



LEVEL 3

Your survey report

Property address

45-47 Main Street, Greetham, Oakham, Rutland, LE15
7NJ

Client's name

Mr AB Daw

Inspection date

24th April 2023

Surveyor's RICS number

1205088

3

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A

About the inspection and report

This RICS Home Survey – Level 3 has been produced by a surveyor, who has written this report for you to use. If you decide not to act on the advice in this report, you do so at your own risk.

A

About the inspection and report

As agreed, this report will contain the following:

- a thorough inspection of the property (see *'The inspection'* in section M) and
- a detailed report based on the inspection (see *'The report'* in section M).

About the report

We aim to give you professional advice to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading the property
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects
- propose the most probable cause(s) of the defects, based on the inspection
- where practicable and agreed, provide an estimate of costs and likely timescale for identified repairs and necessary work, and
- make recommendations as to any further actions to take or advice that needs to be obtained before committing to a purchase.

Any extra services we provide that are not covered by the terms and conditions of this report must be covered by a separate contract.

About the inspection

- We carry out a desk-top study and make oral enquiries for information about matters affecting the property.
- We carefully and thoroughly inspect the property, using our best endeavours to see as much of it as is physically accessible. Where this is not possible, an explanation will be provided.
- We visually inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access. We examine floor surfaces and under-floor spaces, so far as there is safe access and with permission from the owner. We are not able to assess the condition of the inside of any chimney, boiler or other flues.
- If we are concerned about parts of the property that the inspection cannot cover, the report will tell you about any further investigations that are needed.
- Where practicable and agreed, we report on the cost of any work for identified repairs and make recommendations on how these repairs should be carried out. Some maintenance and repairs that we suggest may be expensive.

- We inspect the inside and outside of the main building and all permanent outbuildings. We also inspect the parts of the electricity, gas/oil, water, heating, drainage and other services that can be seen, but these are not tested other than normal operation in everyday use.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage, and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in sections D, E, F and G, we describe the part that has the worst condition rating first and then outline the condition of the other parts.

Reminder

Please refer to your **Terms and Conditions** that were sent to you at the point you (the client) confirmed your instruction to us (the firm), for a full list of exclusions.

About the inspection

Surveyor's name

R D Girdwood

Surveyor's RICS number

1205088

Company name

CWH Surveyors LLP

Date of the inspection

24th April 2023

Report reference number

BF059079

Related party disclosure

I am not aware that there is any conflict of interest as defined in the RICS Valuation Standards and the RICS Rules of Conduct.

Full address and postcode of the property

45-47 Main Street, Greetham, Oakham, Rutland, LE15 7NJ



Main property

Weather conditions when the inspection took place

During my inspection the weather was fine and dry. This was preceded by several days of variable weather.

A

About the inspection

Status of the property when the inspection took place

The property is currently unoccupied, part furnished and has fitted floor coverings to the majority of the rooms.

No representative of the Vendor was in attendance during the inspection.

B

Overall opinion

This section provides our overall opinion of the property, highlighting areas of concern, and summarises the condition ratings of different elements of the property. If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here. It also provides a summary of repairs (and cost guidance where agreed) and recommendations for further investigations.

Important note

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular section L, *What to do now*, and discuss this with us if required.

Summary of condition ratings

Overall opinion of property

This is a Grade II Listed (List entry: 1307430) , part two storey and part single storey detached house, which will date from the mid 18th Century. I note that the Listed status references no.45, however, by association, I anticipate that no.47 will be subject to Listed restrictions. It is positioned on a good size plot, with grounds extending up to the west boundary. There is a dilapidated outbuilding abutting the south boundary.

The current owners have recently obtained planning consent for full renovation of the original property, conversion of the outbuildings to the east to form a home office and the construction of a single storey dwelling within the south garden. A garage block will also be constructed between the house and new dwelling. Copies of the planning consent must be obtained via Legal Advisers and you should be aware of the timescales for enacting the consent, which typically is required within 3 years of the planning being granted. If this should lapse there is no guarantee that consent will be granted on reapplication.

In advance of purchase, full costings for the renovation works should be established and you must be aware that the Listed status of the original section will impose certain restrictions and increased renovation costs.

The property requires comprehensive overhauling, including replacement of the thatched covering, a review of cracking to the south section of the east gable and complete overhauling of the outbuilding, including the installation of a replacement roof structure and covering.

It should be appreciated that parts of the property are some 270 years old. Accordingly, such parts of the structure and fabric should not be expected to be 'as new' and due regard has to be given to natural deterioration due to the elements and usage. Restoration to a condition 'as new' particularly of brickwork, stonework, ironwork, joinery and roofing materials can prove uneconomic. The report has been prepared to have due regard to the age and type of the building.

The report must be considered in its entirety before proceeding. If there are any points in the report which require clarification or on which you require further advice, please do not hesitate to contact the writer.

The property is understood to be Grade II Listed. The local authority can issue a listed building enforcement notice requiring the correction of any unauthorised alteration or extension works if they consider that the works adversely affect the character of the building. We have not investigated whether any works requiring consent have received the necessary consent and therefore recommend that your legal adviser should make all necessary enquiries. If there is any doubt, the local planning authority should be consulted before the exchange of contracts.

The owner of a listed building has substantial responsibilities in terms of proper maintenance, and no alterations either internally or externally should be made without first checking the need for listed building consent from the local planning authority, who may have very specific restrictions. Maintenance of the building fabric and attached details, as well as outbuildings, boundary walls and other items, would be included in such matters and if there is any doubt, the planning officer should be consulted.

To assist me in preparing this report I have consulted the Environment Agency Flood Maps published on their website and guidance on Radon gas affected areas published by Public Health England.

I have carried out a summary search on the Rutland County Council planning portal, have had sight of historic maps of the locality and viewed the British Geological Survey for the locality.

B

Summary of condition ratings

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.

3

Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Element no.	Element name	Comments (if applicable)
D1	Chimney stacks	
D2	Roof coverings	
D3	Rain water pipes and gutters	
D4	Main walls	
D5	Windows	
D6	Outside doors	
D7	Conservatory and porches	
E1	Roof structure	
E2	Ceilings	
E3	Walls and partitions	
E4	Floors	
E5	Fireplaces	
E6	Built-in fittings	
E7	Woodwork	
E8	Bathroom fittings	
F1	Electricity	
F3	Water	
F4	Heating	
F5	Water heating	

B

Summary of condition ratings

F6	Drainage	
G2	Permanent outbuildings	
G3	Other	

2

Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing, but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.

Element no.	Element name	Comments (if applicable)
D8	Other joinery and finishes	

1

Elements with no current issues

No repair is currently needed. The elements listed here must be maintained in the normal way.

Element no.	Element name	Comments (if applicable)
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NI

Elements not inspected

We carry out a visual inspection, so a number of elements may not have been inspected. These are listed here.

Element no.	Element name	Comments (if applicable)
D9	Outside other	
E9	Inside other	
F2	Gas/Oil	
F7	Common services	
G1	Garage	

B

Summary of condition ratings

Summary of repairs and cost guidance

Formal quotations should be obtained prior to making a legal commitment to purchase the property.

Repairs	Cost guidance (optional)
N/A	

Further investigations

Further investigations should be carried out before making a legal commitment to purchase the property.

