

Proposed structural steelwork to be installed within cloakroom, down to foundation level. Located here to avoid interaction with existing rear room plaster cornice.

New flooring to match in with existing dwelling - i.e. existing floor joists extended with traditional oak flooring sourced and installed

Front garden

Store

New Store

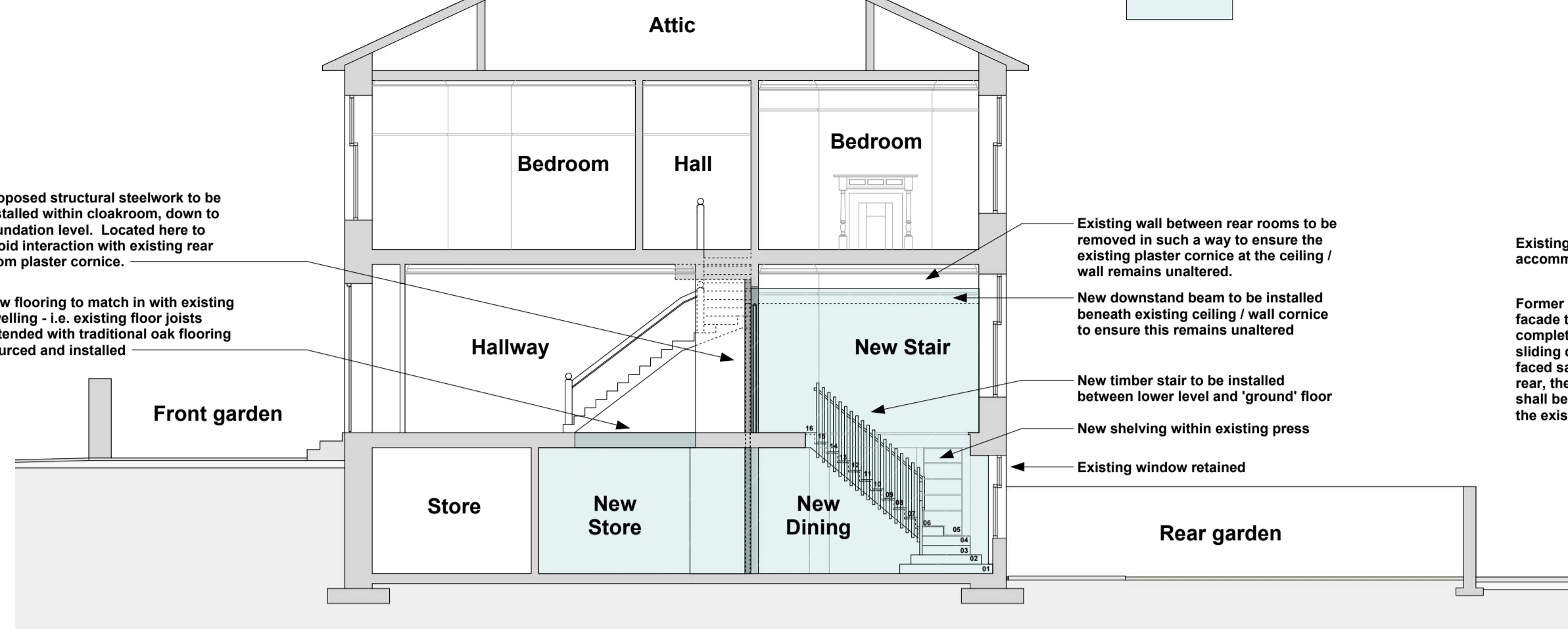
New Dining

Rear garden

01 Proposed Dwelling Section A_A

Scale: 1:100

Proposed area of works



Existing wall between rear rooms to be removed in such a way to ensure the existing plaster cornice at the ceiling / wall remains unaltered.

New downstand beam to be installed beneath existing ceiling / wall cornice to ensure this remains unaltered.

