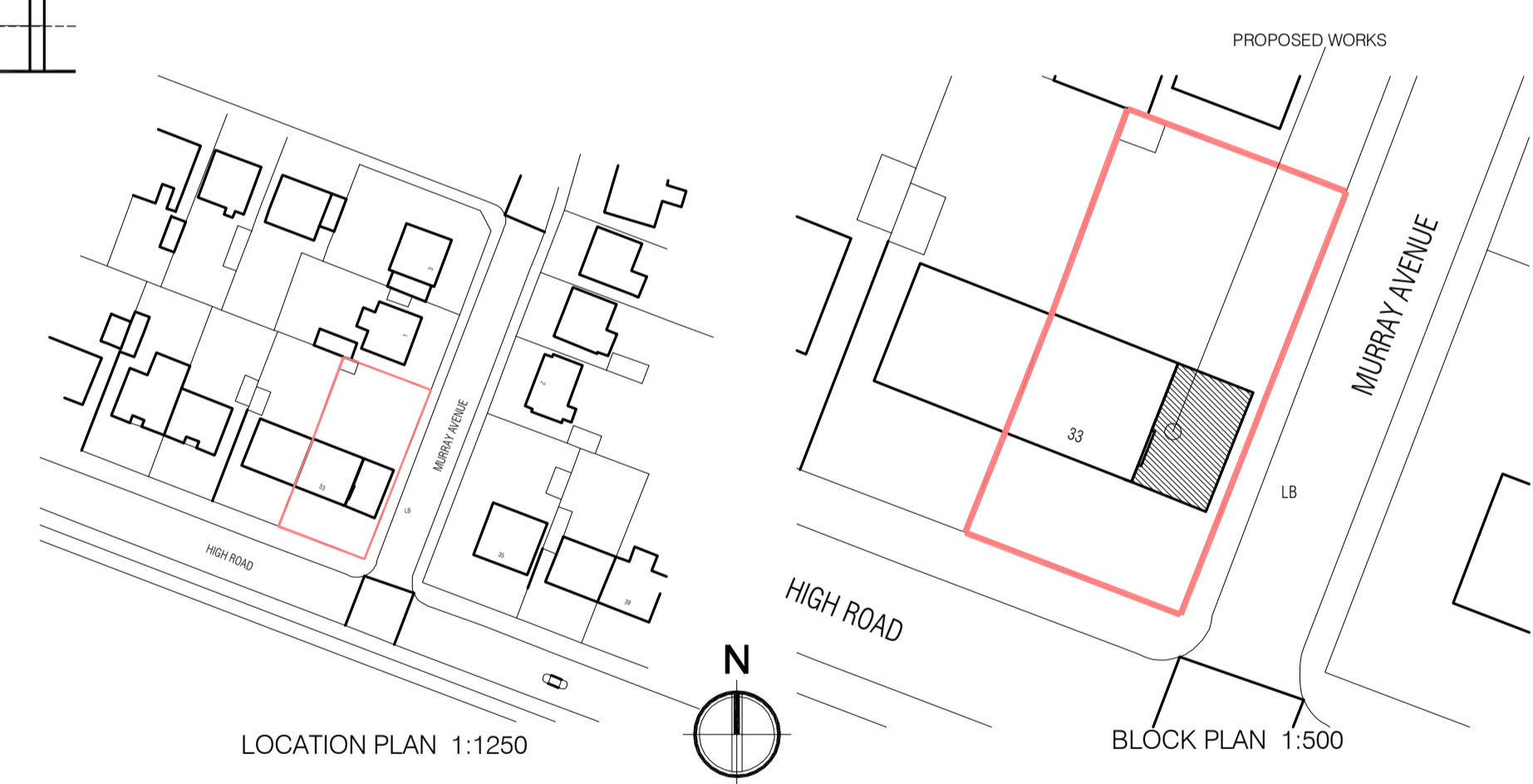
EXISTING FRONT ELEVATION 1:100



EXISTING SIDE ELEVATION 1:100



PROPOSED GROUND FLOOR PLAN 1:50



LOCATION PLAN 1:1250

BLOCK PLAN 1:500

**ELECTRICAL LEGEND**

	LIGHT SWITCH		PENDANT LIGHT
	TWIN 13A POWER POINT		MAINS OPERATED SMOKE ALARM
	EXTRACT FAN		FUSEBOX
	PULL CHORD LIGHT SWITCH		PHONE POINT
	DOWNLIGHTER		WALL LIGHT
	TV POINT		HEAT DETECTOR
	CARBON MONOXIDE MONITOR		

Electrical layout indicative only, final position of fixtures and fittings to clients specification.

