

**WORKS IN CONTRACT - AS IN CW BUILD BILL OF QUANTITIES**  
**REV 4 - 07.03.2023 CONTRACT COPY**

**UNIT 1: demolition + underpinning works, groundworks, shell + core including windows + doors, roof works, rainwater goods, ASHP + UFH**

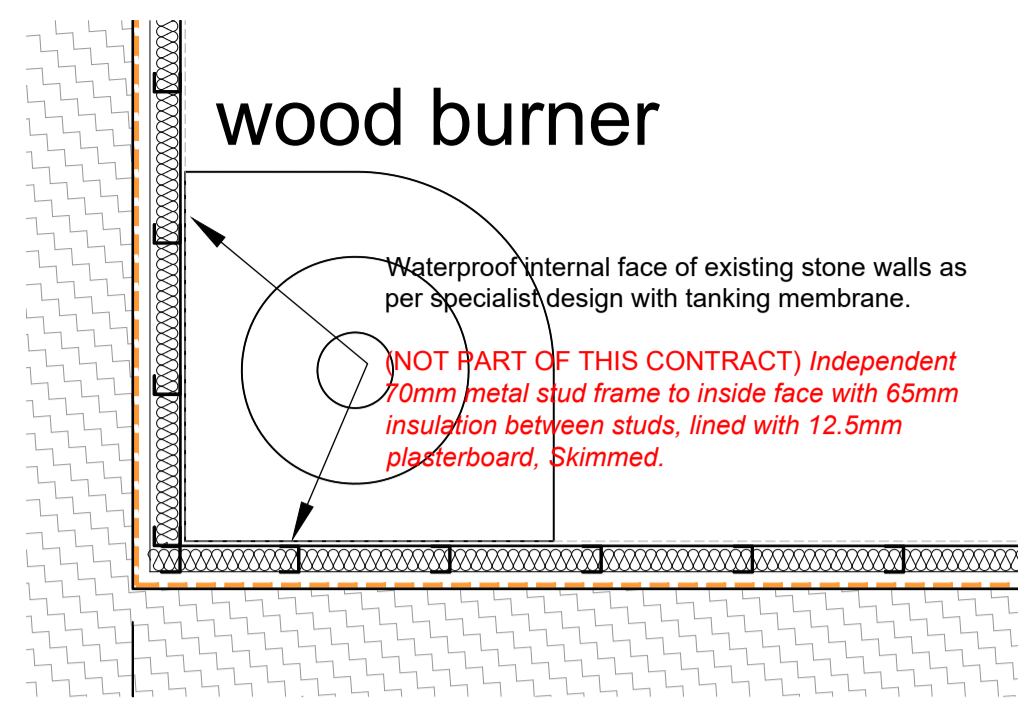
**UNIT 2: demolition works, groundworks, shell + core including windows + doors, roof works, rainwater goods, internal fit out works, ASHP + UFH**

**UNIT 3: shell + core including windows + doors, roof works, rainwater goods**

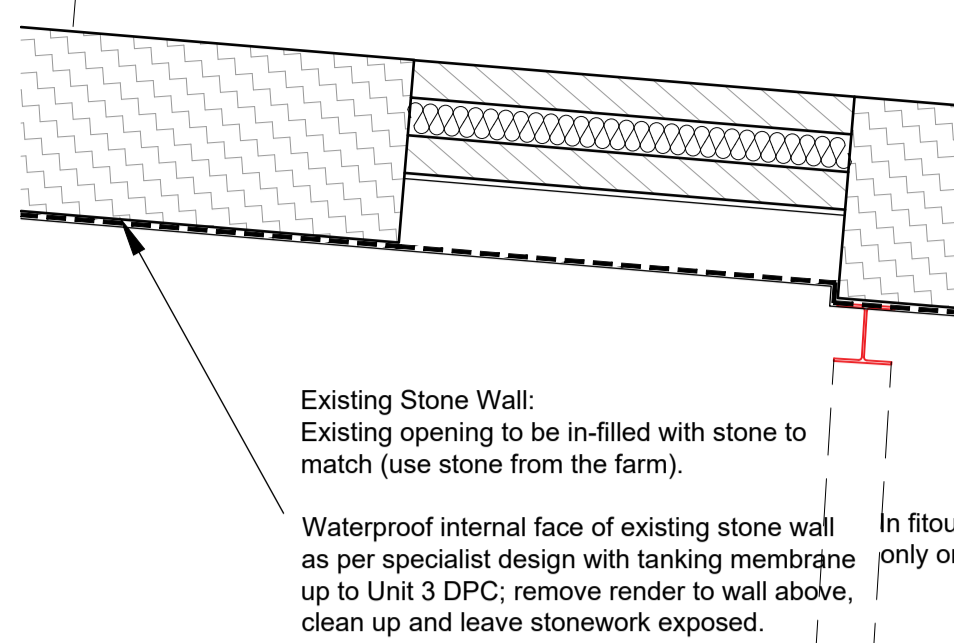
**BARN 3 (UNIT 4): demolition, groundworks, shell + core including windows + doors, roof works, rainwater goods, internal fit out works**

