

PLANNING APPLICATION - CONSERVATION AREA

9 circus place

Design Statement

SoMA | Nov 2023 | 0064-A-03-PA-DC-ZZ-0010

9 Circus Place

Glasgow, Dennistoun, G31 2JJ

summary

This application document aims to set out the principals for the proposed internal and external alterations to the residential property 9 Circus Place, Dennistoun, Glasgow, G31 2JJ.

The home is accessed from the street onto the ground floor (mid level) which currently provides a lounge, kitchen, dining area and shower room. The upper level has a family bathroom, bedrooms, and an additional family space currently utilised as a 'music room'. The lower level must be accessed to reach the garden. This is only accessible via a narrow internal stair, which feels uncomfortable due to tight headroom, and the lack of a constant handrail. The lower rooms have a basement store, a garden room, a home studio, a store, and a water-closet. Daily living currently occupies the ground floor only, as the route to the garden prohibits ease of access to the garden.

The primary purpose of the works aim to improve the physical and visual connection to the rear garden space, whilst improving the accommodation within the lower ground level.

This would be achieved by relocating the kitchen to the lower ground, providing a clear connection between the kitchen / dining and the garden itself. The existing kitchen on the ground floor would be repurposed as the music room, and with a new stair and void opening, would provide a double height space, connecting family activities such as music, dining, cooking, and enjoying the connection to external space.



* location plan | Scale 1:1250 | 9 Circus Place | G31 2JJ



• First Issue: 03rd November 2023



* 9 Circus Place | street front



* 9 Circus Place | rear facade



* 9 Circus Place | area of proposed external alteration

9 Circus Place

9 Circus place is a three storey townhouse [plus attic] terraced tenement block, located within the Dennistoun Conservation Area.

In 1854 Alexander Dennistoun commissioned the eminent local architect and Glasgow Councillor, James Salmon to prepare a feuing plan for the subdivision of the site which amounted to around 200 acres (80.94 hectares). Salmon's grandiose plan aimed to provide elegant terraces, cottages and villas located within a pleasant and carefully safeguarded semi-rural environment and all at a "moderate rent and price". Building commenced in the 1860s although it bore little relationship to Salmon's original plan and was on a much-reduced scale.

The present-day Dennistoun Conservation Area is made up of that surviving fragment of Alexander Dennistoun's Victorian dream. The street names of the area pay tribute to the former estate names, the individual families who occupied them and to Dennistoun's own family.

A Conservation Area is defined as "an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance". There are listed buildings within this area, however the property at 9 Circus Place holds no listed status.

In a Conservation Area it is both the buildings and the spaces between them that are of architectural or historic interest. Planning control is therefore directed at maintaining the integrity of the entire area and enhancing its special character. Conservation Area status does not mean that new development is unacceptable, but care must be taken to ensure that the new development will not harm the character or appearance of the area.

The design decision making has been informed by a clear understanding of the building's significance with particular attention given to those areas where interventions are proposed. To promote a more successful use of the building some limited and careful change is required.

The area highlighted in red (to the left of this text) donates the area to which external alterations to the building fabric are suggested. On the lower level to the rear of the property there are 4 openings; a white timber sash and case window, a white uPVC external door leading from a garden room, a small white uPVC window onto a service store, and a wider white timber sash and case window within a room which is currently used as a studio space.

The application seeks approval to combine three of these openings, namely the smaller of the timber sash and case with the external door and the small service window. This would create one new clear and purposeful opening, onto a reconfigured space which looks to relocate the kitchen from the ground floor, to that of the lower garden level.



* existing ground floor hallway | no view of garden



* stair to lower level | unsuitable access to garden level



* existing lower level studio | proposed area for new stair



* existing garden access | no connection to living spaces

existing condition

The property at 9 Circus Place is in good condition overall; with many of the original features and ornate decoration remaining, insofar as; the compartmentised general arrangement; covings; mouldings; architraves and skirtings. The lower level has no ornate features.