Existing bathroom window to be carefully removed and opening to be built up with 19mm render to match existing on 100mm common brick / block internal leaf. 50mm vented cavity and a timber framed inner leaf to be full bubble breather building paper on 9.5mm sheathing grade plywood on 100 x 50mm studs at 600mm centres with 70mm Kingspan K12 rigid insulation board between studs and lined lined with 52.5mm Kingspan K18 insulated plasterboard with integral vapour barrier, all joints to be taped and filled. New walls to be tied to existing with stainless steel starter kits to masonry outer leaf and timber kit tied to existing wall with M12 washer bolts at 500mm centres. A mechanical extract fan to be installed in bathroom capable of an extraction rate of 15 litres per second and one air change per hour and ducted to a suitable terminal at external air.

Existing gas meter to be relocated outwith garage extension to the satisfaction of Scottish Gas Networks.

150mm deep concrete floor slab with one layer A252 mesh with 50mm bottom cover on 1200 gauge Visqueen DPM on 50mm sand blinding on 100mm well compacted and consolidated hardcore.

External walls to be 19mm render to match existing on 100mm common brick / block, 50 mm cavity and 100mm common brick / block with a bag rubbed finish internally. Butterfly metal wall ties at 450mm centres vertically and 600mm centres horizontally, increased locally around door openings. New walls to be tied to existing with stainless steel starter kits and a vertical dpc rattle. Linthols over pass door to be 100 x 145mm deep prestressed concrete lintels by Robson, type-C with 150mm min end bearing. Beam over main front entrance door to be as per engineer's drawings and have a min of 150mm rest on a dense concrete padstone.

Garage ceiling to have horizontal ceiling ties sheathed on garage side with 2 layers of 12.5mm plasterboard, laid crossboarded with all joints taped and filled.

Outlets and controls of electrical fixtures and fittings should be positioned at least 250mm from any internal corner, projecting wall or similar obstruction. Light switches should be positioned between 900 and 1100mm above floor level. Standard switched or unswitched sockets should be positioned at least 400mm above floor level and 150mm above the projecting surface such as a worktop obstruction. Where sockets are concealed, separate switching to be provided in an accessible position to allow appliances to be isolated. New light fittings to be low energy type

