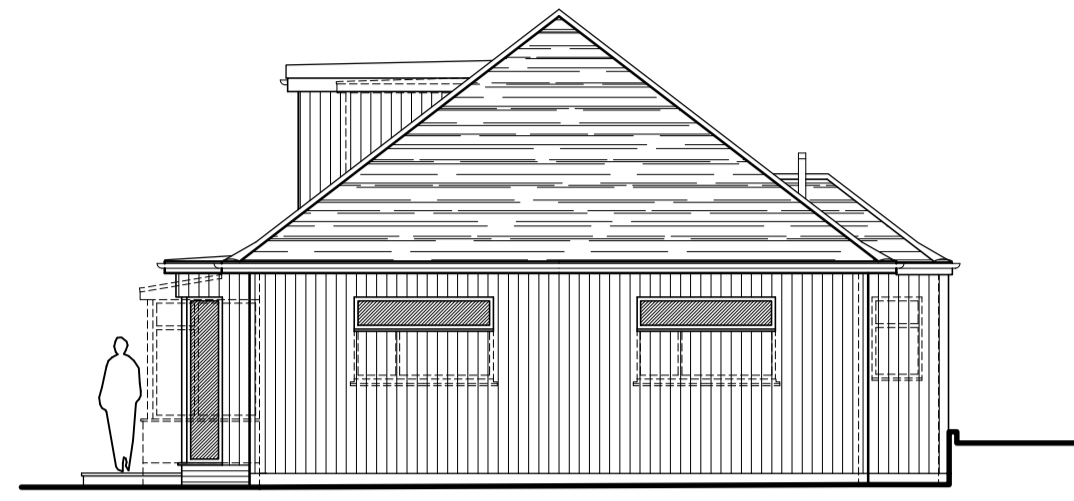


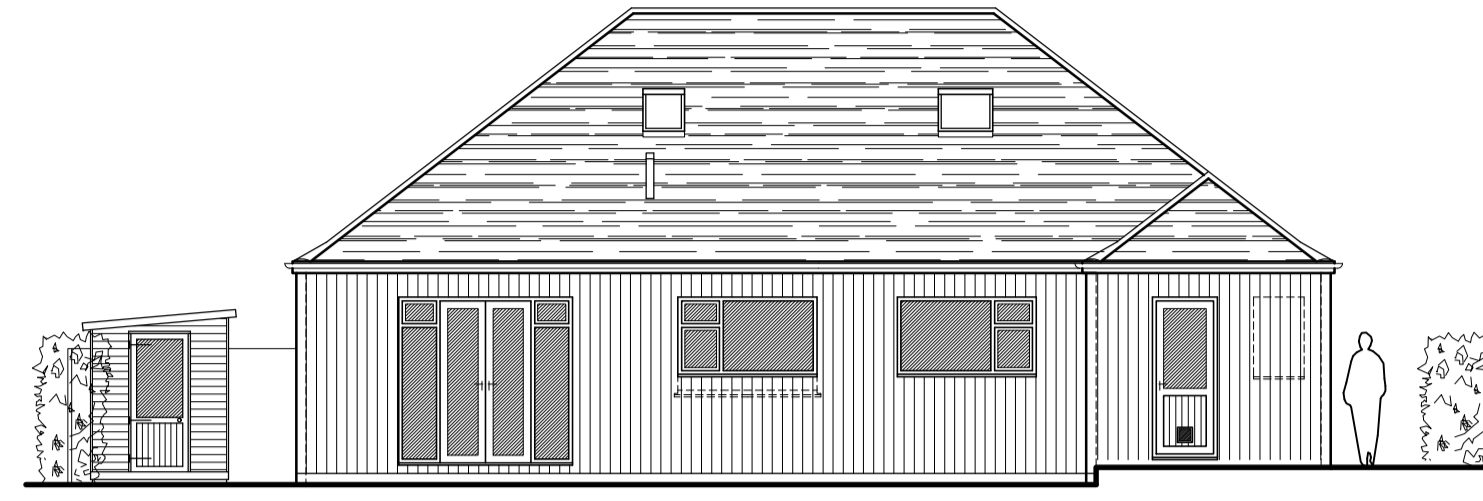
Proposed Materials:-
 Walls - Clad walls with vertical western red cedar
 Roof - Artificial interlocking slate (Redland cambrian or similar) to main roof
 Single ply roof membrane to dormer and porch - mid grey
 Windows - UPVC - Smart KL005 (anthracite grey)
 Doors - Composite front door - (anthracite grey)