You are made aware in the report of certain risk areas relevant to the property, which have not been fully investigated at this stage. You proceed to purchase in full knowledge of these risks.

In circumstances where essential repairs or works by specialists are not carried out further deterioration and damage may occur with subsequent increased risk and increased costs. A number of these relate to testing of the services, which are standard investigations and beyond the scope of the survey. Nevertheless, these must be fully investigated due to the potential safety risks and the possible need for expenditure.

Where further investigations have been recommended in this report, you must pursue these matters before proceeding with the purchase, since they may reveal the need for substantial expenditure. If you are appraised of these costs before the exchange of contracts, then at least you will have the opportunity to renegotiate the purchase price.

The following actions are required before commitment to purchase.

Structural movement.

A structural engineer should be employed to review cracking toward the east side of the north gable.

Refurbishment cost estimates.

In advance of purchase, full cost estimates should be obtained for the conversion and renovation works to the existing structures.

Internal timbers

A Property Care Association approved timber contractor should inspect the ground floor timbers due to evidence of apparent dry rot.

Thatch covering

A master thatcher should review the existing thatch covering and comment regarding its anticipated future lifespan.

C

About the property

This section includes:

- About the property
- Energy efficiency
- Location and facilities



About the property

Type of property

A Grade II Listed, part two storey detached house with planning consent for renovation, extension and redevelopment.

Approximate year the property was built

1750

Approximate year the property was extended

1900

Approximate year the property was converted

Information relevant to flats and maisonettes

Not applicable.

Construction

The property is of traditional load-bearing masonry construction comprising solid limestone and brick walls. Loadings from the roofs and upper floors are transmitted to the ground via external and internal load bearing walls. The later additions are of single thickness brickwork and cavity brickwork to the north and south.

Where there are openings in the walls, timber lintels and the window and door frames will transfer the weight from above and around the openings to the support points. The thrust created at the support point is resisted by the weight of the masonry on each side of the opening.

The roofs are of pitched design, with thatch and blue slate coverings.

There are timber and metal framed casement windows. Doors are of timber design. Cast-iron and PVC rainwater fitments.

Internally, the ground floors are of solid and suspended timber construction, with suspended timber first floors. Partition walls are of solid and lath and plaster construction. Ceilings are of plaster and assumed reed and lime plaster type.

Solid brick and stone built outbuilding.

Please be aware that no opening up of the structure has been undertaken and therefore the precise composition of the ceilings and wall structures, linings and finishes cannot be ascertained without destructive testing.



About the property

Accommodation

	Living rooms	Bed rooms	Bath or shower	Separate toilet	Kitchen	Utility room	Conser-vatory	Other
Lower ground								
Ground	2	1	2		1			
First		4						
Second								
Third								
Other								
Roof spaces								

Means of escape

Fire is always a danger, but we see no abnormal risks in this property. It is recommended that a fire drill is agreed upon with all occupants and regularly practised so that they know what to do in the event of a fire.

As part of renovation works, fire detection should be upgraded, with hard wired smoke detectors installed to give the earliest warning of potential hazards.



Energy efficiency

We are advised that the property's current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

We will advise on the appropriateness of any energyimprovements recommended by the EPC.

Energy efficiency rating

F32

Issues relating to the energy efficiency rating

The current EPC has expired. As part of the renovation and refurbishment works, extensive thermal and energy upgrades will be carried out, at which point an up to date energy performance assessment should be produced.

Mains services

A marked box shows that the relevant mains service is present.

Gas

Electric

Water

Drainage

Central heating

Gas

Electric

Solid fuel

Oil

None

Other services or energy sources (including feed-in tariffs)

There are no other services, energy sources or feed-in tariffs (FITS) to my knowledge.

Other energy matters

None applicable.



Location and facilities

Grounds

The property is positioned on a good sized rectangular plot, which is elevated above Main Street.

The north gable of the property is at right angles to Main Street, with a driveway passing between the house and outbuilding. Gardens extend up to the south boundary, with further grounds to the west.

As part of the redevelopment, the existing driveway is due to be repurposed as a garden, with the boundary wall to north east removed and a replacement access road formed leading to the new dwelling and a garage block.

The grounds are currently overgrown and will require cutting back as part of redevelopment works.

Location

The property is located in the centre of Greetham, which is a popular commuter village in east Rutland. It is an established residential area, with neighbouring properties of varying age, type and style.

Roads and footpaths are made up and assumed adopted.

I am not aware of any adverse neighbourhood issues which could affect your decision to purchase the property, although you may wish to make further investigations in this regard.

Facilities

Greetham offers limited amenities including two public houses and a primary school. The neighbouring village of Cottesmore offers a wider range of amenities including a doctor's surgery and village shop, whilst the market towns of Oakham and Stamford are within easy reach offering independent and national retail offerings, schooling for all ages and leisure and healthcare facilities.

There are good transport links further afield via the nearby A1 trunk road and the railway station at Oakham.

Local environment

The UK Health and Security Agency has identified the area in which the property is situated as one in which, in more than 1% of dwellings, the level of radon gas entering the property is such that remedial action is recommended. It is not possible in the course of a building survey to determine whether radon gas is present in any given building as the gas is invisible and odourless. Tests can be carried out to assess the level of radon in a building. At a small charge, test instruments and results are available by post from Public Health England. The minimum testing period is 3 months. Public Health England strongly advises against using shorter-term testing instruments as they can give misleading results. If tests have not been carried out, it is recommended that they are. Compared to the total value of the property, the cost of carrying out remedial measures is relatively inexpensive and could be incorporated into the redevelopment works.

Information on the Government flood risk website indicates no history of flooding affecting the property.

The property is positioned within the Greetham Conservation Area boundaries, however, the Listed status will override any restrictions relating to the Conservation Area.

C

Location and facilities

Local environment

I am not aware at present of any planning, highway or other adverse environmental factors that may affect the property. Nevertheless, your Legal Adviser should make the usual searches.

Other local factors

Greetham is one of the main access roads from the A1 into Oakham. As such, there can be increased volumes of traffic along Main Street at certain times of the day. This may deter some potential purchasers.

D

Outside the property

D

Outside the property

Limitations on the inspection

My inspection was limited from ground level only.

Inspection of the west elevation was restricted due to large amounts of ivy growth extending up the walls.

D1 Chimney stacks

Four brick built chimney stacks serve the property, rising from the gable, including to the west projection. 3

By nature of their elevated position, chimney stacks are at greater risk of deterioration and natural weathering. They must be maintained to a high standard, particularly when no longer in use, as they are often neglected and can be common areas for moisture ingress to occur.

The stacks are upright and show no sign of significant movement.

A scheme of repair is required to each stack, including cutting back and renewing defective brickwork to the north stack, with repointing of the mortar joints necessary at the same time. Repointing of the central stack should also be carried out using a traditional lime mortar, whilst repair to the upper courses of masonry to the south stack should also be undertaken to reduce potential damp penetration.

The west stack is obscured due to extensive ivy growth. It must be anticipated that deterioration will become evident when the ivy is removed, with the approved plans indicating that this stack is to be removed. This should be confirmed prior to undertaking the removal works.