**FARMHOUSE: roof works, internal works to 2nd floor**

**EXTERNAL WORKS: foul + storm drainage, some landscaping works**



Unit 1 + 2 external wall tanking detail



Unit 2 / 3 party wall tanking detail

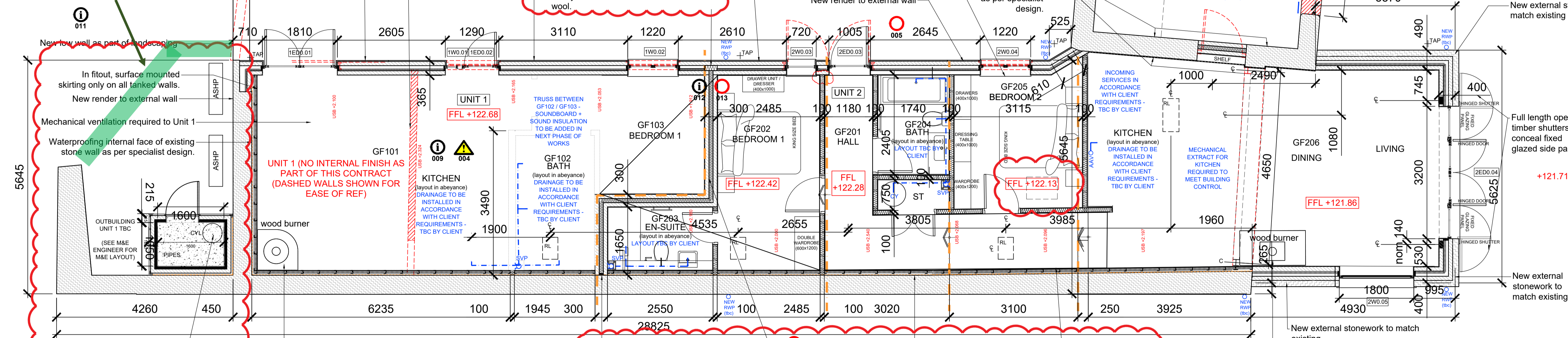
Extent of demolition / required making good works to be confirmed with structural engineer to ensure structural stability of existing structure post demolition.

Full length of west external wall to be rebuilt to reflect existing. The current existing wall has been found to have no foundation and there is currently a risk to the historic roof trusses whereby the wall is no longer sufficiently supporting the load. Given this wall is a modern addition it is our suggestion to replace as quickly as possible with double skin blockwork insulated to modern standards finished in render to reflect the existing. Any historic timber will be supported by temporary propping as specified by structural engineer during the works.

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Separating wall construction: Robust Detail E-WM-24 with 100mm block / 100mm cavity filled with 100mm Isover RD Party Wall Roll / 100mm block. Line both sides with 12.5mm gypsum plasterboard on dabs, skimmed. All blockwork to be 600 to 800 kg/m3 density, with suitable wall ties as per the Robust Detail. Install cavity closer to the courtyard facade with full-fill of mineral wool.

Screens: Wooden planters with trellis backing where climbing plants will create a natural screen



Out building for plant for Unit 1. Indicative location for hot water cylinder to be confirmed by mechanical engineer.