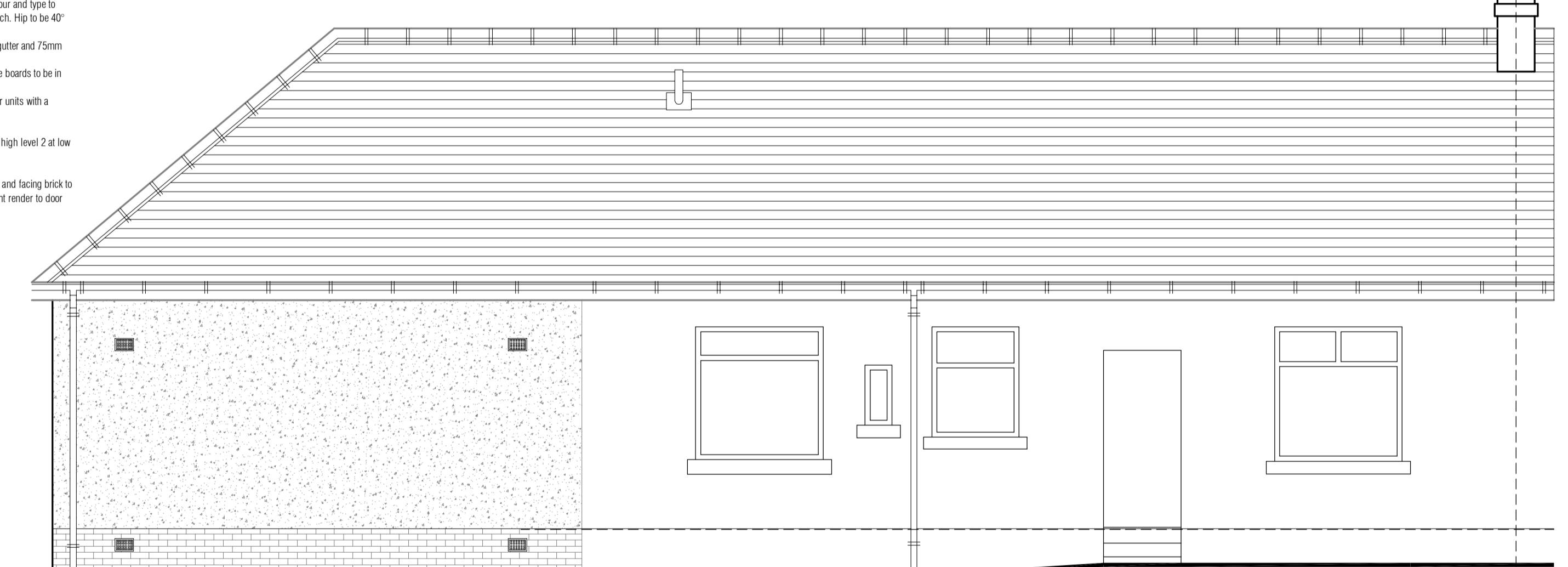
All walls and openings more than 1.0m from boundaries.

Existing roof to be stripped back as required with tiles set aside for possible reuse.  
Dry vented concrete ridge tile, colour to match.

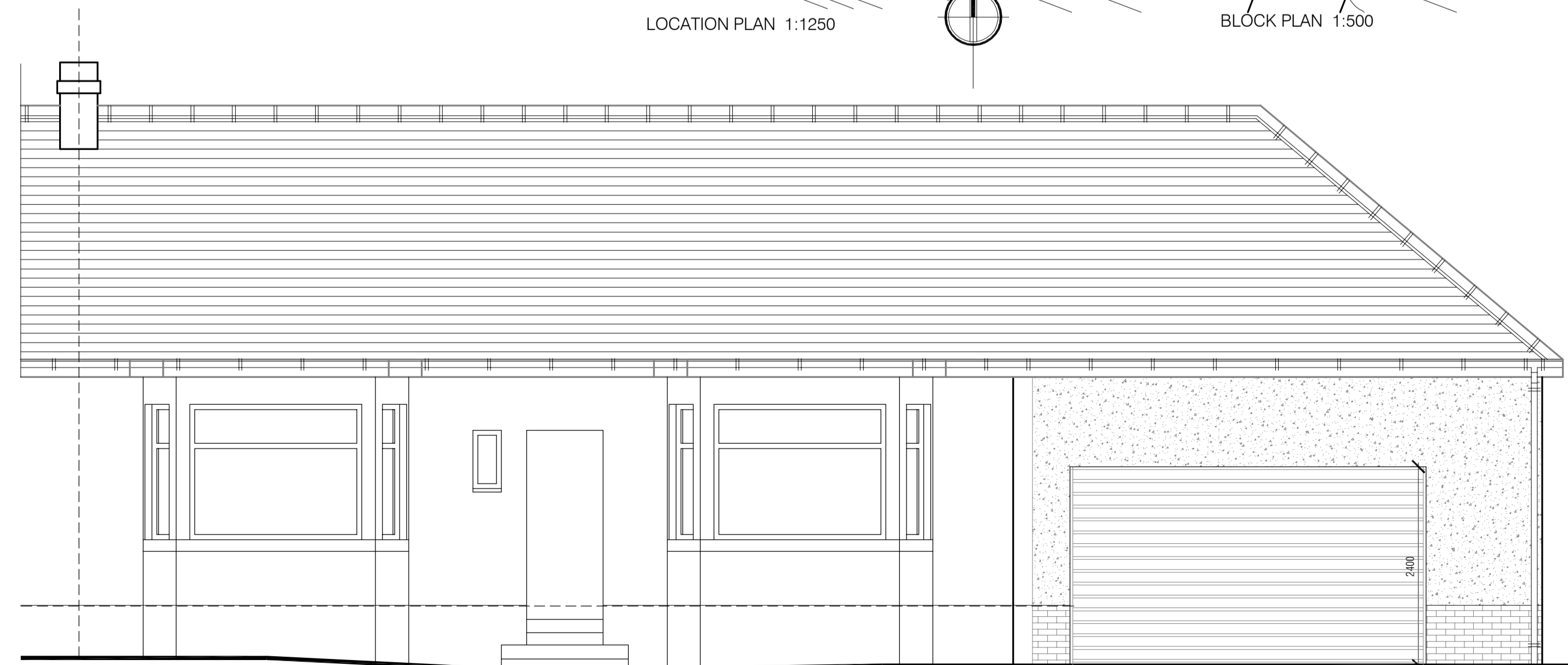
Roof to be concrete roof tiles, colour and type to match existing. Roof pitch to match. Hip to be 40°  
All roofing to be dry fixed.  
Marley deepflow upvc rainwater gutter and 75mm diameter upvc downpipe.  
All external fascia, soffit and verge boards to be in upvc.  
Install new uPVC window and door units with a U-value of 1.4W/m²·K.