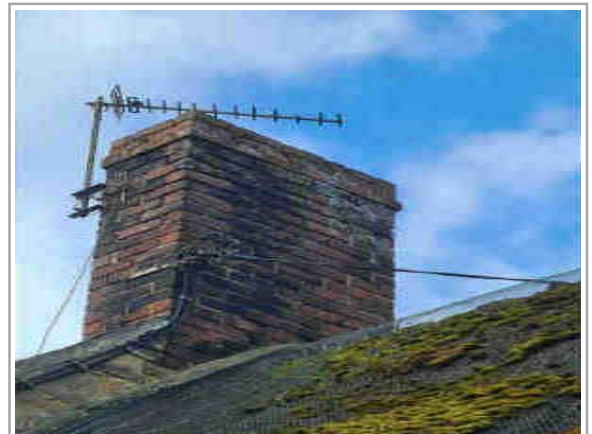
Suitable ventilated caps or cowls should be fitted to the flues to provide a through flow of air, reducing potential damp and condensation related issues.

TV aerials are fixed to the central and west stack and appear secure.

Condition Rating 3.



North stack



Central stack

D

Outside the property



South stack



West stack

D2 Roof coverings

Roof coverings

3

There is a pitched blue slate covering to the west sections.

Roof lines are generally level, with no sign of significant movement or deflection to indicate a weakness in the supporting structure.

The covering to the single storey section has been renewed in recent decades, at which time the nail fixings and timber battens will also have been replaced. Despite this, there are slipped slates evident. Additionally, no underfelt or membrane has been included beneath to provide a secondary defence against weather ingress. Accordingly, you should budget for stripping and re-laying the slates, with a suitable underfelt included at that time.

Ridge tiles to the apex of the roof are in place but will require lifting and re-bedding as part of overhauling of the covering.

The verge mortar to the gable is also intact but will require further repair as part of the replacement of the roof covering.

There is a further pitched slate covering over the west projection which has also been renewed in recent decades. Further slipped slates are noted in this area and you should budget for stripping and re-laying the covering.

There are lead valley gutters included at the joints between the single storey west projection and the walls of the main property. These will be removed as part of renovation and extension works.

Traditional mortar flashings are included at the joint between the chimney stacks and roof coverings. Flashings of this type are rarely watertight and are at increased risk of shrinkage and weathering. As part of re-roofing works enquiries should be made of the conservation officer to establish whether lead equivalents will be permitted. If not, you should seek to include a lead under flashing, with mortar applied over to provide a secondary defence.

There is a corrugated cement roof panel covering to the ground floor bathroom. You must be aware that there is a potential risk of an asbestos content to this, however, no testing has been carried out as part of the survey. It should be removed by a licenced contractor as part of renovation works. See further comments in Section I3.

Patch repairs have been carried out to the metal sheet roof covering to the south west bathroom. This will be removed as part of the taking down of this structure.

D

Outside the property

Condition Rating 3.

Thatch covering

The north section of the property has a thatch covering. The planning application suggests that this could be retained, however, I would defer to a master thatcher for further advice and anticipate that replacement is more likely to be required.

Condition rating 3

Images for Roof coverings



Slipped slates



Slipped slates



Slipped slates

D3 Rainwater pipes and gutters

There are a combination of traditional cast-iron and modern PVC rainwater fittings included around the roof edge to the west sections.

3

Defective rainwater goods are a very common cause of dampness which can lead to deterioration in

D

Outside the property

building fabric, the development of rot in timbers and can increase the risk of structural movement. Regular inspection and adequate maintenance are therefore essential if serious problems such as dry rot are to be avoided.

As part of renovation works, the current rainwater fitments should be renewed with modern aluminium or conservation equivalents offering extended lifespans and reduced maintenance.

The fitments to the south west bathroom are of a potential asbestos type and should be disposed off by a licenced contractor.

As is typical with a thatched covering, there are no rainwater fitments included, with the overhang of the thatch designed to cast storm water away from the base of the walls. This places added emphasis on surface water drainage at low level to ensure that storm water is not directed back toward the property. This should be overhauled and reconfigured as part of redevelopment works and the replacement of the thatch covering to ensure that storm water is directed away from the property, reducing potential damp related issues.

Condition Rating 3.

D4 Main walls

Main walls

3

My inspection of the external surface of the main walls was undertaken from ground level, with the aid of binoculars, a spirit level and a standard surveyor's ladder.

The walls are predominantly of solid limestone construction, with a brick gable to the south of the sitting room and a solid brick two storey projection to the west, which is likely to date from the early 1900s. There is also a small 1960s projection to the east of the ground floor bedroom, forming the bay window. Two retrospective single storey additions have been constructed to the west housing the bathrooms projecting to the north. They appear to be of single thickness brickwork, with a cement render coating.

The foundations have not been exposed. In a property of this age, the foundations are probably shallow by modern standards and in shrinkable sub-soils such as are found in this area, the risk of structural movement is greater. This risk increases as the soil shrinks in hot dry summers.

Two long standing tie bars are evident between ground and first floor on the north gable and will have been installed to arrest past movement and provide restraint to the gable. Despite this, there is a crack and a noticeable bulge to the masonry beneath the east tie bar. In part, this will be a result of thermal cracking following repointing with a stronger cement mortar. Traditionally, old stone walls contain inner and outer leaves of stonework with a loose infill of rubble. The outer leaf may not be well bonded to the interior and therefore it can suffer from movement, depending to some extent on the quality of original workmanship and subsequent maintenance. The external stonework may gradually loosen, resulting in visible external deflection and if this occurs, it will be necessary to employ an experienced stonemason to cut out and re-stitch the affected stones into position. You should consult a structural engineer regarding the cracking to assess whether any further remedial work or strengthening is required as part of the renovation work.

There are several mature trees to the west of the two storey section. These are within the zone of influence to impact the property, however, it is assumed that they will be removed as part of the creation of the new access in this area.

Walls of this type are structurally robust but can be prone to problems of rain penetration in severe weather conditions and condensation can be greater than with modern cavity walls.

The stonework, where visible, is in fair condition having regard for age, however, it is to be anticipated that areas of deterioration will become evident when ivy growth is removed. Additionally,

Outside the property

your attention is drawn to past repointing that has been carried out using a modern cement based mortar. This should be discouraged in a property of this age, as its impermeable nature will limit the breathability of the walls and prevent evaporation of moisture through the mortar joints. This results in increased moisture levels to the stonework itself, which can subsequently freeze and expand, damaging the stonework and resulting in increased repair costs. As part of redevelopment works, consideration should be given to undertaking full repointing with a sympathetic lime mortar, which will also go some way to reducing internal damp related issues. The existing mortar should be raked out to a minimum depth of 25mm to ensure that the replacement mortar has sufficient key to the masonry and does not simply fall out over a relatively short period. The repointing works should be carried out by a contractor who is experienced in working with traditional building materials. Further repointing will be required in the passageway to the south gable, which will be open to the elements following the removal of the adjoining outbuildings to the west.

There is weathering evident to the masonry at low level to the north gable, which will have been accelerated due to splash back from the roadside position and associated salts. This area will be at risk of increased deterioration and, as part of renovation works, a scheme of repair will be required including repointing and the potential application of a render to provide a first line of defence against reoccurrence.

Masonry paint has been applied to the brick built west projection. Where applied, this can further restrict breathability and evaporation of moisture from the masonry. As part of the planning consent, it is proposed that this area will have a render coating applied. A suitable breathable render should be applied to assist with evaporation of moisture and reduce potential damp related issues. Again, ivy growth in this area should be removed.

