

CONSTRUCTION LOGISTICS PLAN

Compton Business Park

Rev 00

**Surrey Avenue
Camberly
Surrey
GU15 3DX**

Site Mobile Telephone Number's: -

Senior Site Manager	TBC	
Site Manager		
Contracts Manager		

DATE: 22nd May 2023

Stage	By Whom	Signature	Date
Developed	Adrian Harvey		19.10.23
Checked			
Approved			

CONTENTS

Revision Sheet

Introduction

- 1.0 Description of the Project**
 - 1.1 Project Description**
 - 1.2 Site Access**
 - 1.3 Site Logistics**

REVISION SHEET

<u>REVISION</u>	<u>DATE</u>	<u>CHANGES MADE</u>
00	19/10/2023	First Issue

INTRODUCTION

This document represents the Construction Logistics Plan for the Compton Place Business Park Project, and relates to logistics required for the demolition of existing business units at Compton Place and the construction of a new industrial unit with associated car parking/external works.

SITE LOCATION MAP

Initial Site Address (for demolition works) :

Compton Place Business Centre,
Surrey Avenue,
Camberley,
GU15 3DX

Site Address (for new build works) :

Compton Place Business Centre,
Watchmoor Road,
Watchmoor Point Industrial Park,
Camberley,
GU15 3AD



1.0 DESCRIPTION OF THE PROJECT

1.1 PROJECT DESCRIPTION

The project comprises of initial demolition works to remove the existing 2 storey commercial units, along with removal of existing hedgerows and trees to the Watchmoor Road boundary, and the formation of new site access off of Watchmoor Road, within the Industrial Park.

Following these initial enabling works, we will then be constructing a new industrial unit, with associated internal office space, and external goods yard and parking areas.

The industrial unit will be approximately 2000m² overall, and be built with a structural steel frame and clad with a built up steel cladding system.

Project Commencement date:	4 th December 2023
Project Completion Date:	14 th June 2024
Project Duration:	32 weeks
Project Lead in Time:	4 weeks

PRINCIPAL CONTRACTOR

Amiri Construction Ltd

Eagle Point

Little Park Farm Road

Segensworth

Fareham

Hampshire

PO15 5TD

Contact: David Gee (Construction Director)

Telephone: 01489 557700

1.2 **SITE ACCESS**

1.2.1 Site Plan Overview

The below plans shows the two access routes to the site.

The first route is via Surrey Avenue, and will be used for the initial demolition and enabling works, until the new permanent access can be formed from Watchmoor Road, within the industrial estate. This is the existing route that is currently used to access Compton Place Business Park.

The second and main primary route for the new build will be via Watchmoor Point Industrial Park. This will use as our main access route during the build, so as to avoid the need for deliveries to drive through the residential streets.


We will need to occasionally use the Surrey Avenue route during the build, so that specific materials can be dropped to the rear of the site. The existing Surrey Avenue access gateway will be permanently blocked off during the final stages of the build.



LEGEND	
	INITIAL SITE ACCESS
	MAIN WORKS ACCESS
	SITE OFFICES / WELFARE
	MATERIAL STORAGE AREAS
	SOLID HOARDING
	HERAS FENCING
	WASTE SEGREGATION
	SITE MUSTER POINT
	1ST AID POINT
	PROJECT INFO BOARD
	ACCESS POINT/GATE
	FIRE POINT
	SITE PARKING
	CONTRACTORS SITE AREA
	ACCESS ROAD ROUTE
	BUILDING OUTLINE
	EXTERNAL WORKS PHASE
	DEVELOPMENT BY OTHERS
	SITE PEDESTRIAN ROUTES
	PLANT WARNING SIGNAGE
	SITE PERIMETER SIGNAGE
	CCS SIGNAGE
	COMPOUND AREA
	SITE TRAFFIC ROUTES


	Client: Legal & General Investment	Project: Compton Place, Camberley	Drawing Title: Site Plan Access Overview	Drawing Number - SK Date: Aug '23 Drawn By: AMH
---	--	---	--	--



	Client: Legal & General Investment	Project: Compton Place, Camberley	Drawing Title: Overview Site Traffic Plan	Drawing Number - SK Date: Aug '23 Drawn By: AMH
---	--	---	---	--



LEGEND	
	SITE DELIVERY ACCESS
	SITE DELIVERY EXIT ROUTE
	SITE OFFICES / WELFARE
	MATERIAL STORAGE AREAS
	SOLID HOARDING
	HERAS FENCING
	WASTE SEGREGATION
	SITE MUSTER POINT
	1ST AID POINT
	PROJECT INFO BOARD
	ACCESS POINT/GATE
	FIRE POINT
	SITE PARKING
	CONTRACTORS SITE AREA
	ACCESS ROAD ROUTE
	BUILDING OUTLINE
	EXTERNAL WORKS PHASE
	DEVELOPMENT BY OTHERS
	SITE PEDESTRIAN ROUTES
	PLANT WARNING SIGNAGE
	SITE PERIMETER SIGNAGE
	CCS SIGNAGE
	COMPOUND AREA
	SITE TRAFFIC ROUTES

	Client: Legal & General Investment	Project: Compton Place, Camberley	Drawing Title: Overview Site Traffic Plan2	Drawing Number – SK Date: Aug '23 Drawn By: AMH
---	--	---	--	--

1.3 SITE LOGISTICS

1.3.1 Site Works

The below plan indicates our proposed site setup. Our principle site entrance will be via the Watchmoor Industrial Estate, along Watchmoor Road.

Our setup will consist of double stacked site cabin, meeting room / canteen, drying room, with a separate Wc unit (with both male & female toilets). We will also have space for a site secure container.

Our site will be secured with open mesh heras fencing along the north and east boundaries (where the hedging once was). The south and west boundaries have existing 2m high solid walls and fencing to provide security.

Open mesh heras will be used to ensure we maintain clear line of site for vehicles entering and exiting the site.

Gates will be set in the fencing to the east side, to allow vehicles to enter the site for delivering materials, then exit via a separate gate, enabling a one-way onsite main delivery flow.

Vehicles will either self-unload onsite, or be unloaded via a site telehandler, crane or manually depending on the scope of delivery.

Site materials will be offloaded to the main area, and stored to the perimeter, or distributed onsite to suit the works sequence.

There will be a further set of gates to access our dedicated onsite parking area and site welfare area.

There will be space onsite for all construction personnel to park. There will be no parking on the public highway.

Clear Amiri branded signage will be set up showing the access route to the site, through the Watchmoor Industrial Estate. Our logistics plan will be issued to all subcontractor and suppliers, to ensure that the prescribed access route is followed to the site, and they avoid driving through the neighbouring residential areas.

The site works will be sequenced so that there is always a dedicated clean hardstanding for delivery vehicles to drive onto. We will however have a high pressure water jetwash setup so that if necessary we can wash any mud/debris off the wheels before exiting out onto the main road. No debris will be permitted on the public roads.

All delivery vehicles will be marshalled into the specific site delivery area and the site entrance gates will be closed to prevent unauthorised access by any members of the public and to create a safety barrier between the surrounding buildings and properties and site activities.

No vehicle will be permitted to reverse anywhere on or near the site without a banksman.

Our site will operate from 0730 to 1730 Monday to Friday, with occasional works on a Saturday from 0800 to 1300.

