

For construction purposes do not scale from this drawing
Use figured dimensions only
If in doubt ask

All dimensions to be checked on site

Work to be carried out in accordance with by-laws and regulations of local authorities and statutory undertakers

notes

Building Regulations Notes

Part A – Structure
All structure and roof design to Structural Engineer's design, calculations, and specifications.
Structural information from Structural Engineer's drawings takes precedence over Architect's details and notes. Any discrepancies should be reported to the Architect.

Part B – Fire Safety
Fire Detection and Alarm System
Automatic fire alarm and detection system to be installed as required in accordance with **BS 5839-Part 6**

Internal Fire Spread
Surface linings of all walls and ceilings to meet National Class 1.

Part C – Site Preparation and Resistance to Contaminates and Moisture
Foundation design to be specified by Structural engineer.

C2 Resistance to moisture
Refer to Floor legend for beam and block floor.

Part F – Ventilation
Background ventilators should provide a total equivalent ventilator area in excess of 338,000mm² across the dwelling. Habitable rooms should have a minimum of 5,000mm² each.
Ensure overall ventilation is suitable to gym provision.

Part G – Sanitation, Hot Water, and Efficiency
New electric radiator heating system to be installed as indicated in GA Plans to specialist design.
Heating systems to be installed, commissioned, and tested by a competent person, and a certificate issued that the installation complies with the requirements of Part L. All work to be in accordance with the Local Water Authorities by-laws, the Gas Safety (Installation and Use) Regulations 1998, and IEE Regulations where required.

Part H – Drainage and Waste Disposal
Assumed public combined drain system
PUBLIC (EX-SECTION 24) SEWERS
Building Contractor is to confirm all drainage on site correlates with the drawings and report any discrepancies to the architect. It is NOT believed that there are any ex-Section 24 minor sewers running through the curtilage of this property. However, if there is any suspicion that there may be, and a Build Over Application is required, it is the contractor's responsibility to make any Build-Over or Connection Notices with the relevant water authority immediately, confirming to the architect and Building Control that this has been done.

Rainwater Drainage System
All rainwater pipes and guttering to run into existing surface water drainage points where indicated on GA plans in accordance with **Approved Document H: H3 Table 1 or to new soakway agreed with building control.**

Part L – Conservation of Fuel and Power
All new fixtures and fittings are to be in accordance with **Approved Document Part L1A.**

Ensure all fixed services have been properly commissioned and tested to demonstrate that they are operating effectively. The test reports and commissioning certificates certify that all works have been carried out in accordance with the CIBSE commissioning codes and that the systems perform in accordance with the specification.

The owner should be provided with sufficient information about the building and it's services so that the building can be operated and maintained in such a manner as to use no more fuel and power than is reasonable in the circumstances.

Part P – Electrical Safety
Electrical works will be designed and installed in accordance with **BS 7671:2008+A3:2015**

REFERENCE LEGEND	
L/L	LOW LEVEL (450mm Above FFL)
M/L	MID LEVEL (1050mm Above FFL)
H/L	HIGH LEVEL (1200mm Above FFL)

SMALL POWER LEGEND	
	DOUBLE SWITCHED SOCKET OUTLET
	SHAVER SOCKET
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXTRACT FAN (HL)
	CAR CHARGING POINT

LIGHTING LEGEND	
NOTE - BATHROOM, SHOWER ROOM, EN-SUITES FITTINGS TO BE IP65 RATED. LIGHT SWITCHES TO BE MOUNTED 1050mm ABOVE FFL.	
	RECESSED FLUSH DOWNLIGHTER
	LED FLUSH RECESSED (IP65)
	DIRECTIONAL FLUSH RECESSED DOWNLIGHTER
	PENDANT LIGHT
	SWITCHED SECURITY LIGHT WITH PIR
	WALL LIGHT (low energy fitting)
	LIGHT SWITCH
	2 WAY LIGHT SWITCH

HEATING LEGEND	
	TOWEL RAIL
	THERMOSTAT POSITION
	RADIATOR

KEY	
	Application Boundary
	Outline of Existing Property

Read in conjunction with the following Architect's drawings:
GA Plans C220 to C221
Sections C420
Elevations C470 to C471
Schedules C870

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Any discrepancies should be reported to the Architect.

Electrical works will be designed and installed in accordance with **BS 7671:2008+A3:2015**

Building Regulation minimum U-Values to be achieved:	
Roofs	0.13 W/m ² K
External Walls	0.18 W/m ² K
Floors	0.13 W/m ² K
Windows	1.40 W/m ² K

The full extent of the existing drain runs and invert levels and capacities are at present unknown. The current information is based on a visual site survey.
All drainage runs are to be confirmed on site.