A small cavity brick built projection extends to the east of the ground floor bedroom. I understand that as part of the redevelopment and refurbishment works that this will be removed. Your attention is drawn to further comments in Section E7 regarding rot and decay to the adjacent timbers internally.

A concrete plinth is evident at the base of the walls to the east and north east of the main property. This may have been applied as a means of providing retrospective strengthening to the foundations. No removal of this should be carried out without prior consultation from a structural engineer.

The bathroom projections to the west appear to be of single thickness brick construction, with a cement render external facing. The south west bathroom is due to be removed as part of the redevelopment works, whilst the footprint of the west bathroom is to be retained, however, it is likely to be more cost effective to take down the existing structure and rebuild as part of the creation of the first floor accommodation above.

Condition Rating 3.

Damp-proof course

Walls require a damp proof course to prevent moisture from travelling up through the structure, which can lead to internal dampness, perished plaster, spoilt decorations and rot in skirting boards and other timbers.

Having regard for the age of the original property, it is unlikely that any form of damp-proof course will have been included at the date of construction. Despite this, the construction of the property will assist in alleviating dampness, with the relative thickness of the walls restricting the passage of moisture to the inner face, whilst the breathability of the materials assists in evaporation and drying of the masonry during warmer periods.

It is important to take a holistic approach in these circumstances addressing contributing factors including raised external ground levels, as noted to the brick built north projection, which are significantly higher than the internal floor levels. These should be lowered or drainage gulleys installed around the perimeter to assist in directly storm water away from the property. Further cutting back and lowering of ground levels along the north should also be undertaken as part of

D

Outside the property

clearance of the gardens.

There are widespread damp related issues internally. It is assumed that the renovation will involve taking the walls back to the brick/plaster. You must ensure that they dry out appropriately and decide whether to undertake a traditional moisture management approach or install physical intervention such as waterproof tanking slurry or a PVC damp-proof course/chemical treatment to reduce potential risks.

Condition Rating 3.

Images for Main walls



Cracking to north gable



Weathered stonework



Trees to west



West projection

D5 Windows

Timber and metal framed casement design windows are fitted. It is assumed that renewal of these will be carried out as part of redevelopment works. You should establish whether there are any restrictions imposed within the planning consent, due to the Listed status.

3

Condition Rating 3.

D

Outside the property

D6 Outside doors (including patio doors)

The timber doors are dated, swollen and damaged, requiring replacement. This should be carried out as part of renovation works. **3**

Condition Rating 3.

D7 Conservatory and porches

There is a uPVC framed conservatory projecting to the east of the south section. This is dilapidated and removal should be budgeted for. **3**

Condition Rating 3.

D8 Other joinery and finishes

Timber fascia boards are fitted around the roof edge to the south section. As part of replacement of the roof covering and rainwater fittings, I recommend that the fascia boards are renewed. **2**

Timber lintels are included over window and door openings to assist in carrying the loadings of the masonry above. These have adequate bearing into the surrounding masonry, however, I recommend that the paintwork is stripped back and renewed as part of renovation works.

Condition Rating 2.

D9 Other

There are no other external elements requiring comment.

NI

E

Inside the property

Inside the property

Limitations on the inspection

Each room has been inspected in detail, with damp meter readings taken where possible. Fitted carpets have not been raised unless reasonably practicable at the edges.

Inspection was limited due to fixtures, fittings and fitted floor coverings to the majority of rooms.

Comment cannot be given on areas that are covered, concealed or not otherwise readily visible. There may be detectable signs of concealed defects, in which case recommendations are made in the report. In the absence of any such evidence, it must be assumed in producing this report that such areas are free from defects. If greater assurance is required on these matters, it will be necessary to carry out exposure works. Unless these are carried out before the exchange of contracts, there is a risk that additional defects and consequent repair costs will be discovered at a later date.

No beams, lintels or other supporting components and concealed timbers were exposed to allow examination. Consequently, we are unable to comment fully upon the condition of these concealed areas. You must accept the risk of unseen defects, which may only become evident once the wall finishes are removed, should you proceed without further investigation.

It should be appreciated that other infestations or defects may be present or may arise if those already discovered remain untreated in a proper manner.

There is no view to the roof structure over the two storey sections, including to the west projection.

Inspection of the roof structure over the ground floor bedroom was undertaken from the hatch.

This report reflects the condition of the various parts of the property at the time of our inspection. It is possible that defects could arise between the date of the survey and the date upon which you take occupation.

It must be accepted that this report can only comment on what is visible and reasonably accessible to the surveyor at the time of inspection.

E1 Roof structure

The hatch to the ground floor bedroom provides access into the void above.

3

The covering to this area is supported on a traditional timber frame comprising rafters extending from the ridge at the apex down to an assumed wall plate secured to the upper section of the external walls. The rafters are supported at the mid point by cross purlins.

There is evidence of additional rafters having been fitted when the roof covering has been stripped and re-laid, with no significant stress or distortion noted to indicate a weakness in the supporting structure.

There is widespread evidence of timber beetle activity in this area and you should anticipate and budget for treatment of the timbers as part of renovation works. As noted earlier, there is no underfelt included beneath the covering to this area and, therefore, stripping and re-laying of the covering is recommended to include an underfelt or breathable membrane.

Insulation should also be renewed to current recommended levels of 270mm, whilst ensuring it is pulled back from the eaves to reduce potential cold bridging from the underside of the covering.

As noted in the limitations there is no view to the roof structure over the two storey sections, with a thorough assessment required as part of renovation works and you must anticipate a contingency budget for repair, strengthening or replacement of the roof structures in these areas due to evidence of past damp penetration and the likelihood of rot and decay becoming evident when the concealed timbers are exposed.

Condition Rating 3.

Inside the property



Single storey roof structure



Single storey roof structure

E2 Ceilings

The ceilings have been inspected from within the rooms and no opening up has been undertaken. The nature of the ceiling materials cannot be ascertained fully without damage being caused.

3

The ceilings are a combination of older reed and lime plaster and modern plasterboard type, with skimmed and decorative textured coating finishes. Be aware that decorative texture coatings may contain asbestos materials. This should not affect your purchase or occupation of the property - see Section I3.

As part of the renovation works, I recommend that the ceilings are taken down and replaced, including the more recent plasterboard section due to widespread damp staining and condensation. The majority of the staining was found to be dry when tested with a protimeter, however, elevated readings were noted around the west chimney breast and to the west of the south bedroom at first floor as a result of damp penetration around the chimney breast and from the roof covering.

Condition Rating 3.

E3 Walls and partitions

The walls and partitions have been inspected within the rooms and no opening up has been undertaken. The precise composition of the wall structures, linings and finishings cannot be ascertained without damage being caused.

3

The walls are a combination of solid and lath and plaster type, with paper lined finishes throughout.

There are no signs of significant movement internally, including to the south-east corner, adjacent to the cracked external masonry.

There is widespread damp penetration and condensation evident throughout the property, including damp ingress at first floor from the roof covering above. Accordingly, the renovation provides a good opportunity to strip the plaster back to the masonry, allowing it to dry out appropriately. A decision will then be required with regard to improving thermal efficiency either via the installation of plasterboard dry linings and insulation or traditional insulated lime plaster.