New timber stair to be installed between lower level and 'ground' floor

New shelving within existing press

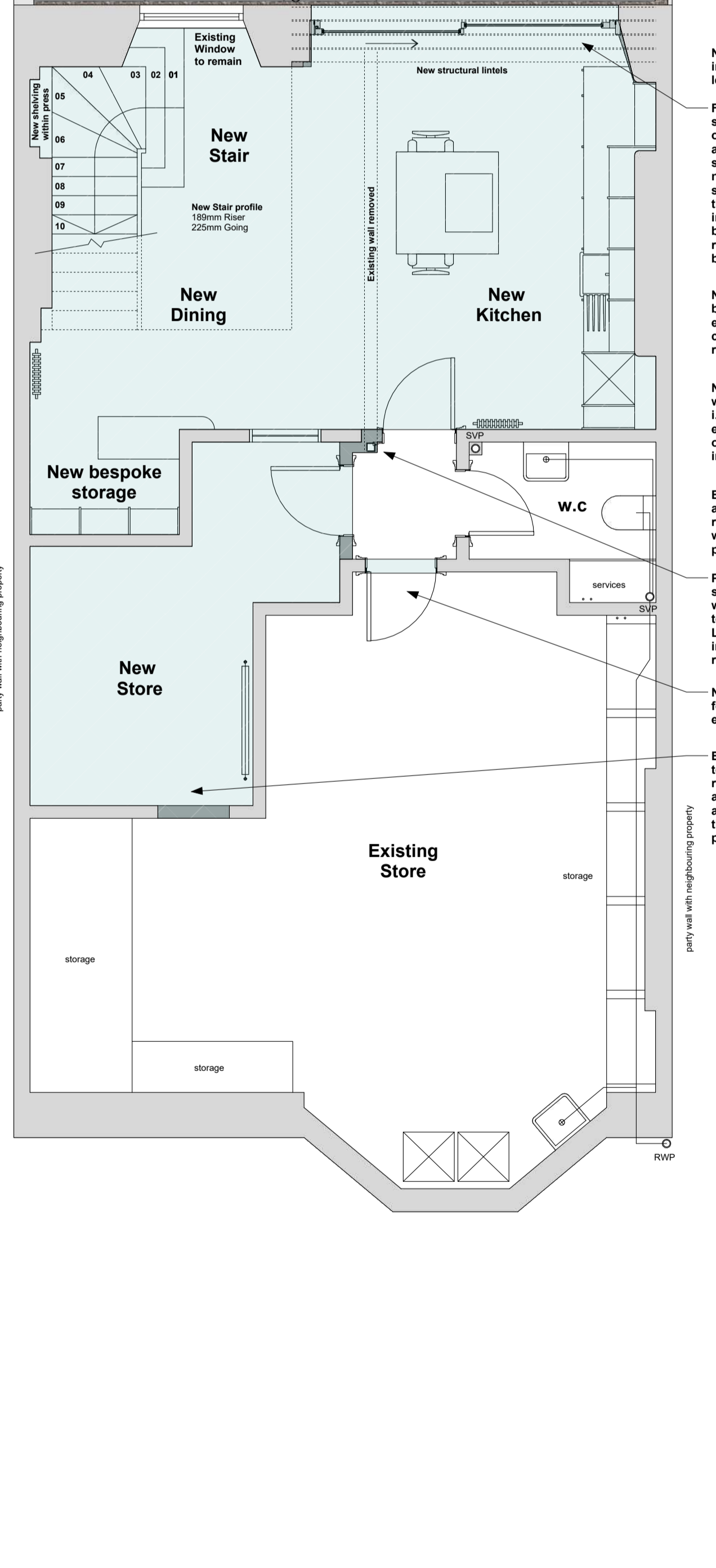
Existing window retained

Existing RWP moved to accommodate new opening

Former 3 openings within sandstone facade to be opened into one complete aperture with new timber sliding doors (glazed) - note no fair faced sandstone lintels exist to the rear, therefore the increased opening shall be treated with care and retain the existing building character

02 Proposed Rear Elevation

Scale: 1:100



New timber stair to be installed between lower level and 'ground' floor

Former 3 openings within sandstone facade to be opened into one complete aperture with new timber sliding doors (glazed) - note no fair faced sandstone lintels exist to the rear, therefore the increased opening shall be treated with care and retain the existing building character

New downstand beam to be installed beneath existing ceiling / wall cornice to ensure this remains unaltered