Stone hearth (using reclaimed dog-tooth stone from site) to be sized a min 150mm wider. Hearth to extend min 225mm beyond the face of the closed stove and shaped to fit the corner. Due to thickness of stone, omit floor insulation under hearth.

Existing truss between GF102 / GF203: Encase truss in soundboard + sound insulation on both sides, fill all cavity with sound insulation. Fire separate to meet Building Regs.

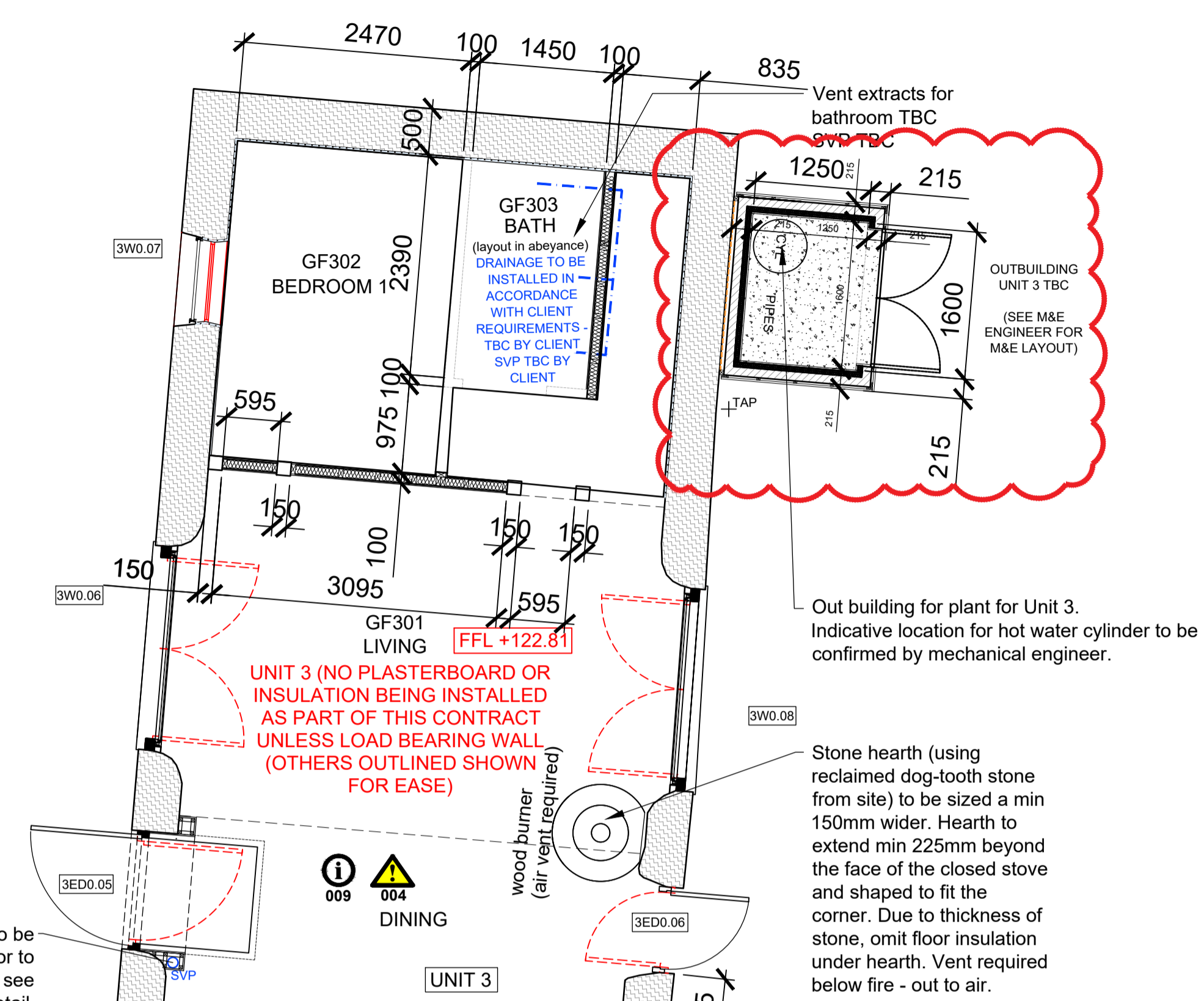
NOTE: The separating wall needs to be imperforate, achieving a minimum of 60 minutes fire resistance, taken up to the underside of the roof and suitably fire-stopped.