Condition Rating 3.

Inside the property

E4 Floors

The ground floors are of solid construction except for the suspended timber floors to the kitchen and ground floor bedroom. **3**

The suspended timber floors in these areas show signs of rot and decay, with damp penetration at the rear of the east kitchen and significant rot around the bay window in the bedroom. In addition, there is cuboidal cracking to the skirting board in this area which is typically indicative of dry rot, requiring extensive repair, with further advice required from a Property Care Association approved timber contractor. The affected timbers will require cutting back and replacement as part of renovation works. Alternatively, the timber floors could be removed and replacement solid floors fitted in their place to incorporate insulation and a damp-proof membrane as a more long lasting alteration.

The first floors are of suspended timber and joist construction, with supporting beams incorporated into the ground floor ceilings. There are some undulations to these areas, however, they remain firm under foot. I anticipate that it will be feasible to retain the timbers, subject to ensuring they dry out appropriately and potential timber treatment.

Condition Rating 3.



Potential dry rot

E5 Fireplaces, chimney breasts and flues

A 1960s open fire is included to the north wall of the north living room, with an open fire to the north of the ground floor bedroom, a sealed fireplace in the north kitchen and an electric fire in the south kitchen. It is assumed that these will be removed, with a decision required whether to retain the fireplaces in these areas or undertake removal. If the fireplaces are sealed, you must ensure that ventilation is included to provide a through flow of air, reducing potential condensation risks. **3**

Further decorative fireplaces are included at first floor. These should be sealed and ventilated as part of the renovation works.

It is not possible within the limits of this report to assess the internal condition of the flues or flue liners and we can give no assurances as to the practicalities of using the fireplaces.

Condition Rating 3.

Inside the property

E6 Built-in fittings (built-in kitchen and other fittings, not including appliances)

The kitchens are fitted with deteriorated units and I note that as part of the renovation works it is proposed that there will be a single central kitchen, at which time replacement units will be installed as one of the final stages of refurbishment. Budget accordingly.

3

Condition Rating 3.

E7 Woodwork (for example staircase joinery)

There is significant rot evident to the timber lintel over the west window in the north kitchen. This will have occurred due to prolonged damp penetration and you should budget for replacement of the lintel as part of renovation works.

3

As noted earlier, there is evidence of apparent dry rot in the ground floor bedroom requiring attention from a Property Care Association approved timber contractor in conjunction with renovation works.

The planning consent permits the installation of a replacement staircase, with the existing stairs removed at that time.

Full redecoration will be required following renovation works.

Condition Rating 3.

E8 Bathroom fittings

The south west bathroom is due to be removed as part of renovation works, whilst the west bathroom will be repositioned as part of the creation of a first floor section above the existing bathroom. Full replacement will be required at that time.

3

Suitable extractor fans should be fitted to assist in the removal of moisture laden air and potential condensation issues.

Condition Rating 3.

E9 Other

As part of renovation works, hard wired smoke detectors should be fitted on each landing to give the earliest warning of potential hazards. NI

F

Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

Services

Limitations on the inspection

The services have been visually inspected only. It is impossible to examine every detail of these installations without partially dismantling the structure. Tests have not been applied as these can only be undertaken by suitably qualified engineers. It is strongly recommended that you commission specialist testing of all services before the exchange of contracts.

For this report, only significant defects and deficiencies readily apparent from a visual inspection are reported. Compliance with regulations and adequacy of design, condition or efficiency can only be assessed as a result of tests.

Unless services have up to date test records available I will normally, as a precaution, place a Condition Rating 3 on the element.

F1 Electricity

Safety warning: *The Electrical Safety First recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice, contact the Electrical Safety First.*

Mains connection with the meter positioned outside the east of the main property and the consumer unit in the north kitchen, with a further prepay meter and RCD consumer unit to the south kitchen. **3**

The fittings have not been tested and you should budget for full rewiring as part of renovation works, including extending the installation into the outbuilding.

Condition Rating 3.

F2 Gas/oil

Safety warning: *All gas and oil appliances and equipment should be regularly inspected, tested, maintained and serviced by a registered 'competent person' in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.*

There is a mains gas supply to the property. It is assumed that some alteration will be necessary to extend the supply to the new dwelling in the west garden or, alternatively, a separate supply installed at that time. **NI**

F3 Water

The internal stop tap could not be located. Its position should be confirmed and an assessment of the supply pipe, as there is a risk that it will be of a lead type, which is known to be hazardous to health. Consideration should be given to installing a modern polyethylene supply pipe, with a supply required to the outbuilding. **3**

PVC cold water tanks are positioned in the cupboard to the central bedroom. These should be replaced or removed as part of the renewal of the heating system.

Condition Rating 3.

Services

F4 Heating

Gas fired radiator central heating provided by a 'Baxi' central heating boiler positioned in the south kitchen. This has not been tested as part of the survey, however, the refurbishment of the property will require the installation of a new heating system, including the boiler itself. Further advice and costings should be obtained from a Gas Safe engineer.

3

Condition Rating 3.

F5 Water heating

The main source of hot water is assumed to be provided from the central heating boiler and is supplemented by an electric immersion heater to the factory foam insulated hot water cylinder positioned in the cupboard to the central bedroom, with a separate copper cylinder to the north bedroom. As part of the renovation works, I recommend that a modern pressurised hot water cylinder is fitted, to allow hot water to be supplied at mains pressure throughout the property.

3

Condition Rating 3.

F6 Drainage

It is assumed that the property is connected to mains drainage. Legal Advisers should undertake appropriate searches with the relevant utility company to establish the position of the drains, including whether they are shared with the neighbouring properties and the associated maintenance liabilities.

3

A single inspection chamber cover was noted outside the west of the two storey projection. This was lifted to reveal a clay drainage run. No further covers were noted within the boundaries. No significant blockages were noted within the chamber, however, you must be aware of the risk of concealed defects. The redevelopment and creation of the access drive over this area provides an ideal opportunity to renew the drains with modern PVC equivalents, as part of extending the drainage run to the new dwelling.

Condition Rating 3.



Drainage run

F

Services

F7 Common services

None applicable.

NI

G

Grounds

(including shared areas for flats)

Grounds (including shared areas for flats)

Limitations on the inspection

G1 Garage

There is no garage with this property. The approved planning consent allows for the creation of a detached garage block to the south, abutting the east boundary.

NI

G2 Permanent outbuildings and other structures

There is a solid brick and limestone built outbuilding to the north east of the plot, which is in a dilapidated condition. Consent has been granted for conversion of this area to form a gym and utility area. 3

As part of the conversion works, significant overhauling and partial rebuilding will be required, replacement of the roof structure where it has collapsed and renewal of the roof covering, which is largely missing.

The existing brick built chimney stacks should be removed and vegetation to the south will require removal from the masonry.

The deterioration to the south west corner will be partly due to buddleia growth, which should be removed. Extensive repointing of the mortar joints will be necessary and the rainwater fittings and joinery will require complete renewal.

It is to be anticipated that strengthening will be required to the north east corner at the junction with the gable wall, where there is cracking through the masonry.

Your attention is drawn to sections of corrugated asbestos panelling, which should be removed at the same time.

Condition Rating 3.