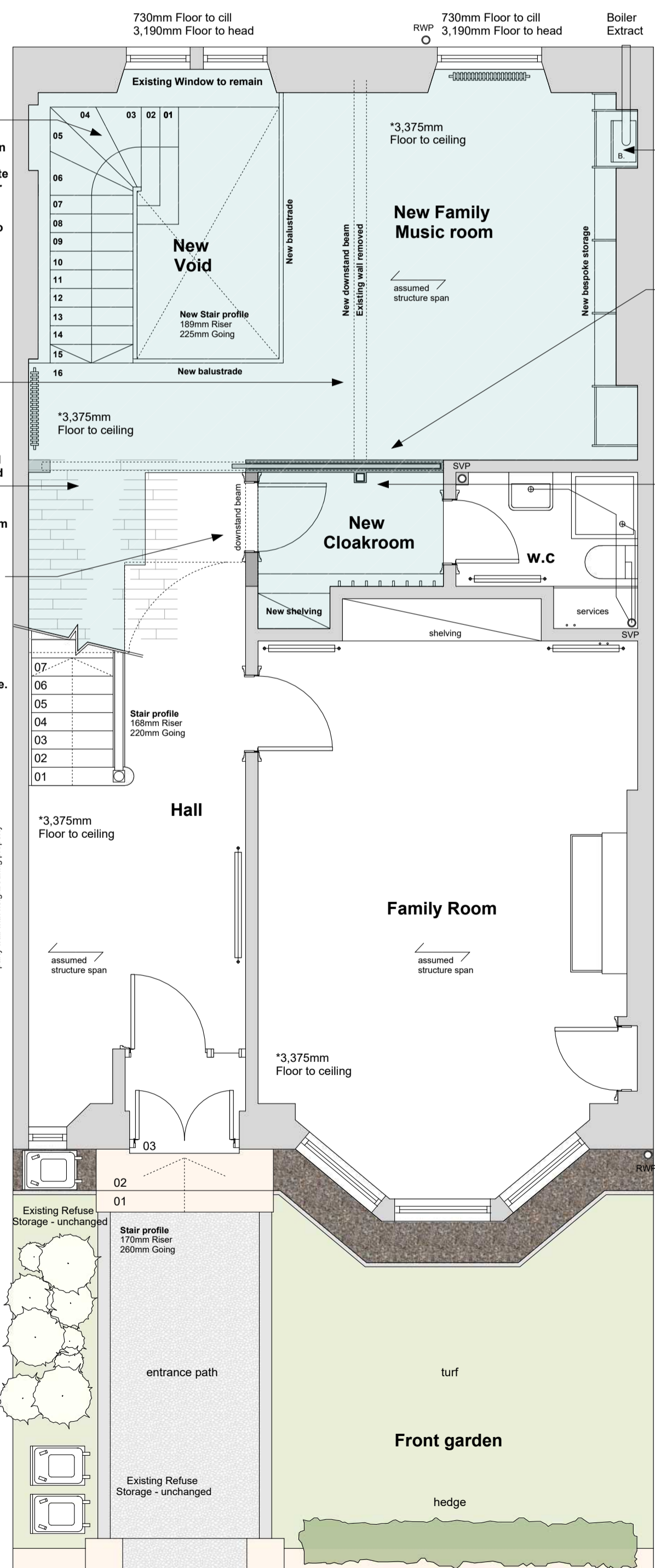
New flooring to match in with existing dwelling - i.e. existing floor joists extended with traditional oak flooring sourced and installed

Existing downstand beam at underside of stair remains, with new light-weight timber infill partition and door below

Proposed structural steelwork to be installed within cloakroom, down to foundation level. Located here to avoid interaction with existing rear room plaster cornice.

New doorway to be formed to access the existing store room

Existing door into store to be removed and repurposed (as note above), with existing aperture infilled with timber partition and plasterboard finishes



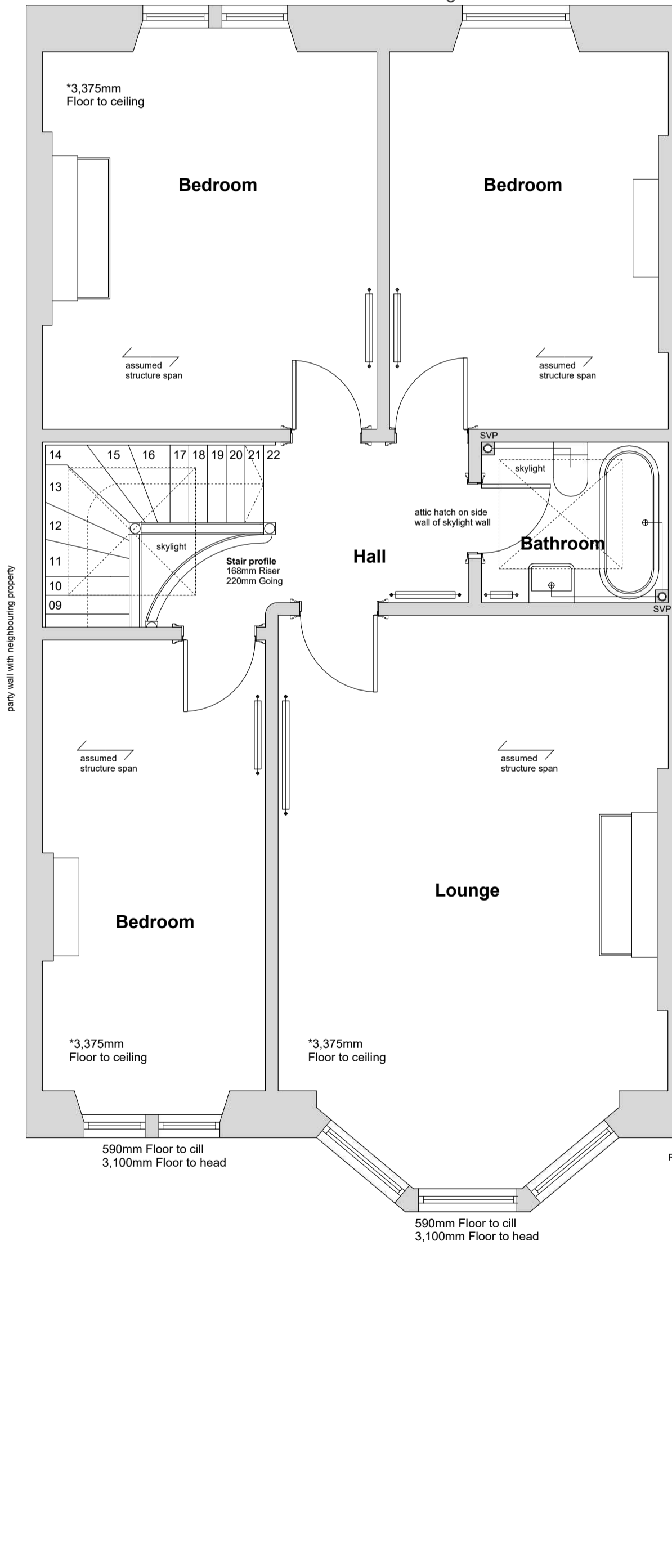
Existing boiler to remain, with existing boiler flue extract remaining

