

**CAVITY TRAY
DECOMASSONRY
PROTECTION
CREAM**

Build in horizontal stepped cavity tray above new lead flashings - DPC's to existing and new walls above new lead flashings - DPC's to be lapped over lead flashings in wall.

OR

Apply approved masonry protection cream to wall in "Dress" or similar apply to wall in strict accordance with manufacturers specifications and recommendations. All to inspectors complete satisfaction.

**DOOR AND WINDOW
DPC'S**

Fit "THERMABATE" or similar insulated D.P.C.'s around all new external cavity wall, door and window openings.

**DOOR BETWEEN
GARAGE AND HOUSE**

Fit 190mm x 70mm x 12 hour fire rated door with 200mm fire insulation strips and cold smoke seals all round.

EXISTING DRAINS

"Eject" depths and positions of all existing drains and manholes to be determined on site when work commences. Builder to expose existing drains for Approved Building Surveyor's inspection if necessary. All determined on site. Assumed existing drains shown on plans.

**SOIL AND
VENTILATION PIPE
BRONING IN**

Provide 100mm diameter UPVC S & V.P. with cage terminal and taken 900mm minimum above any adjacent window heads.

**SOIL AND
VENTILATION PIPE
BRONING IN**

Be in new, internal soil and ventilation pipe with 12.5mm plasterboard and skim to give half hour fire resistance minimum.

**STRUCTURAL
ENGINEERS DETAILS**

Structural engineers detail specifications to take precedence over all details shown on plans.

**TEMPORARY
STRUCTURAL
SUPPORTS**

Builder to provide all temporary structural supports to existing structure prior to fitting new steelwork. Temporary supports only removed after new steelwork/supports are adequately and suitably in place. Builder to allow for any masonry or concrete support to be adequately supported to remaining temporary supports.

**TIMBER
TREATMENT**

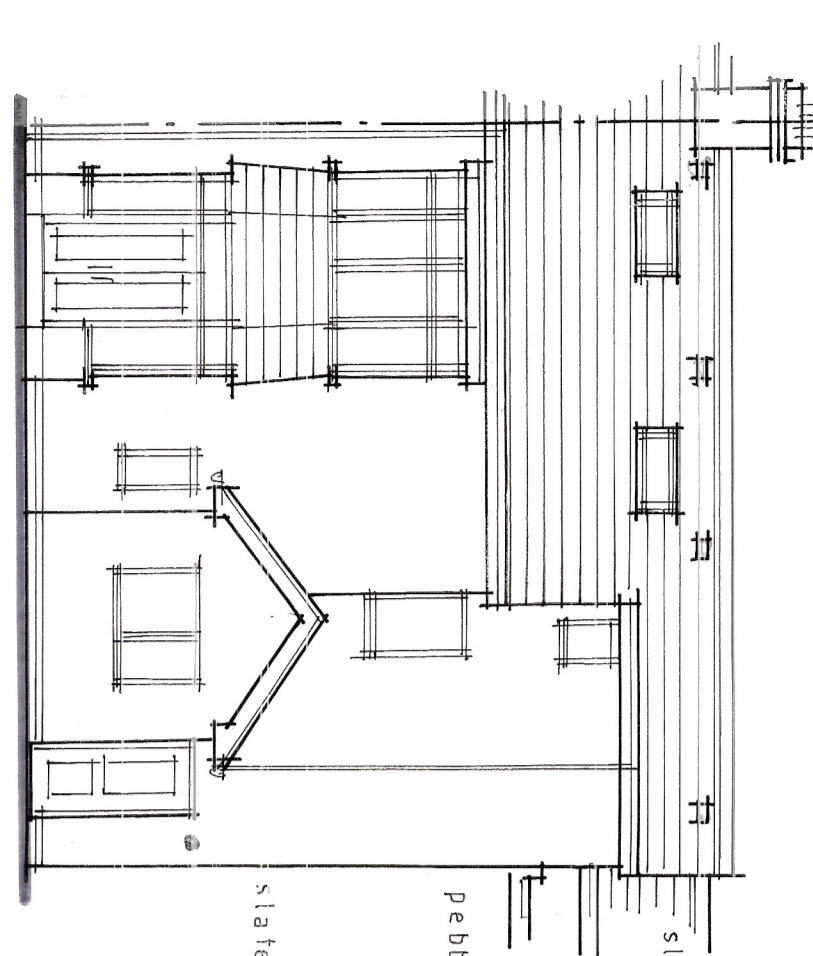
All new timber to be treated with approved preservative.