Outbuilding



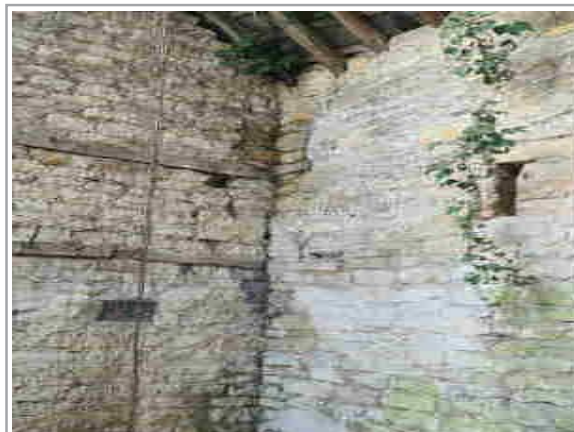
Missing roof covering

G

Grounds (including shared areas for flats)



Damaged roof structure



Cracking to north east corner

G3 Other

The property is positioned on a good size rectangular plot, which is elevated above the road side and slopes down from south to north. There is access from Main Street onto a parking area between the house and dilapidated outbuilding. As noted earlier, a new access is due to be constructed from the north west corner of the plot, improving access to the public highway. 3

The gardens are currently overgrown and require extensive cutting back, overhauling and landscaping as part of the redevelopment. There are two ponds positioned to the west, which will be removed as part of the creation of the new access drive.

A stone built retaining wall is positioned to the north west of the plot, abutting the road side. There is no sign of significant movement, however, this will be removed as part of the creation of the driveway. In the meantime, on going maintenance should be carried out.

The concrete outbuildings abutting the south of the ground floor bedroom are due to be removed as part of the redevelopment, with further outbuildings installed within the grounds also to be cleared.

I have carried out an initial search for Japanese Knotweed and have not identified any significant issues, however, consideration should be given to obtaining further advice before commitment to purchase.

Condition Rating 3.

H

Issues for your legal advisers

We do not act as a legal adviser and will not comment on any legal documents. However, if, during the inspection, we identify issues that your legal advisers may need to investigate further, we may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows). You should show your legal advisers this section of the report.



Issues for your legal advisers

H1 Regulation

Copies of the full planning consent for the redevelopment and construction of the dwelling within the ground should be obtained and reviewed by Legal Adviser, including any potential planning restrictions and obligations.

H2 Guarantees

None applicable.

H3 Other matters

The construction date of the property has been assumed from the limitations of my inspection. You may wish to verify this through Title Deed documentation.

I understand the property to be of unencumbered Freehold title with full vacant possession.

No adverse Local Authority proposals were identified at the time of inspection which are likely to directly affect the property, although this is a matter more thoroughly dealt with by your legal advisers during the course of pre-contract enquiries/local searches. Particular reference should be made to the following points;

- 1) Ownership and maintenance responsibilities for each boundary.
- 2) Verify that roads, sewers and footpaths are adopted by the local highway.
- 3) Clarify that all mains services are connected to the property. This is assumed to be the case.
- 4) Verify if any element of the drainage installation will be shared between neighbouring properties.



Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition-rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed.

Risks

I1 Risks to the building

The property requires extensive renovation and refurbishment as part of the redevelopment works. Accordingly, the majority of the elements will warrant attention as part of this work and, therefore, you must obtain costings, where necessary, to allow for budgeting.

I2 Risks to the grounds

None noted subject to obtaining an Environmental search.

I3 Risks to people

The services have not been tested as part of the survey. It is assumed that these will be renewed, including the electrical installation, central heating system and potentially the fireplaces and flues.

Hard wired smoke detectors should be fitted throughout the property as part of renovation works.

Be aware of potential hazards regarding the current condition of the outbuilding to the south-east.

Although the manufacture of asbestos-based building materials has now generally ceased, many products containing asbestos can still be found on and within buildings. These can include roofing felt, roof sheetings and slates, thermoplastic floor tiles, Artex surface coatings, ceiling tiles, fireproof linings, roof edge verges and eaves soffits, soil and vent pipes, drainpipes, hoppers and waste pipes, gutters and downpipes. Asbestos waste has also been found in lofts and floors, sometimes installed by owners as insulation.

Asbestos is a hazardous material and removal is expensive. Safe removal of asbestos requires trained expertise and we recommend that such work should only be done by a licensed asbestos removal contractor. There are regulations controlling the removal and disposal of certain types of asbestos. If you require further information as to the register of licensed contractors you should consult the local environmental health officer.

Depending on its condition, asbestos cement found on and within a domestic property can, in many cases, be left alone without causing any undue risk to the occupants. This, however, is strictly on the basis that the material is left undisturbed and unbroken, thus avoiding the release of fibres. It is also normally advisable to have the surfaces sealed and it would be sensible for them to be marked to indicate the presence of asbestos.

Problems arise, however, when asbestos-based materials need to be removed for reasons such as maintenance or repair, and when alterations are made to a building. Depending on the function of the material, certain notifications have to be given, followed by removal, by registered operatives, to disposal sites allocated specifically for this type of contaminated waste. Asbestos removal is expensive due to the substantial safety precautions which have to be taken.

Risks

I3 Risks to people

D2:Roof coverings

E2:Ceilings

I4 Other risks or hazards

None applicable.

J

Energy matters

This section describes energy-related matters for the property as a whole. It takes into account a broad range of energy-related features and issues already identified in the previous sections of this report, and discusses how they may be affected by the condition of the property.

This is not a formal energy assessment of the building, but part of the report that will help you get a broader view of this topic. Although this may use information obtained from an available EPC, it does not check the certificate's validity or accuracy.

J

Energy matters

J1 Insulation

The solid stone external walls would not meet current Building Regulations standards for thermal insulation but will provide reasonably good insulation. Their considerable thickness means that they have high thermal capacity, i. e. the stonework will take a long while to warm up in comparison with modern lightweight building materials but once warm, will act as a heat reservoir.

You should consult the planning authority and Building Control to establish what upgrading requirements are necessary as part of the redevelopment to improve the thermal efficiency of the property and meet Building Regulations, whilst also being sympathetic to the Listed status.

Insulation in the roof voids should be upgraded as part of renovation works.

If the ground floors are renewed or replaced, insulation can be incorporated into the solid floor slabs at that time.

There will be a need for replacement windows, allowing improved thermal efficiency.

J2 Heating

The central heating system will be renewed as part of renovation works to a modern standard.

J3 Lighting

Low energy lighting should be fitted throughout to maximise energy efficiency.

J4 Ventilation

The control of condensation involves maintaining surface temperatures above the dew point (the humidity related temperature at which water vapour turns into moisture), and the provision of adequate thermal insulation and proper ventilation. Unfortunately, the modern emphasis on draught-proofing reduces ventilation in dwellings, increasing the risk of condensation.

The extent of condensation in a dwelling will depend not only on its orientation and construction, but on variable factors such as weather conditions, lifestyle, and how the property is heated and ventilated.

Mechanical extractor fans should be fitted and directed externally to reduce potential condensation risks.

J

Energy matters

J5 General

Not applicable.