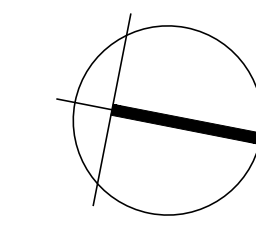
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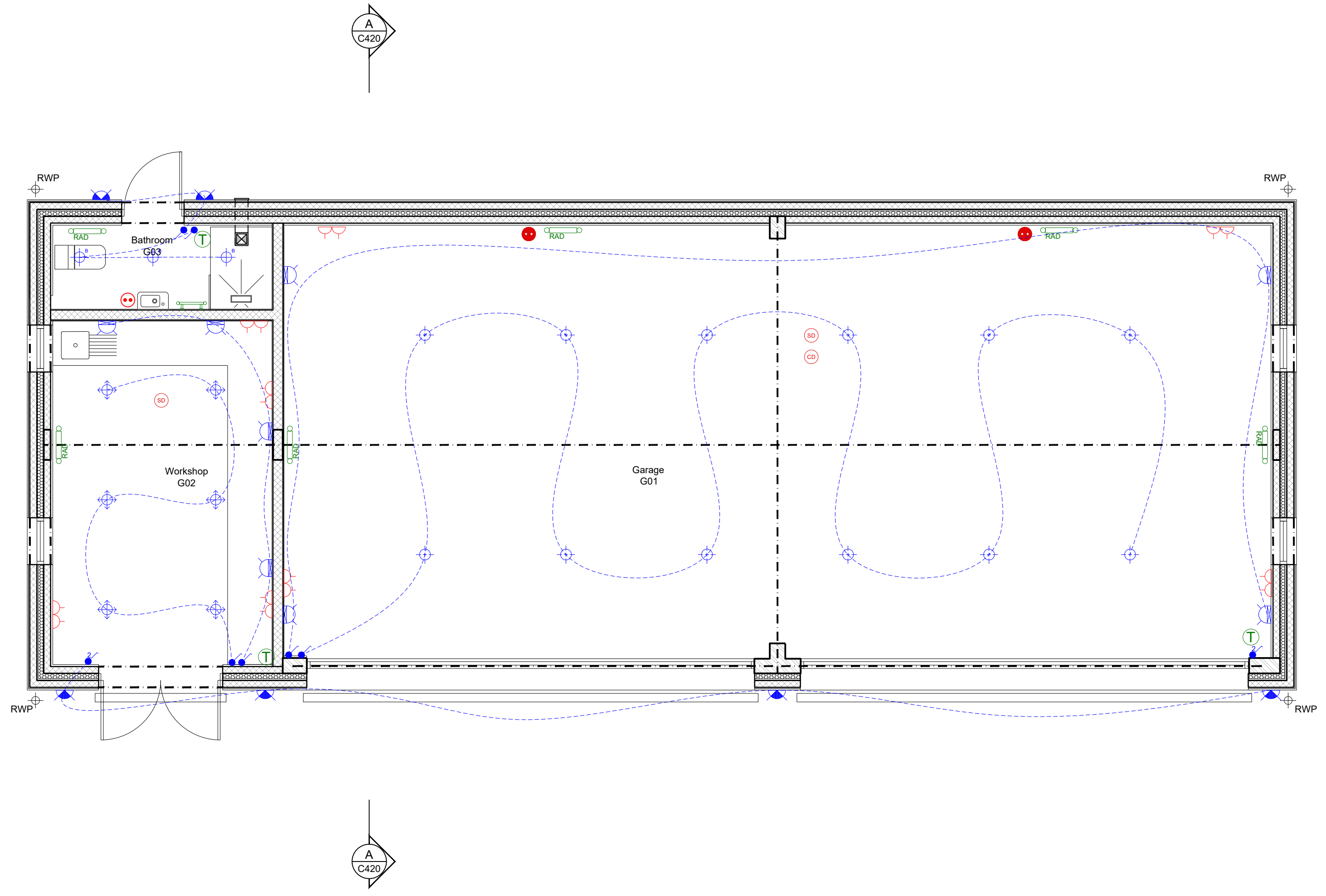
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	Mechanical Ventilation
	Smoke Detector
	Heat Detector
	Carbon Monoxide Detector

These drawings are intended for tendering process only. Final layout and design to be agreed with client and specialists.



TENDER



1 PLAN
Proposed Garage Ground Floor Plan Electrical Layout SCALE 1: 50

REV	DESCRIPTION	DR / CH	DATE
	Pettings Court, Hodsol Street		
	Sevenoaks, TN15 7LH		
	Proposed Garage Ground Floor Plan		
	Electrical Layout		
	Scale @ A1		1:50
	Created		October 2021
	Drawn By		EK
	Checked By		SM
	Purpose of Issue		TENDER

OPEN architecture

OPEN architecture	Architecture
	Building Surveying
	Project Management
	Interior Design

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Job Reference Drawing Number Rev

19151 C320 -