Existing wall to be removed below the line of the new downstand beam, to allow for a sliding door mechanism to be installed, allowing for the rear of the home to be closed off as required. This is to be constructed in such a way to ensure the existing plaster cornice at the ceiling / wall remains unaltered.

Proposed structural steelwork to be installed within cloakroom, down to foundation level. Located here to avoid interaction with existing rear room plaster cornice.

04 Proposed Ground Level (front garden)

Scale: 1:50



05 Proposed Upper Level

Scale: 1:50

03 Proposed Lower Level (rear garden)

Scale: 1:50

9 Circus Place | Dennistoun | Glasgow | G31 2JJ

Development / Alterations within a Conservation Area

Reference: Dennistoun: Conservation Area Appraisal (approved 9 June 2005)

Section 4.2.4 Materials

"Use of traditional materials of quality such as sandstone, slate, timber windows and doors and a range of cast-iron features make a valuable contribution to the quality of the conservation area and contribute to its cohesive character."

- The proposed alterations within this application shall retain the aesthetic of the aforementioned material palette, with the use of new timber framed openings within the external fabric, which shall be finished in accordance with the existing façade, i.e. white painted finish externally.

Section 4.3.1 Loss of original architectural detail.

"Original architectural detail makes a defining contribution to the character and appearance of any conservation area. Its retention and repair is therefore an important aspect of the preservation and enhancement of an area. By contrast, the proliferation of inappropriate replacement doors, windows, roof coverings and boundary treatments has to some extent eroded the special character of the Dennistoun Conservation Area."

- The proposal here makes no proposition to lose any of original detailing of this property. The external rear façade lower level, where the proposed sets out the ambition to increase the size of the opening and the connection to the garden; has no dressed stone lintels, no ornate detailing, with the rustication of stonework in this location widespread along the rear façade. There shall be no new external lintels of a contrasting material, the proposal would look to retain the existing sandstone, with new steelwork internally supporting this. i.e. would not be visible from the outside.

Section 6.2.2 Development.

"Minor works such as the removal of chimneys and replacement of traditional windows, doors, and railings with modern styles and materials are evident and can have the cumulative effect of eroding the character of the conservation area."

- The proposal removes one traditional sash and case timber window. Please note that this has clear glazing only, with no stained-glass present. The other elements being removed are an existing small uPVC window into a service store, and a uPVC rear access door. It is the intention to therefore eradicate any uPVC from the building, improving its overall character.

"Subdivision of property involving the creation of additional entrances also requires sympathetic treatment. The City Council, is committed to the preservation of the areas unique character through the application of Built Heritage policies."

- The proposals do not seek to subdivide the existing spaces. The proposals aim to open up the rear of the home to increase the room sizes, and connect the lower garden level to that of the main entrance level. This is being done in such a way that the existing decorative coricing to these rooms shall not be removed, allowing for the dwelling to return to its original layout in the future if desired.

Date	Revision	Project	9 Circus Place
03/11/23	First Issue	Client	Created and McIlroy Building Residence
		Drawing Title	Proposed Layout
		Scale	1:50 / 1:100 @ A1
		Date	November 2023
		Drawing Status	Drawing Rev.
		Planning Application	-
		Drawing Name	0064-A-03-PL-DR-ZZ-0200

SOMA

5/3, The Cornhill Building 34 West George Street Glasgow, G2 1JH

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