K

Surveyor's declaration



Surveyor's declaration

Surveyor's RICS number

1205088

Phone number

01476 584 190

Company

CWH Surveyors LLP

Surveyor's address

Unit One, Hill Court, Turnpike Close, Grantham, Lincolnshire, NG31 7XY

Qualifications

MRICS

Email

richard.girdwood@cwhsurveyors.co.uk

Website

www.cwhsurveyors.co.uk

Property address

45-47 Main Street, Greetham, Oakham, Rutland, LE15 7NJ

Client's name

Mr AB Daw

Date this report was produced

3 May 2023

I confirm that I have inspected the property and prepared this report.

Signature

Security Print Code [467107 = 6266]

L

What to do now



Further investigations and getting quotes

We have provided advice below on what to do next, now that you have an overview of any work to be carried out on the property. We recommend you make a note of any quotations you receive. This will allow you to check the amounts are in line with our estimates, if cost estimates have been provided.

Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified. You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for
- describe in writing exactly what you will want them to do and
- get them to put their quotations in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

Further investigations and what they involve

If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation.

Who you should use for further investigations

You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.

M

Description of the RICS Home Survey – Level 3 service and terms of engagement

Description of the RICS Home Survey – Level 3 service and terms of engagement

The service

The RICS Home Survey – Level 3 service includes:

- a thorough **inspection** of the property (see '*The inspection*' below) and
- a detailed **report** based on the inspection (see '*The report*' below).

The surveyor who provides the RICS Home Survey – Level 3 service aims to give you professional advice to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading the property
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects
- propose the most probable cause(s) of the defects based on the inspection and
- where practicable and agreed, provide an estimate of costs and likely timescale for identified repairs and necessary work.

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

The inspection

The surveyor carefully and thoroughly inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open up the fabric of the building without occupier/owner consent, or if there is a risk of causing personal injury or damage. This includes taking up fitted carpets and fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

Description of the RICS Home Survey – Level 3 service and terms of engagement

The surveyor uses equipment such as a damp meter, binoculars and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although thermal insulation is not moved, small corners should be lifted so its thickness and type, and the nature of underlying ceiling can be identified (if the surveyor considers it safe to do). The surveyor does not move stored goods or other contents

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests other than through their normal operation in everyday use. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources. It also does not investigate the plumbing, heating or drainage installations (or whether they meet current regulations), or the internal condition of any chimney, boiler or other flue.

Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access (e.g. a creeper plant prevents closer inspection), these are reported and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are also treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally or externally, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

Flats

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access and communal areas (for example, shared hallways and staircases that lead directly

Description of the RICS Home Survey – Level 3 service and terms of engagement

to the subject flat) and roof spaces, but only if they are accessible from within or owned by the subject flat or communal areas. The surveyor also inspects (within the identifiable boundary of the subject flat) drains, lifts, fire alarms and security systems, although the surveyor does not carry out any specialist tests other than their normal operation in everyday use.

External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended prior to legal commitment to purchase.

Dangerous materials, contamination and environmental issues

The surveyor makes enquiries about contamination or other environmental dangers. If the surveyor suspects a problem, they recommend a further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction, and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within *The Control of Asbestos Regulations 2012* ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in CAR 2012), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the dutyholder.

The report

The surveyor produces a report of the inspection results for you to use, but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report is aimed at providing you with a detailed understanding of the condition of the property to allow you to make an informed decision on serious or urgent repairs, and on the maintenance of a wide range of reported issues.

Condition ratings

The surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows:

- **Condition rating 3** – Defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property. Written quotations for repairs should be obtained prior to legal commitment to purchase.

Description of the RICS Home Survey – Level 3 service and terms of engagement

- **Condition rating 2** – Defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.
- **Condition rating 1** – No repair is currently needed. The property must be maintained in the normal way.
- **NI** – Elements not inspected.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the RICS Home Survey – Level 3 service for the property. Where the EPC has not been made available by others, the surveyor will obtain the most recent certificate from the appropriate central registry where practicable. If the surveyor has seen the current EPC, they will review and state the relevant energy efficiency rating in this report. Where possible and appropriate, the surveyor will include additional commentary on energy-related matters for the property as a whole in the energy efficiency section of the report, but this is not a formal energy assessment of the building. Checks will be made for any obvious discrepancies between the EPC and the subject property, and the implications will be explained to you. As part of the Home Survey – Level 3 Service, the surveyor will advise on the appropriateness of any energy improvements recommended by the EPC.

Issues for legal advisers

The surveyor does not act as a legal adviser and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

M

Description of the RICS Home Survey – Level 3 service and terms of engagement

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed. The RICS Home Survey – Level 3 report will identify risks, explain the nature of the problems and explain how the client may resolve or reduce the risk.

If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisers.

Description of the RICS Home Survey – Level 3 service and terms of engagement

Standard terms of engagement

1 The service – The surveyor provides the standard RICS Home Survey – Level 3 service described in this section, unless you agree with the surveyor in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- schedules of works
- supervision of works
- re-inspection
- detailed specific issue reports
- market valuation and re-instatement cost, and
- negotiation

2 The surveyor – The service will be provided by an AssocRICS, MRICS or FRICS member of the Royal Institution of Chartered Surveyors (RICS) who has the skills, knowledge and experience to survey and report on the property.

3 Before the inspection – Before the inspection, you should tell us if there is already an agreed or proposed price for the property, and if you have any particular concerns about the property (such as a crack noted above the bathroom window or any plans for extension).

This period forms an important part of the relationship between you and the surveyor. The surveyor will use reasonable endeavours to contact you to discuss your particular concerns regarding the property, and explain (where necessary) the extent and/or limitations of the inspection and report. The surveyor also carries out a desktop study to understand the property better.

4 Terms of payment – You agree to pay the surveyor's fee and any other charges agreed in writing.

5 Cancelling this contract – You should seek advice on your obligations under *The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013* ('the Regulations') and/or the *Consumer Rights Act 2015*, in accordance with section 2.6 of the current edition of the *Home survey standard* RICS professional statement.

6 Liability – The report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Note: These terms form part of the contract between you and the surveyor.

This report is for use in the UK.

M

Description of the RICS Home Survey – Level 3 (survey and valuation) service and terms of engagement