215 x 150mm fresh air inlets 2 at high level 2 at low level

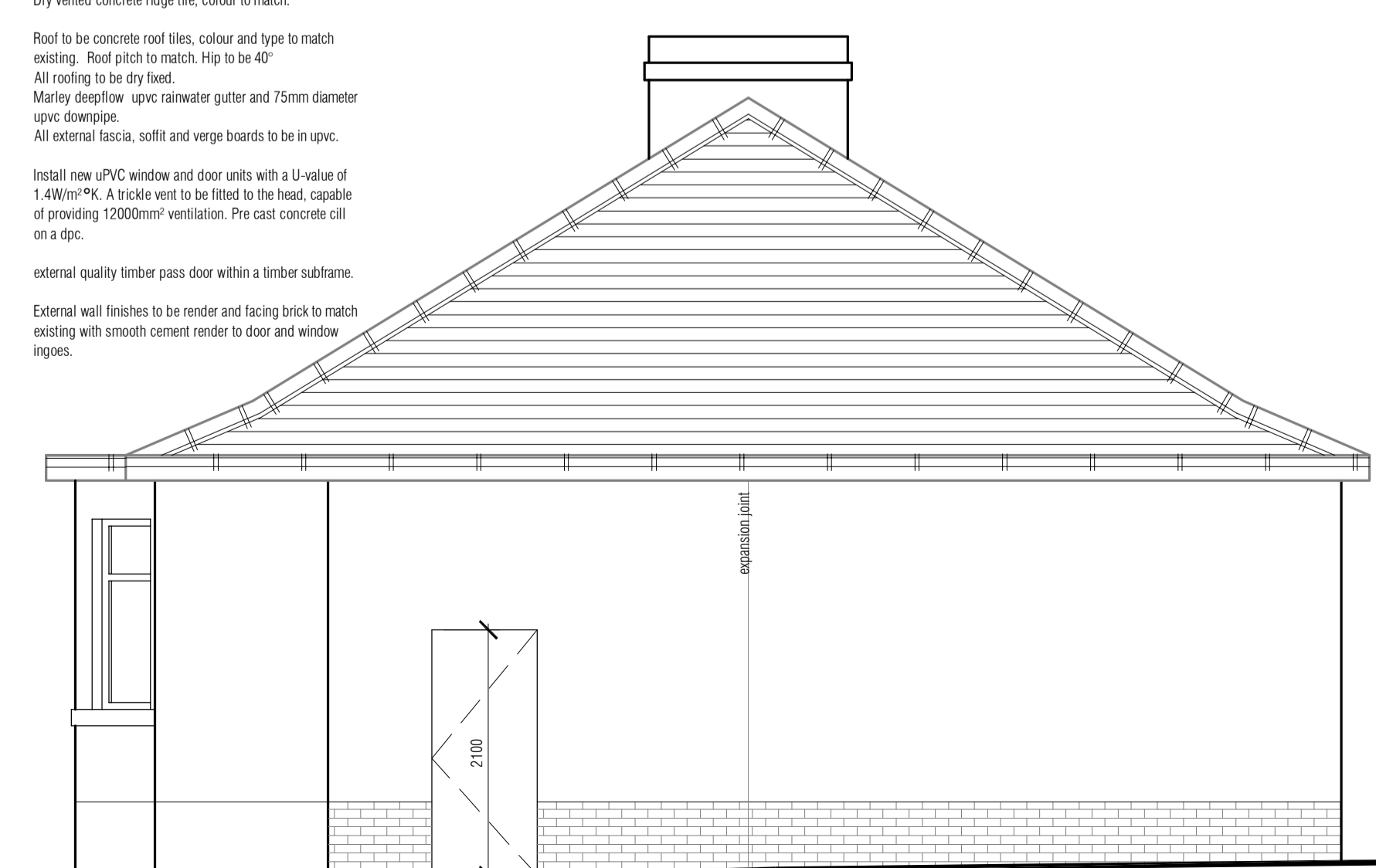
External wall finishes to be render and facing brick to match existing with smooth cement render to door and window ingoos.