WALL PLATES

100mm x 50mm timber wallplates bedded on walls and fixed to walls with 50mm x 5mm mild steel straps at 1200mm centres all round.

ROOF WINDOWS

Fit "Velux" or similar roof window with 300mm x 300mm glass to give 2.2 U value and fitted to manufacturers specifications with proprietary flashings and sealers all round and suitable for roof pitch shown on plans. Trim around opening with Zno/aluminium as specified on plan. Windows fitted with minimum floor area opening sashes.



**REPLACEMENT
WINDOWS**

All new replacement windows to be fitted with triple glazing - 4000 square millimetres for bathrooms. Doors should be undercut by 10mm to finished floor level.

**OPEN PLAN
KITCHENS/DINING
AREAS**

Open plan kitchen/dining area to have 30mm minimum tickle ventilators fitted in the room.

existing rear elevation

existing side elevation

existing side elevation

existing side elevation

existing side elevation

existing side elevation

existing section thro' x-x

existing attic plan

**EXISTING LINTELS
AND FOUNDATIONS**

Existing lintels and foundations to be exposed in places by builder for Approved Building Surveyor's inspection - underpinning foundations and fit new Castin or similar lintels over openings if necessary to be determined on site to Inspector's satisfaction.

FIRE DETECTION

- (S) SMOKE detectors
- (H) HEAT detectors
- (CO) CARBON MONOXIDE detector's
- (MS) MULTI SENSOR detectors

All detectors linked together on separate fused circuit OR by approved Radiolink by Specialist supply/fit.

**ROOF
STRENGTHENING**

Existing roof structure to be strengthened in strict accordance with approved structural calculations.

**TRIMMERS AROUND
VELUX WINDOWS**

Fit 20mm radius round new Velux window openings - sizes to be specified on plan or as indicated on drawings.

**WINDOWS AND
EXTERNAL DOORS -
U VALUES**

All new windows to achieve a U value of 1.40W/m²K and doors to achieve a minimum U value of 1.40W/m²K.

KITCHEN UNITS

New kitchen units to be to new specification and client to provide the fridges for food storage.

SHOWER SUITE

New shower suite to be to clients specification and to approved.

**VENTILATION -
GROUND FLOOR**

To suspended timber ground floor - provide 25mm x 70mm all bricks at 1200mm new extension.

**WALL BETWEEN
HOUSE AND GARAGE**

125mm x 47mm timber framing at 600mm centres with 100mm thick CELOTEX insulation on both sides. D.P.P.L.E.X. plasterboards, skim finish.

**INTERNAL STUD
PARTITION WALLS
(INSULATED)**

75mm x 50mm timber framing at 600mm centres, 75mm thick "ROCKWOOL" insulation, 12.5mm Duplex plasterboards and skim both sides.

DRY VERGE SYSTEM

Provide proprietary UPVC verge system to all roof eaves. Colour to match tiles and to client's satisfaction.

DRAINS

100mm diameter approved UPVC bedded on "peel" gravel and laid to 1:40 minimum falls. Fit reinforced concrete linings over drains where passing through walls. Protect with concrete to Local Authority satisfaction. All drains passing under new extension to be under new concrete floor/finish. All new gullies to be UPVC roadable gullies or BS 7971 (IEE Wiring Regulations). Electrical contractor to be authorised by either "ELECTSA", "NANPIT", or "NICEIC" for "fall competence" self certification or by Insulators on competence schemes authorised by either CORGI, ERECTA, VAPIT, NICEIC, or OFTEC.

**WALLS - THE TO
EXISTING WALLS**

The all new walls into existing walls by "block tie" or approved galvanised wallties.

**UNDERGROUND
WALL OPENINGS**

All underground openings through walls/foundations for drains, pipe ducts, cables etc to be built up and sealed off to possible service and backfilling trenches. All to Approved Building Surveyor's satisfaction.