- access to the dwelling from the street brings you into a spacious entrance hallway; with adjacent lounge, dining room beyond, and kitchen to the right hand side. The image here shows the extent of daylight present within the dining room beyond, which could be opened up to bring natural daylight into the entrance hall.
- access the garden from the entrance level is via an internal stair, tucked beneath the main stair of the dwelling. This has a low combed ceiling, and insufficient handrails to allow for ease of access from the main level to that of the lower garden level. The result of which, is that the residing family do not commonly access the lower level or the garden for day to day family living.
- the current homeowner uses one of the lower rooms as an artists studio, as the natural light from this elevation makes this a beautiful space to occupy. The intention would be for this room to be the base of the new stair, connecting the garden level with that of the main entrance level.
- to access the garden from the family living room, kitchen or dining space - family members must travel through the first floor hallway, down a narrow stair, into an internal circulation space, and into a low ceiling 'garden room' before exiting through a narrow external door. It can be clearly seen from this photograph, that the garden is flooded with natural daylight, however this does not reach the interior of the home.

design intent

- Increased natural daylighting.
- Improved connection between the kitchen and garden.
- Enhanced family living spaces, which currently are isolated from each other.

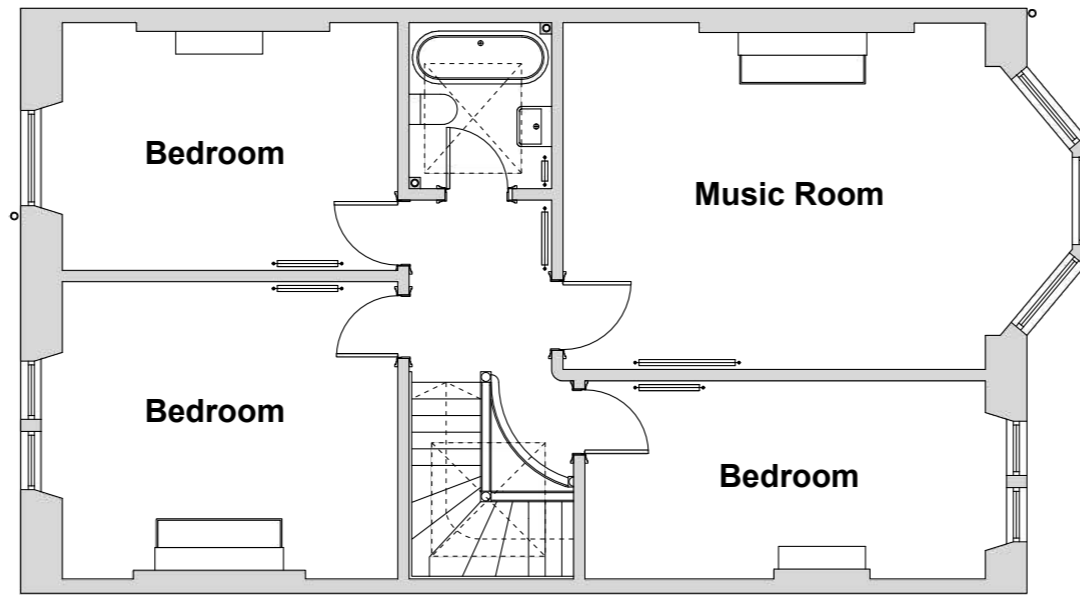
Internal alterations include the relocation of an internal stair. The existing stair between the ground floor and the lower level is within the remit for stair geometry for the current building regulations, however this is steep and does not have provide a continuous handrail.

A new stair is being proposed to the rear of the house, which shall be constructed in generous proportions, with a view to the garden, natural daylight, and enhance the connection between the family social spaces of this townhouse.

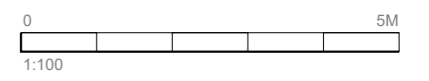
This stair sits within a double height volume, introducing a clear view of the garden from two levels of the home, increasing daylight gains, and interconnected living areas.