PROPOSED REAR ELEVATION 1:50



PROPOSED FRONT ELEVATION 1:50



PROPOSED SIDE ELEVATION 1:50

Existing roof to be stripped back as required with tiles set aside for possible reuse.  
Dry vented concrete ridge tile, colour to match.

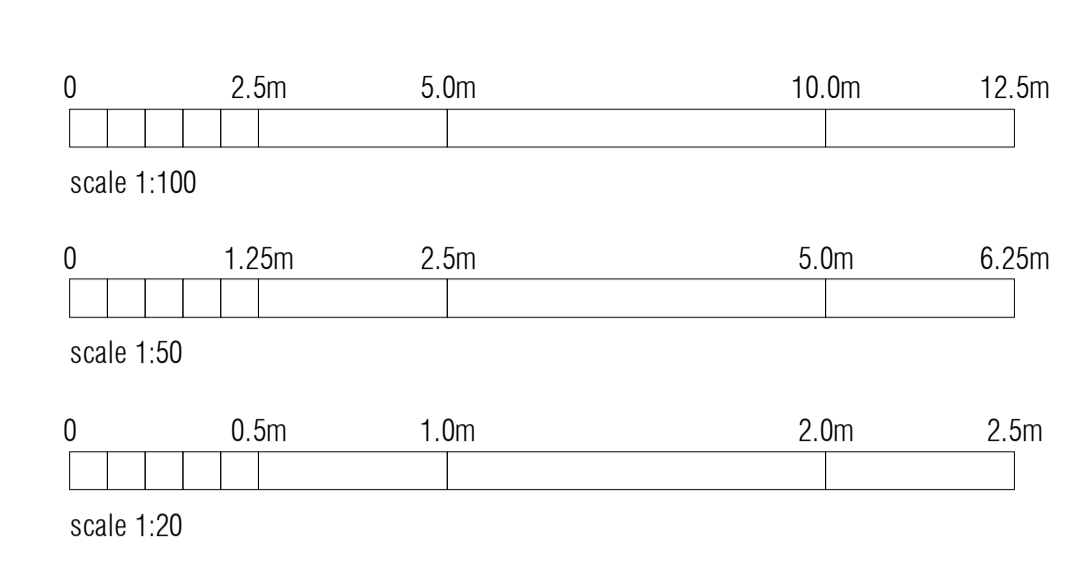
Roof to be concrete roof tiles, colour and type to match existing. Roof pitch to match. Hip to be 40°  
All roofing to be dry fixed.  
Marley deepflow upvc rainwater gutter and 75mm diameter upvc downpipe.  
All external fascia, soffit and verge boards to be in upvc.  
Install new uPVC window and door units with a U-value of 1.4W/m²·K. A trickle vent to be fitted to the head, capable of providing 12000mm² ventilation. Pre cast concrete cill on a dpc.  
Roller shutter door as selected by the client in a timber sub frame.