**EXTERNAL WALLS -
EXTERNAL
COLOURED RENDER**

Approved coloured render by specialist and to client's approval on:

- 100mm Concrete Blocks
- 100mm Thermablend Wall Insulation
- 100mm Thermablend "Tinho"
- 100mm "Sella"
- 100mm "Sella"

**EXTRACTOR FANS
(INTERNAL ROOMS)**

Fit 100mm diameter extractor fan with 100mm diameter flexible UPVC pipe taken direct to external outlet - box in pipe and form base with 100mm x 50mm timber wallplate. Changes per hour and completed direct to light switch - fan also fitted with 15 minute "fan on" timer and leave 100mm gap under door.

JOIST HANGERS

New joist hangers to be approved advanced "restraint type" joist hangers suitable for joists and walls specified.

**EXTRACTOR FANS
OUTLETS**

All to discharge to external outlets.

CONCRETE LINTELS

To be "Camc" or similar insulated, heavy duty combined metal lintels over all new cavity wall, door and window openings. All new lintels to be suitable for width of opening and for all new walls/specification.

CONCRETE LINTELS

Fit "Camc" or similar heavy duty, insulated box lintels over openings as specified on plan - External BH100 and internal BH150mm minimum end bearing and embedded in 12.5mm plasterboard and skim to give 1/2 hours fire resistance minimum. All to manufacturers specifications and fit to detail.

**EXISTING LINTEL/
BEAMS**

Existing lintel/beams to be checked for adequacy on site and inspected for adequacy by engineer to be consulted if necessary. All determined on site.

PLUMBING

To be to Water Authority Regulations. Lag all new pipes. Provide deep seal traps for all drains. Waste pipes and traps to be 100mm diameter. Waste pipe exceeding 3.000m long.

ELECTRIC

To be to clients specification and to I.E.E. Regulations. All electrical work/installation to be carried out by a suitably competent/approved Electrical contractor. All new electrical work to be in accordance with BS 7971 (IEE Wiring Regulations). Electrical contractor to be authorised by either "ELECTSA", "NANPIT", or "NICEIC" for "fall competence" self certification or by Insulators on competence schemes authorised by either CORGI, ERECTA, VAPIT, NICEIC, or OFTEC.

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JOIST HANGERS

New joist hangers to be approved advanced "restraint type" joist hangers suitable for joists and walls specified.

WALL INSULATION

Insulation taken 150mm below floor insulation level - provide weep holes at ground level to wall every 900mm maximum centres if necessary.

**INTIMESCENT
COLLARS**

Fit approved intimescent collars to soil pipes where passing through floor.

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**EXTRACTOR FAN
(BATHROOMS AND
SHOWER ROOMS)**

Fit 100mm diameter extractor fan capable of giving 15 litres/second minimum discharge.

FOUNDATIONS

600mm x 225mm STI grade concrete foundations to be set out and poured to minimum depth below ground level to bottom of foundation trench onto suitable lead bearing sub strata and all with 1 No/layer A193 mild steel mesh reinforcement and to Approved Building Surveyor's satisfaction and in accordance with the conditions.

STUB STACK

Provide 100mm high stub stack with 100mm diameter UPVC pipe with "DRJRG" valve on top.

RESTRAINT STRAPS

Fit 20mm x 5mm mild steel straps to walls, joists, trusses and rafters at 2000mm maximum centres all round. Fit 20mm x 5mm mild steel holding down straps to wall plates, joists, trusses and walls at 2000mm maximum centres all round.

SMOKE DETECTORS

Fit ceiling fixed approved OPTICAL mains operated SMOKE detectors, all linked together to fire detection system on separate fused circuit or approved Radiolink connection by Specialist supply/fit.

SOFFITS

Fit proprietary white upvc soffit boards to manufacturers specification.

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FOUNDATIONS

All new foundations to be taken below invert level of any adjacent drains. Depths to be determined on site.

ROOTINGS

Bricks or approved concrete blocks or approved trench blocks to be used below ground level.

**INSPECTION
CHAMBERS**

225mm thick, 2nd class engineering bricks on 100mm concrete base with concrete benches and light duty manhole cover. Inspection chambers less than 900mm deep to be "HEPWORTH" proprietary manholes fitted to manufacturers specifications and Local Authority approval.

existing ground floor plan

existing 1st floor plan

existing attic plan

existing section thro' x-x

existing side elevation

existing side elevation

existing side elevation

existing side elevation

existing side elevation

existing section thro' x-x

existing attic plan

existing ground floor plan

existing 1st floor plan