* 9 Circus Place | Section cut through new stair / music room / diner / kitchen | proposed family space

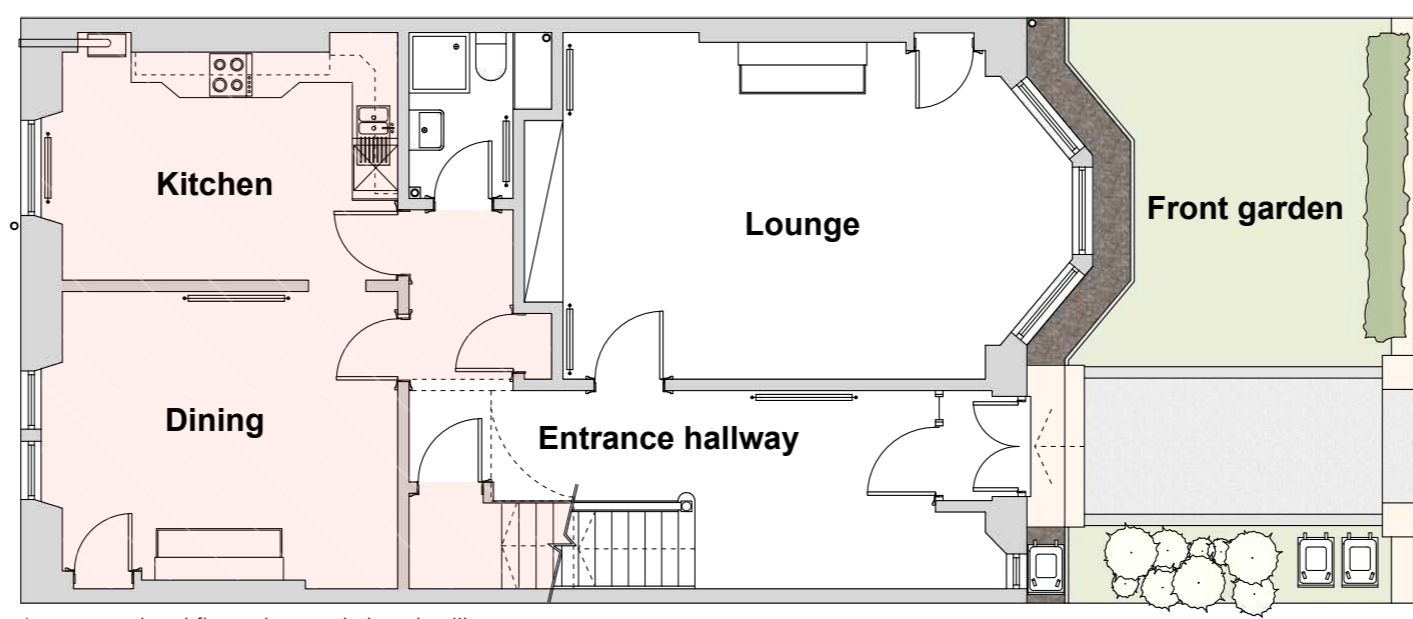


existing arrangement

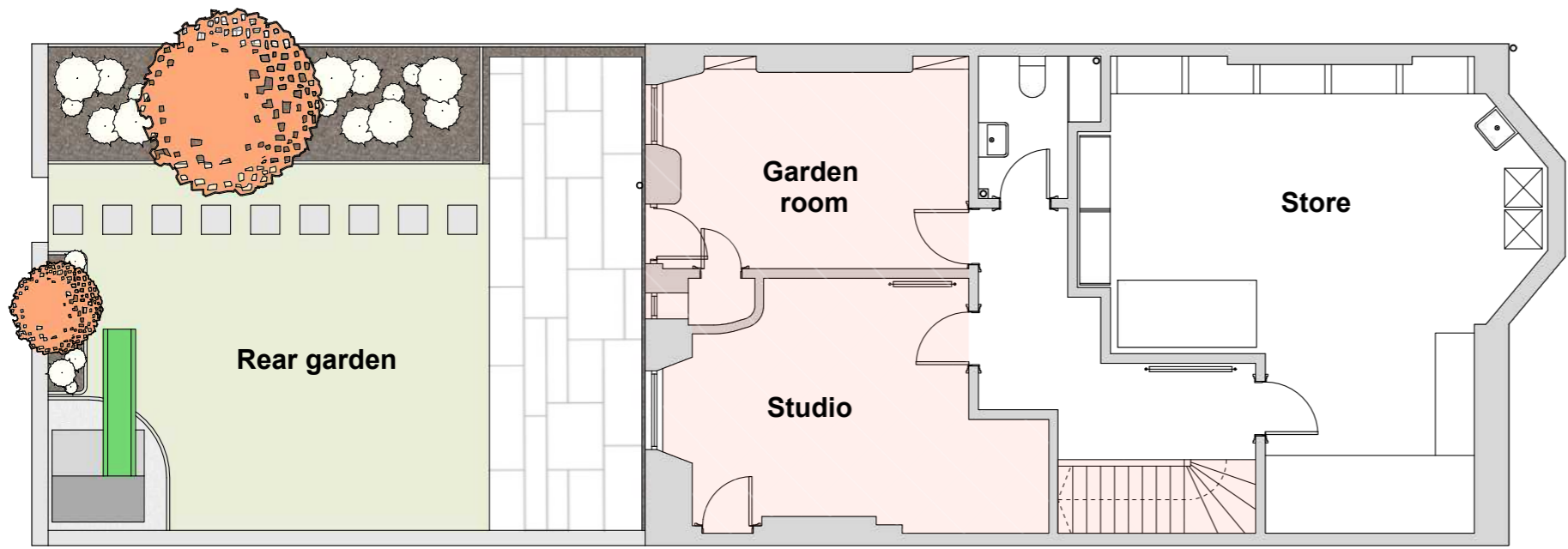


The existing home is well appointed, which 'on paper' is a four bedroom dwelling with a toilet, shower room, or bathroom present on every level. The lower level onto the garden has a number of cellular spaces, which are not comfortably utilised for modern family living. The garden is a wonderful bright space, however is not easily accessed for the residents children, or elderly family members.