External wall finishes to be render and facing brick to match existing with smooth cement render to door and window ingoos.

Existing roof to be stripped back as required with tiles set aside for possible reuse.  
Dry vented concrete ridge tile, colour to match.

Roof to be concrete roof tiles, colour and type to match existing. Roof pitch to match. Hip to be 40°  
All roofing to be dry fixed.  
Marley deepflow upvc rainwater gutter and 75mm diameter upvc downpipe.  
All external fascia, soffit and verge boards to be in upvc.  
Install new uPVC window and door units with a U-value of 1.4W/m²·K. A trickle vent to be fitted to the head, capable of providing 12000mm² ventilation. Pre cast concrete cill on a dpc.  
external quality timber pass door within a timber subframe.

External wall finishes to be render and facing brick to match existing with smooth cement render to door and window ingoos.



ALL DIMENSIONS IN MILLIMETRES.  
ALL MATERIALS AND WORKMANSHIP TO BE THE BEST OF THEIR RELEVANT KIND AND COMPLY WITH ALL BRITISH STANDARDS AND CODES OF PRACTICE.  
ALL ELECTRICAL WORK TO COMPLY WITH B.S. 7671:2008 AND TO BE CARRIED OUT BY A SELECT OR NICEIC APPROVED ELECTRICIAN.  
ALL WORK TO COMPLY WITH THE BUILDING STANDARDS (SCOTLAND) REGULATIONS 2004 AS AMENDED.  
ALL DRAWINGS TO BE TO THE SATISFACTION OF THE BUILDING CONTROL DEPARTMENT.  
BUILDING CONTROL TO BE NOTIFIED 24 HOURS BEFORE WORK COMMENCES AND WITHIN 2 WEEKS OF COMPLETION OF THE WORKS.  
DO NOT SCALE FROM DRAWINGS, IF IN DOUBT ASK.  
ALL DIMENSIONS, LEVELS AND PITCHES TO BE CHECKED ON SITE PRIOR TO THE ORDERING OF ANY MATERIALS, FABRICATION OF ANY UNITS AND COMMENCEMENT OF ANY WORKS.  
CONTRACTOR IS DEEMED TO HAVE VISITED THE SITE TO ASCERTAIN THE FULL EXTENT OF THE WORKS.  
ALL DRAWINGS AND DESIGNS REMAIN THE PROPERTY OF AYRSHIRE ARCHITECTURE AND MAY NOT BE STORED OR REPRODUCED IN ANY FORM WITHOUT THE PRIOR WRITTEN CONSENT OF AYRSHIRE ARCHITECTURE.  
ANY DISCREPANCIES AND MISSING INFORMATION MUST BE IMMEDIATELY NOTIFIED WRITING TO AYRSHIRE ARCHITECTURE.  
ALL DRAWINGS MUST BE READ IN ACCORDANCE WITH ALL THE OTHER DRAWINGS PREPARED FOR THIS PROJECT.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THOSE PREPARED BY THE STRUCTURAL ENGINEER WITH THEIR DRAWINGS TAKING PRECEDENCE IN ALL STRUCTURAL MATTERS.

**AYRSHIRE ARCHITECTURE**  
Chartered Architectural Technologist

2 Turnberry Wynd, IRVINE KA11 4DP  
tel 07917 272381  
email ayrshirearchitecture@gmail.com

**PROJECT DETAILS:**  
Proposed garage extension  
at  
33 High Road, Saltcoats  
for  
Miss McKinney & Mr Gillon

**PROJECT REFERENCE:**  
McKinney & Gillon 2213

DATE:	SCALE:	PAPER SIZE:	DRAWN BY:	DRG No:
Mar 2023	as shown	A1	AMcC	01

**REVISIONS:**  
a Nov 2023 Hip added to roof