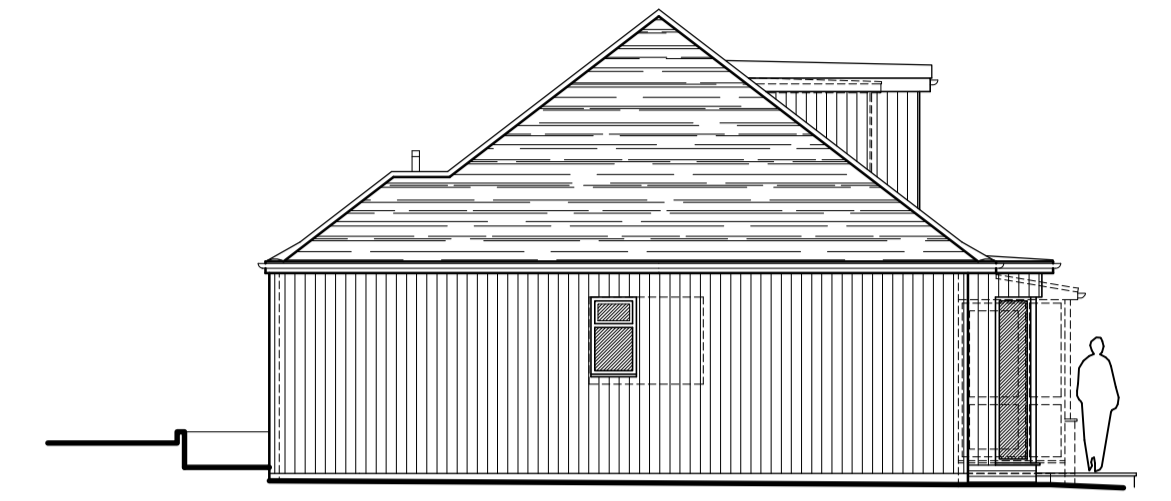
Front (SW) Elevation as Proposed 1:100



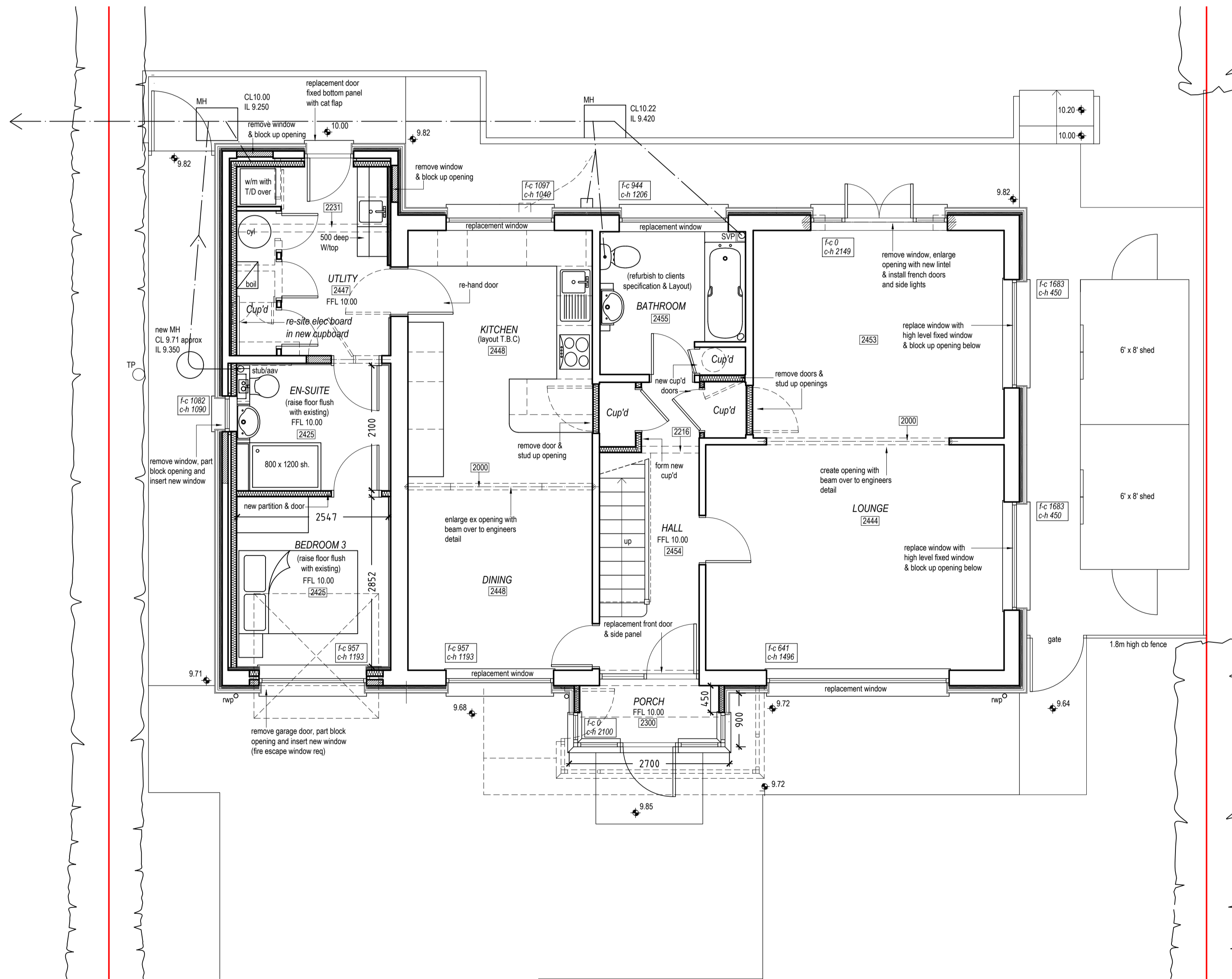
Side (NW) Elevation as Proposed 1:100



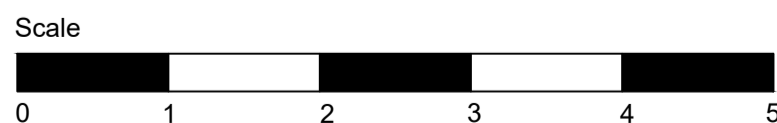
Rear (NE) Elevation as Proposed 1:100



Side (SE) Elevation as Proposed 1:100

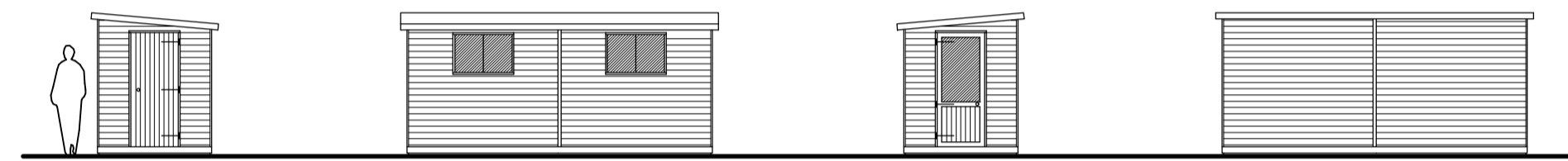


GROUND FLOOR / SITE PLAN AS PROPOSED 1:50



Nb: All levels shown are approx +
 Drain runs are based on part survey and part assumption (to be checked and verified on site)
 [2454] Ceiling hts
 Walls shown removed subject to confirmation by structural engineer
 Existing internal linings to external walls to be removed, walls insulated and dry lined
 External walls to be insulated externally, battened, counter battened and finished with natural vertical cladding
 Existing timber ground floors to be insulated
 Position of first floor radiators to be agreed with client

Shed Materials:-
 Timber clad MOTTISTONE shed by Lushington garden buildings

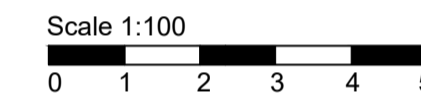


Front (SW)

Side (SE)

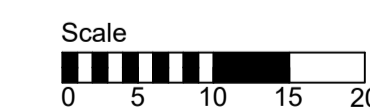
Rear (NE)

Side (NW)



BLOCK PLAN 1:50

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- Notes**
- The Contractor shall be responsible for verifying all dimensions and levels on site before commencing work.
 - Do not scale the drawing.
 - Any discrepancies are to be reported to Building Design Services before proceeding with the work.
 - All new floor levels shall match existing floor levels unless otherwise stated.
 - Before commencement of internal demolition the contractor shall check that the walls are non load bearing and if in doubt shall contact Building Design Services.
 - Existing Drain Runs are based on part survey and part record drawings. The contractor shall check all existing levels and runs before commencement and report any variations from the drawing to Building Design Services immediately.
 - All specialist details are to be checked and approved by the Local Authority Building Control officer prior to commencement of such works.
 - All excavations are to be checked and approved by the Local Authority Building Control officer / and or the project structural engineer before proceeding with the placement of concrete.
 - All works are to comply with the current building regulations, codes of practices, British standards, CDM regulations and the Party wall act.
 - The copyright of the drawing remains with Building Design Services. No reproduction of information (in part or in whole) without prior permission from Building Design Services is permitted.

Revisions

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 E-mail: enquiries@bds.uk.com

Client
Julia Bery

Project
Proposed internal alterations, enlarged front dormer, replacement porch, external cladding and side shed- at High Timbers, Upper Lane Brightstone, IW PO30 4BA

Drawing Title
Ground Floor plan / Site Plan, elevations, and Block Plan as Proposed

Scale	Date	Drawn
1:50, 1:100, 1:500 @ A1	Nov 2023	pdm

Drawing No.	Revisions
BDS.348 / 300	

PROPOSED