* upper level floor plan - existing dwelling

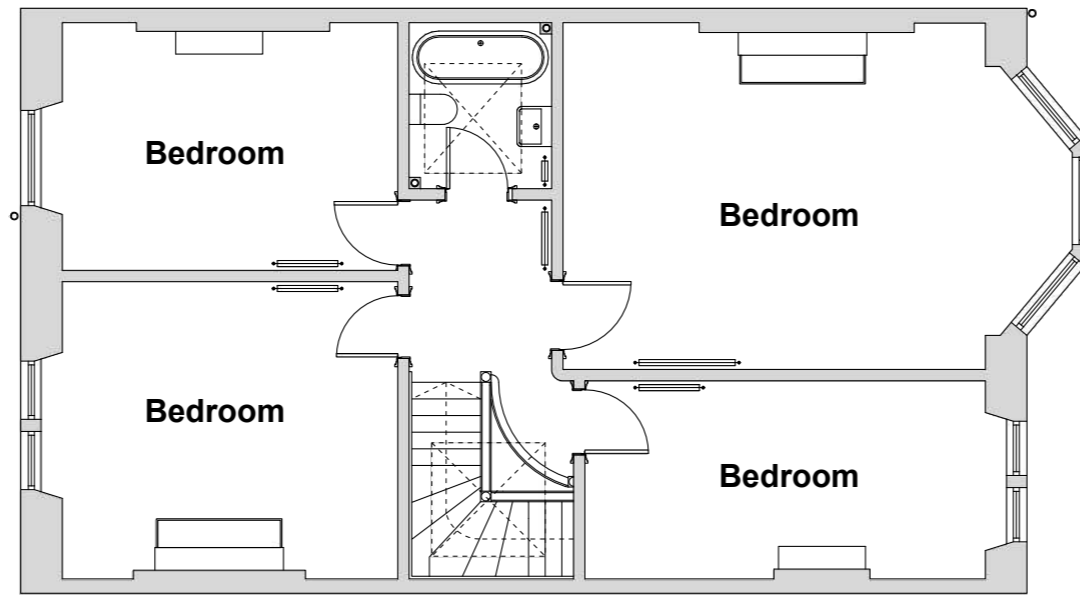


* entrance level floor plan - existing dwelling



* lower floor plan - existing dwelling

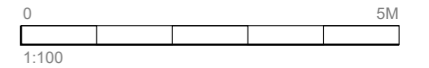
 Proposed area of works



* upper level floor plan - existing dwelling

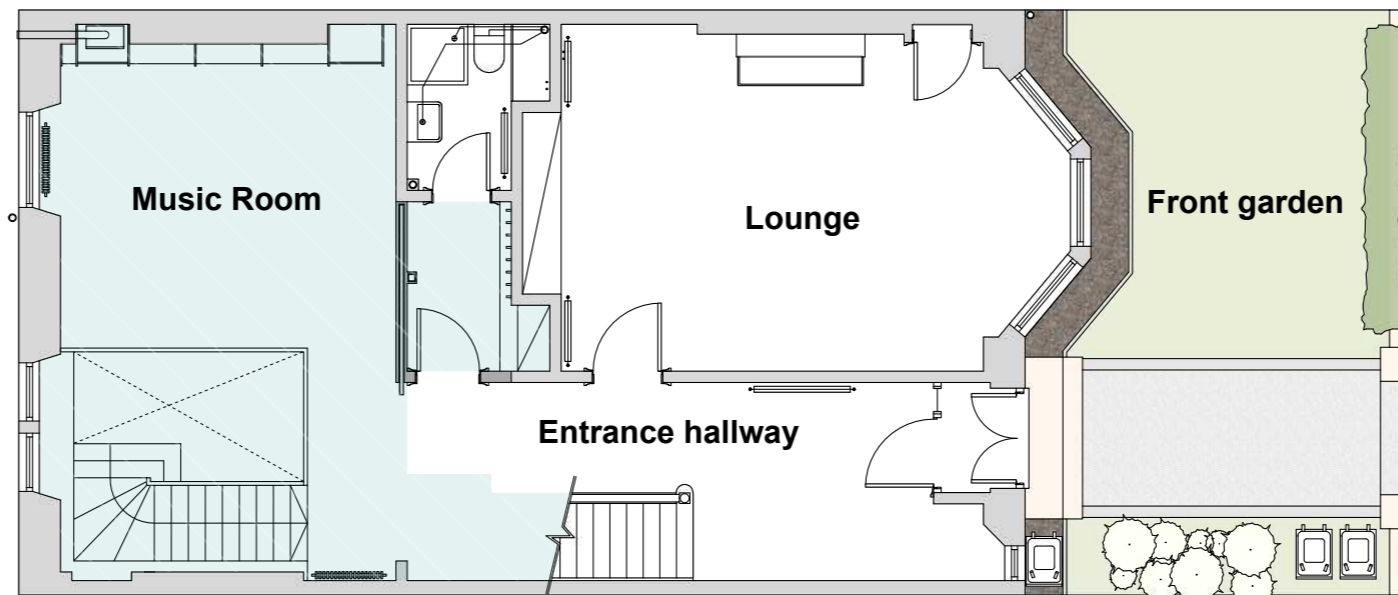


proposed arrangement

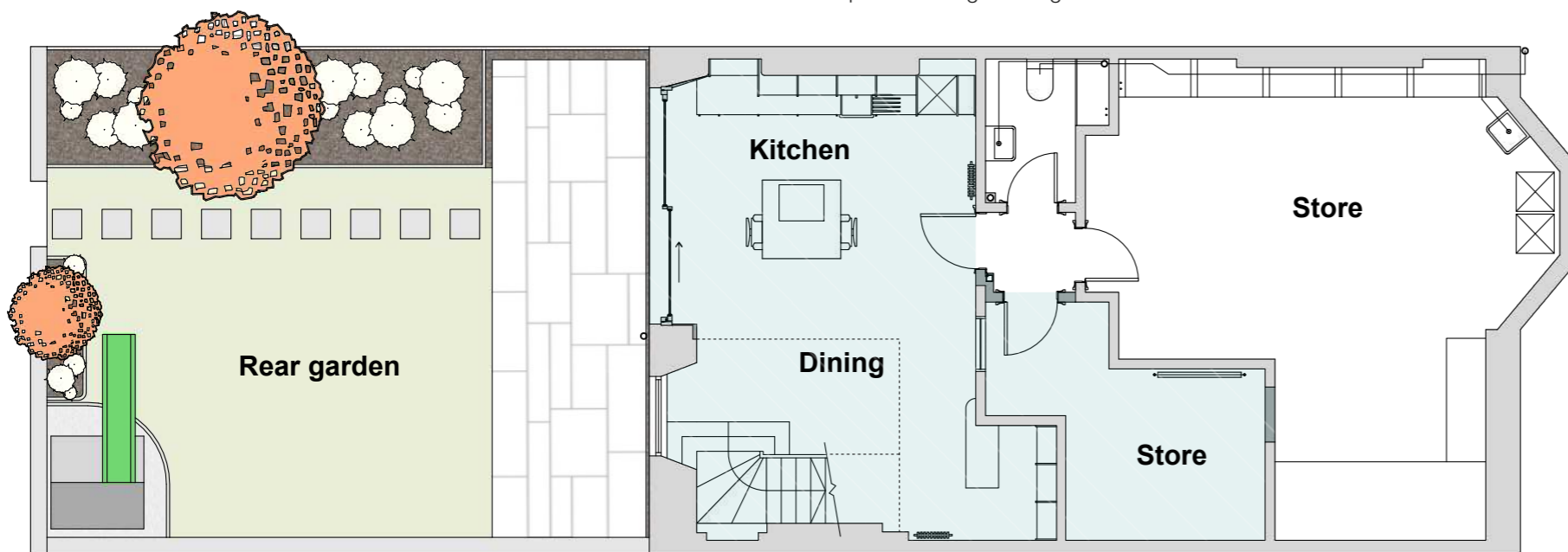


The proposed internal alterations set out to improve family space within the lower level and ground floor of the home. This would look to retain the existing facilities of a toilet, shower room, or bathroom provision to every level. The principal improvements sought would open up the rear of the property, making the most of afternoon and evening daylight from the south to south west aspect of the rear garden.

Moving the kitchen to the garden level, the introduction of a new open stair which sits within a double height void space, and opening up the rooms from party wall to party wall - all strive to provide a fantastic new living space.



* entrance level floor plan - existing dwelling



* lower floor plan - existing dwelling



Proposed area of works

elevations

The rear facades of 3 - 13 Circus Place make up the full block of this townhouse terrace.

- Generally the rear elevation retains its historic pattern with the exception to the roofscapes and the lower garden levels.
- Each dwelling has differing skylights and roof access points, with an assumption that over time a number of these properties have made minor alterations to the roof spaces, potentially introducing attic conversions etc.
- It would appear that no dwelling from 3 - 13 Circus Place, the only dwelling which retains the original sash and cast timber windows is number 9. All other properties have white uPVC windows, double glazed, with varying mullion heights and frame thicknesses.
- Number 13 has made alterations to the typical window proportion of the lower level, by dropping the cill to the floor and introducing a second uPVC external door of a standard height, with top-light and blank panel to one side.
- Number 3 has made extensive alterations to the rear; with the introduction of a two storey extension with grey roughcast render finish, and flat felt roof. The new windows within this extension are also all white uPVC.

Given the multitude of changes over the time, the proposed alteration to number 9 remains 'minor' in comparison, and sets out to remain respectful of the historic built fabric.



* Existing dwelling elevation | rear facade | west aspect | Scale 1:200



* Proposed dwelling elevation | rear facade | west aspect | Scale 1:200

- Historic alterations
- Proposed application changes

document end
