

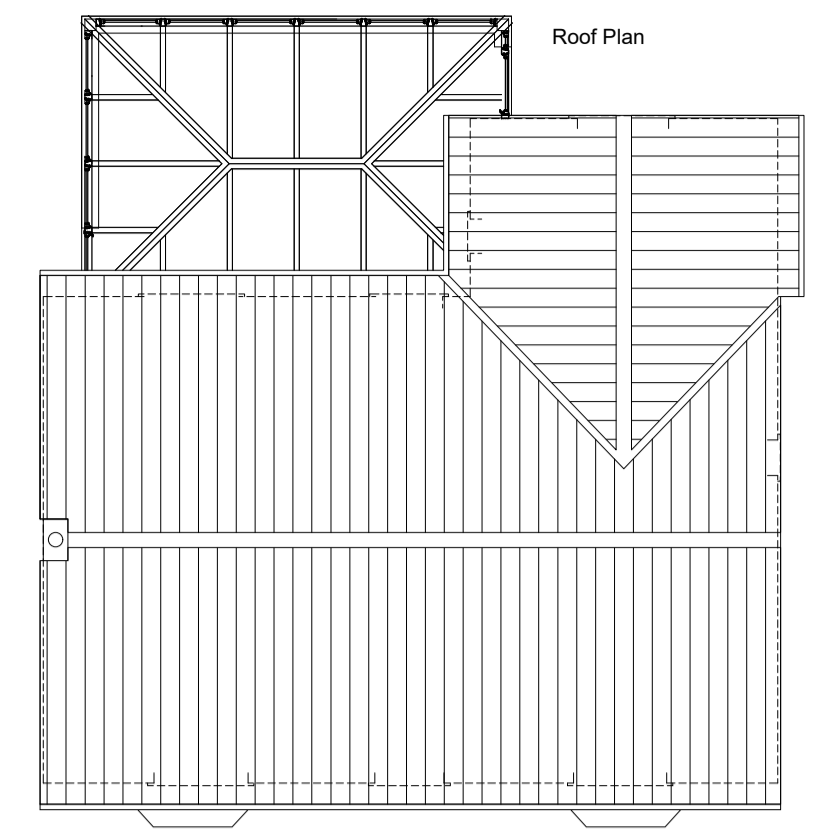


Side West Facing Elevation

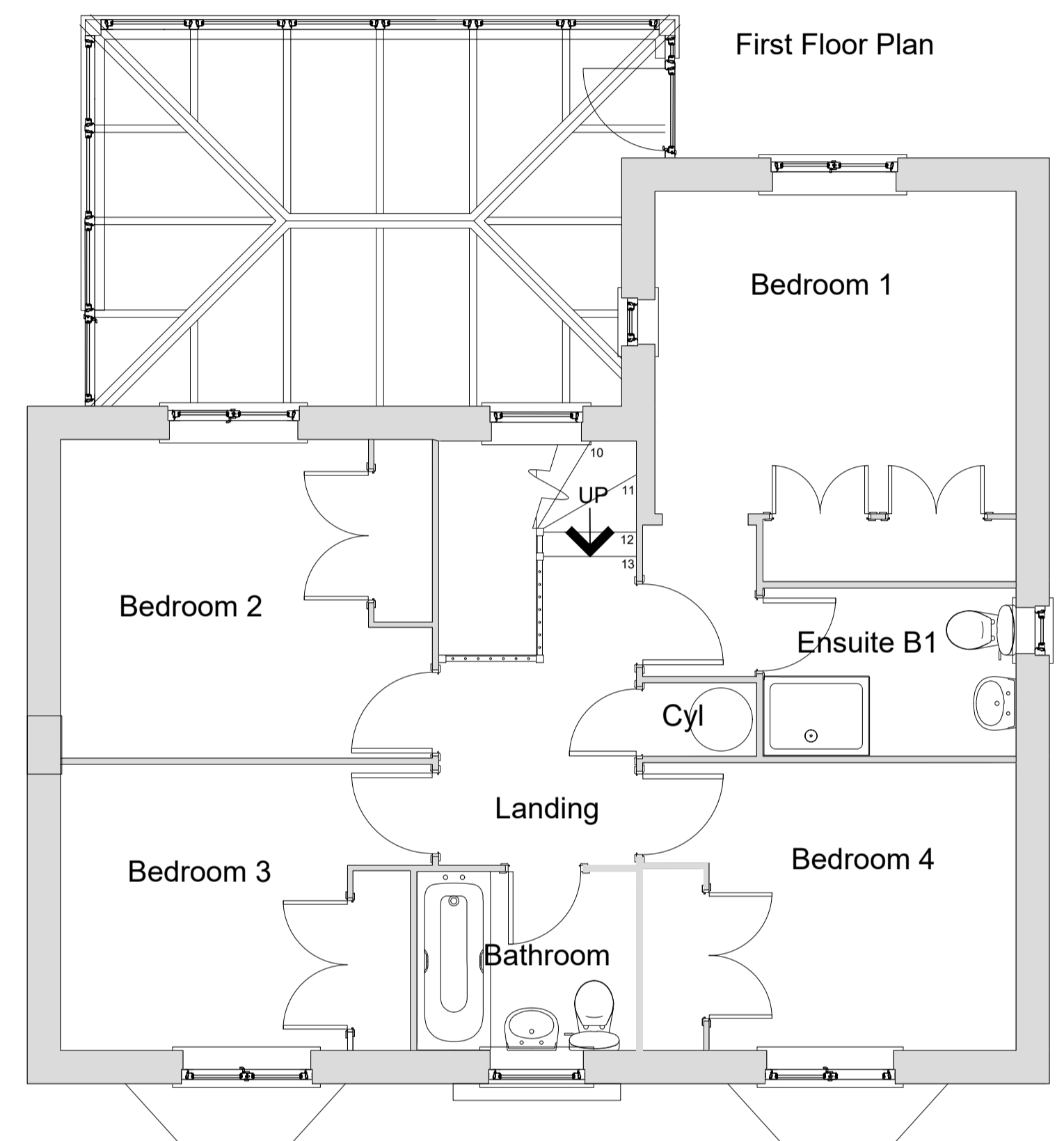


Elevations  
Scale 1:50 @ A1

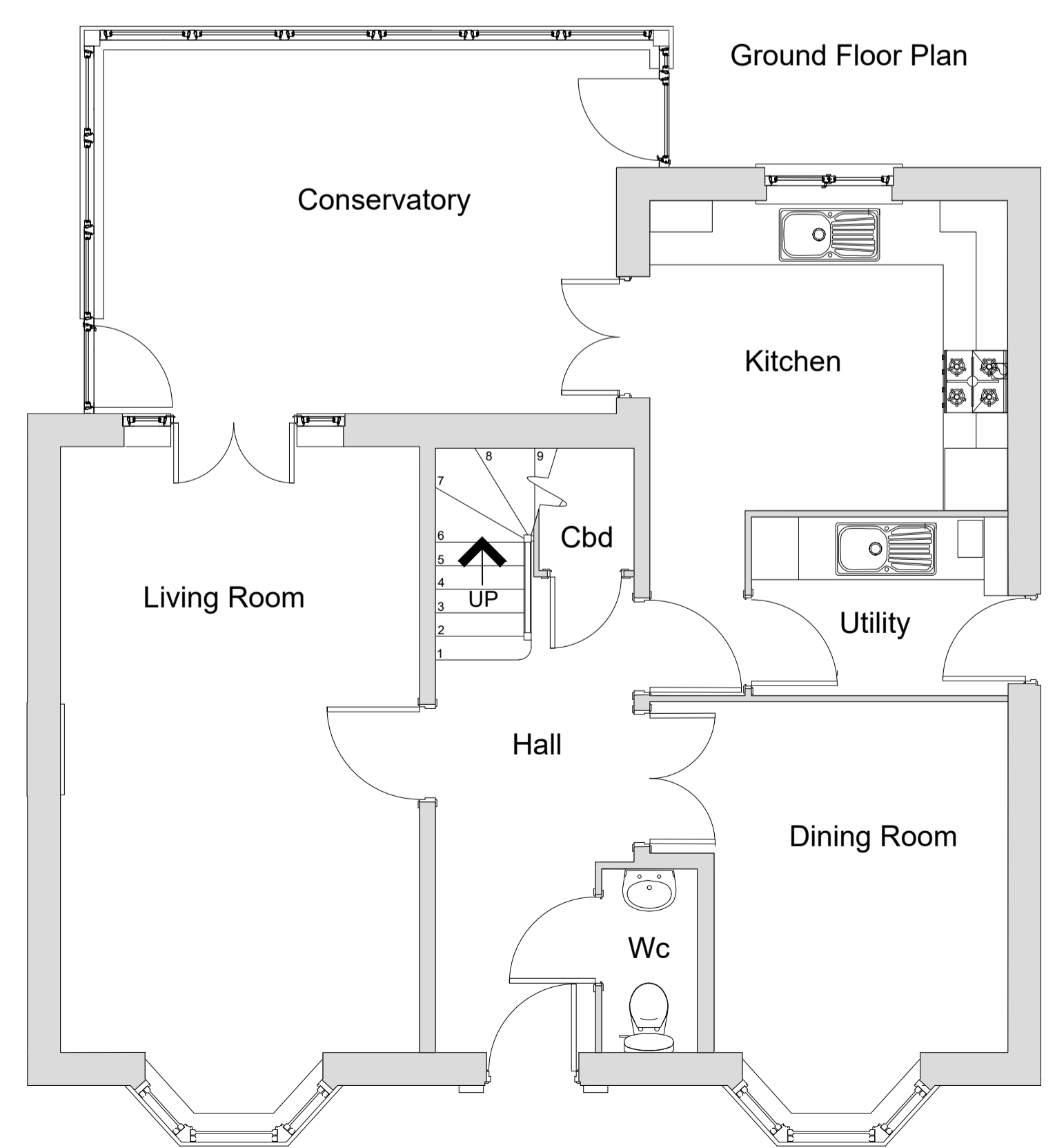
Roof Plan  
Scale 1:100 @ A1



Floor Plans  
Scale 1:50 @ A1



First Floor Plan

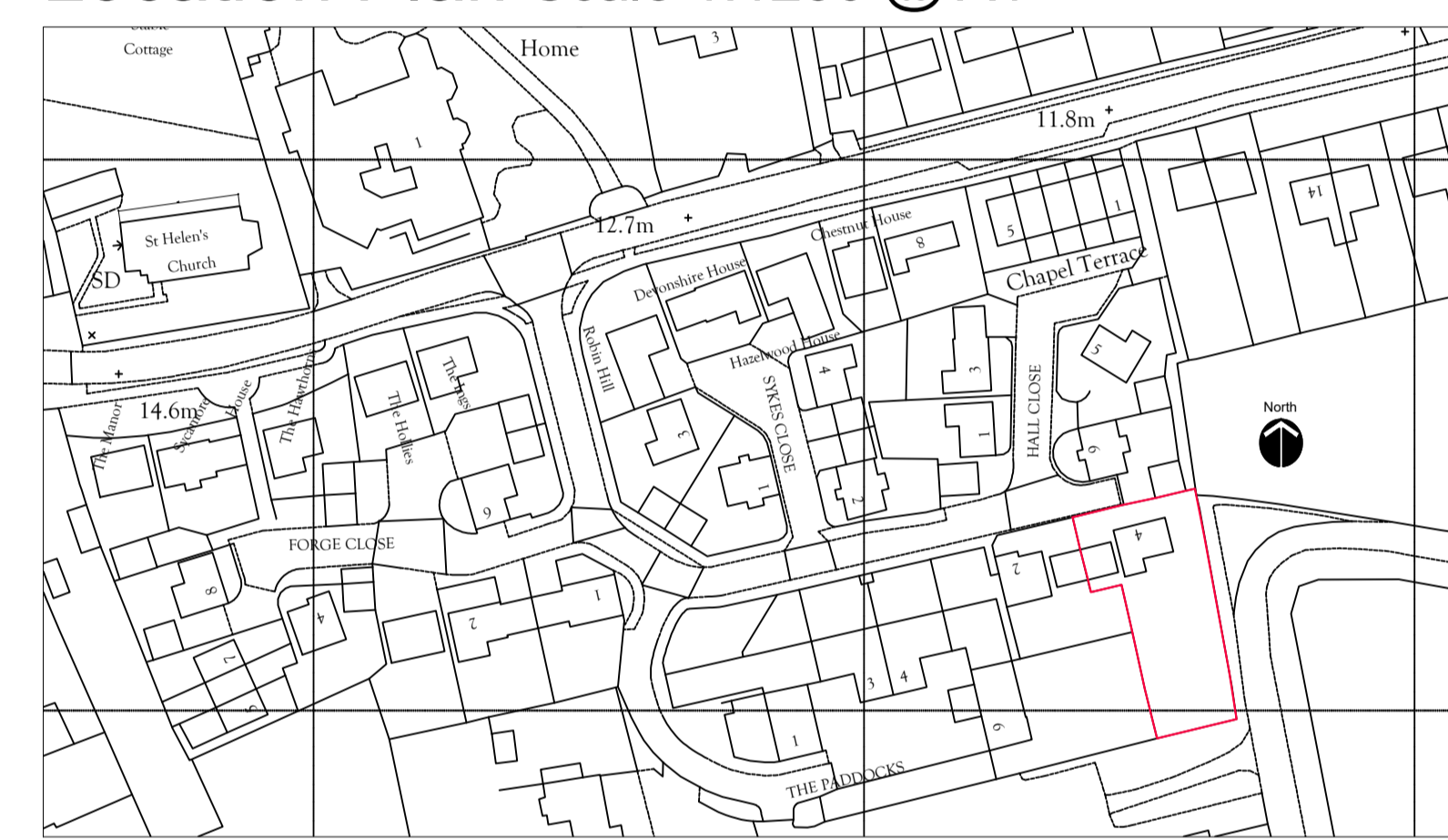


Ground Floor Plan

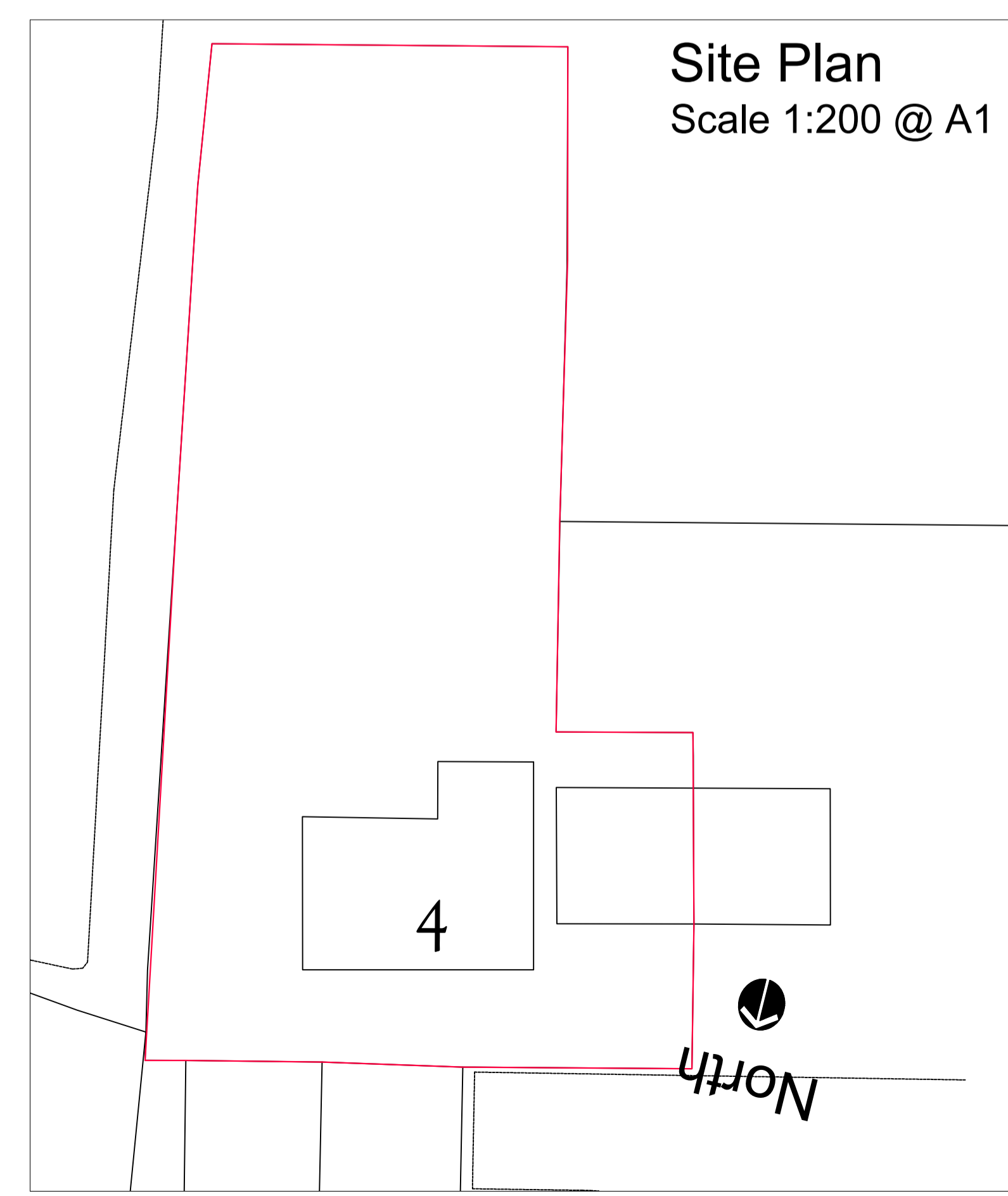
Rear South Facing Elevation



Location Plan Scale 1:1250 @ A1



Site Plan  
Scale 1:200 @ A1



Side East Facing Elevation



PLEASE NOTE:  