Complaints handling procedure

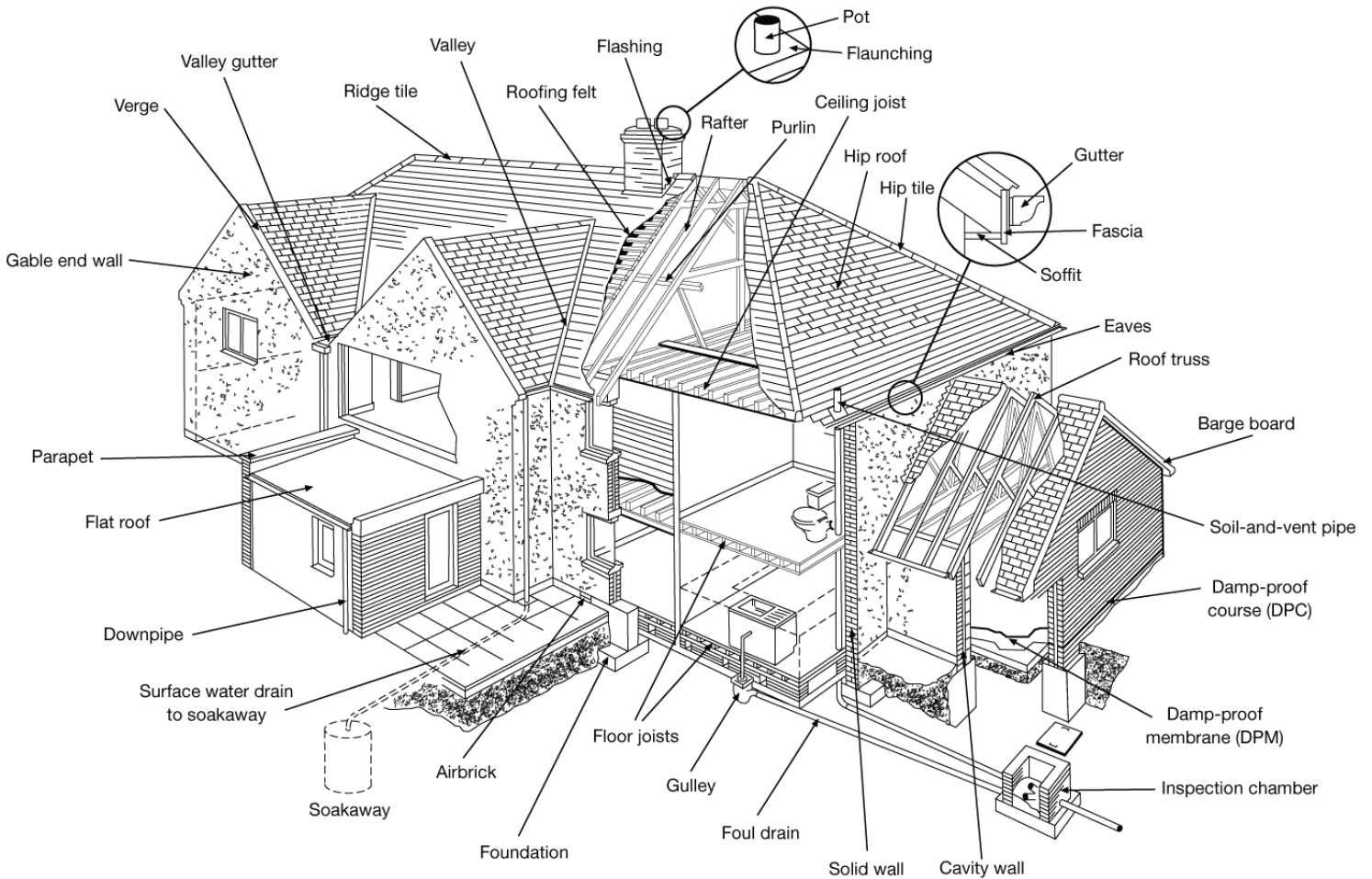
The surveyor will have a complaints handling procedure and will give you a copy if you ask for it. The surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor and ask for it to be supplied.

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Typical house diagram

Typical house diagram

This diagram illustrates where you may find some of the building elements referred to in the report.



RICS disclaimer

You should know...

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Maintenance tips

Your home needs maintaining in the normal way, and this general advice may be useful when read together with your report. It is not specific to this property and does not include comprehensive details. Problems in construction may develop slowly over time. If you are concerned contact an RICS qualified surveyor for further advice.

Outside the property

You should check the condition of your property at least once a year and after unusual storms. Routine redecoration of the outside of the property will also give you an opportunity to closely examine the building.

- **Chimney stacks:** Check these occasionally for signs of cracked cement, split or broken pots, or loose and gaping joints in the brickwork or render. Storms may loosen aerials or other fixings, including the materials used to form the joints with the roof coverings.
- **Roof coverings:** Check these occasionally for slipped, broken and missing tiles or slates, particularly after storms.
Flat roofing has a limited life, and is at risk of cracking and blistering. You should not walk on a flat roof. Where possible keep it free from debris. If it is covered with spar chippings, make sure the coverage is even, and replace chippings where necessary.
- **Rainwater pipes and gutters:** Clear any debris at least once a year, and check for leaks when it is raining. You should also check for any loose downpipe connectors and broken fixings.
- **Main walls:** Check main walls for cracks and any uneven bulging. Maintain the joints in brickwork and repair loose or broken rendering. Re-paint decorated walls regularly. Cut back or remove plants that are harmful to mortar and render. Keep the soil level well below the level of any damp proof course (150mm minimum recommended) and make sure any ventilation bricks are kept clear. Check over cladding for broken, rotted or damaged areas that need repairing.
- **Windows and doors:** Once a year check all frames for signs of rot in wood frames, for any splits in plastic or metal frames and for rusting to latches and hinges in metal frames. Maintain all decorated frames by repairing or redecorating at the first sign of any deterioration. In autumn check double glazing for condensation between the glazing, as this is a sign of a faulty unit. Have broken or cracked glass replaced by a qualified specialist. Check for broken sash cords on sliding sash windows, and sills and window boards for any damage.
- **Conservatories and porches:** Keep all glass surfaces clean, and clear all rainwater gutters and down pipes. Look for broken glazing and for any leaks when it's raining. Arrange for repairs by a qualified specialist.
- **Other woodwork and finishes:** Regularly redecorate all joinery, and check for rot and decay which you should repair at the same time.

Maintenance tips

Inside the property

You can check the inside of your property regularly when cleaning, decorating and replacing carpets or floor coverings. You should also check the roof area occasionally.

- **Roof structure:** When you access the roof area, check for signs of any leaks and the presence of vermin, rot or decay to timbers. Also look for tears to the under-felting of the roof, and check pipes, lagging and insulated areas.
- **Ceilings:** If you have a leak in the roof the first sign is often damp on the ceiling beneath the roof. Be aware if your ceiling begins to look uneven as this may indicate a serious problem, particularly for older ceilings.
- **Walls and partitions:** Look for cracking and impact damage, or damp areas which may be caused by plumbing faults or defects on the outside of the property.
- **Floors:** Be alert for signs of unevenness when you are moving furniture, particularly with timber floors.
- **Fireplaces, chimney breasts and flues:** You should arrange for a qualified specialist to regularly sweep all used open chimneys. Also, make sure that bricked-up flues are ventilated. Flues to gas appliances should be checked annually by a qualified gas technician.
- **Built-in fittings:** Check for broken fittings.

Services

- Ensure all meters and control valves are easy to access and not hidden or covered over.
- Arrange for an appropriately qualified technician to check and test all gas and oil services, boilers, heating systems and connected devices ones a year.
- Electrical installations should only be replaced or modified by a suitably qualified electrician and tested as specified by the Electrical Safety Council (recommended minimum of a ten year period if no alterations or additions are made, or on change of occupancy).
- Monitor plumbing regularly during use. Look out for leakage and breakages, and check insulation is adequate particularly as winter approaches.
- Lift drain covers annually to check for blockages and clean these as necessary. Check any private drainage systems annually, and arrange for a qualified contractor to clear there as necessary. Keep gullies free from debris.

Grounds

- **Garages and outbuildings:** Follow the maintenance advice given for the main building.
- **Other:** Regularly prune trees, shrubs and hedges as necessary. Look out for any overhanging and unsafe branches, loose walls, fences and ornaments, particularly after storms. Clear leaves and other debris, moss and algae growth. Make sure all hard surfaces are stable and level, and not slippery or a trip hazard.