Existing truss between GF103 / GF203: Bedroom 1 side - truss to be exposed. Ensuite side - truss to be encased with soundboard + sound insulation, fill all cavity with sound insulation. Fire separate to meet Building Regs.

Waterproofing internal face of existing stone wall as per specialist design.

In fitout surface mounted skirting only on all tanked walls.

Stone hearth (using reclaimed dog-tooth stone from site) to be sized a min 300mm wider and 400mm deeper than the stove. Hearth to extend min 225mm beyond the face of the closed stove and be centred width-wise. Due to thickness of stone, omit floor insulation under hearth.



NOTES:

- ALL PROPOSALS ARE DRAWN AS HAND.
- ALL DRAWINGS AT 1:50 SCALE UNLESS STATED OTHERWISE.
- DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
- ALL DIMENSIONS TO BE CHECKED ON SITE.
- DRAWING TO BE READ IN ACCORDANCE WITH ALL CURRENT SCHEDULE, SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, PLUS ALL RELEVANT CONSTRUCTION DETAILS RELEVANT TO THE PROJECT.
- ANY INACCURACIES FOUND ON THE DRAWINGS OR SPECIFICATIONS ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- IF IN DOUBT ASK!

| NO. | HAZARD:  | RISK   | TOXICITY |
|-----|--|--------|----------|
| 001 | Control Work - All works are to be carried out following the latest guidance from the Government, HSE and Public Health England. The Principal Contractor is to make a daily review of any changes to the guidance and team with the Client in regards to required changes in working practices. | High   | High     |
| 002 | Facilities - Welfare facilities, site security, essential unloading storage and waste storage areas to be confirmed by the client.   | Low    | Low      |
| 003 | Occupied Site - The Farmhouse will be occupied by the client during the works and phase access and parking with the works. The Principal Contractor will need to coordinate with access into the site for the Client in addition to any access required for the works.                           | Medium | Medium   |
| 004 | Asbestos Survey - Survey required and no works are to be carried out until one has been completed.   | High   | High     |
| 005 | Incomplete records - Incomplete records of previously installed services, beams of concrete services, below ground and above structures etc.   | Medium | Medium   |
| 006 | Below ground drainage - Full route of below ground drainage layout unknown, to be confirmed including connection to mains.   | Medium | Medium   |
| 007 | Live Services - Installed on site to serve the Farmhouse and to be maintained during the works where possible. The Principal Contractor is to liaise with the Client to inform them when services will be interrupted.   | High   | High     |
| 008 | High level water - Temporary works are close to the works. Streams of existing high level water entering across ground area and possible access routes for machinery connecting from adjacent site to Barn 2.  | High   | High     |
| 009 | Bats - All works and demolition to be carried out in accordance with the method statement from the ecologist for protection of bats.   | High   | High     |
| 010 | Site Boundary - The building is close to the site boundary (less than a metre). Limited access for delivery to site (priority to site boundary, scaffolding etc).  | Medium | Medium   |
| 011 | Access Road - Limited with access road to site will limit the use of vehicles accessing the site for delivery etc.   | Medium | Medium   |
| 012 | Concrete Slab - Existing concrete slab to be demolished, thickness unknown.  | High   | High     |
| 013 | Stability of structure - Existing structure may require shoring / support / rebuilding in areas where demolition works are occurring.  | High   | High     |

KEY:

- HAZARD (WARNING SIGN)
- DO THIS
- DO NOT DO THIS
- OTHER RELEVANT INFORMATION

FOR TOXICITY:

FURTHER CONSIDERATION REQUIRED

RISK NOT TOLERABLE

Team Sign Off Status: \_\_\_\_\_ Date: \_\_\_\_\_