Do not scale any measurements from this drawing for construction purposes. All dimensions for fabrication and manufacture must be checked on site. Scheduling of items must be checked to cross-referenced with all information available to avoid mistakes when ordering. Any drawing discrepancies must be reported immediately. This drawing is provided for copyright and must not be copied or reproduced without the written consent of The Planning & Design Associates.

WARNING TO HOUSE PURCHASERS  
PROPERTY DESCRIPTIONS ACT 1991  
Buyers are warned that this is a working drawing and is not intended to be treated as descriptive material describing, in relation to any particular property or development, any of the specified matters provided by order made under the above act. The contents of this drawing may be subject to change at any time and alterations and variations can occur during the progress of the work without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Nor do the contents of this drawing constitute a contract, part of a contract or warranty.

THE PARTY WALL ACT 1996  
The Party Wall Act does not affect any requirement for Planning Permission or Building Regulation Approval for any work undertaken. Likewise, having Planning Permission and/or Building Regulation Approval does not exempt the requirements made for the Party Wall Act. The Party Wall Act 1996 gives you rights and responsibilities whenever the side of the 'wall' you are on i.e. whether you are planning to do work on a relevant structure or if your neighbour is.

The Party Wall Act comes into effect if someone is planning to do work on a relevant structure, for the purposes of the Act 'party wall' does not just mean the wall between two semi-detached properties, it covers:

- \* A wall forming part of only one building but which is on the boundary line between two (or more) properties.
- \* A wall which is common to two (or more) properties, this includes where someone built a wall and a neighbour subsequently built something leaning up to it.
- \* A garden wall, where the wall is outside the boundary line for both up against it and is used to separate the properties but is not part of any building.
- \* Fences and railings of like on.
- \* Excavations next to a neighbouring property.

As with all work affecting neighbours, it is always better to reach a friendly agreement rather than resort to any law. Even where the work requires a notice to be served, it is better to informally discuss the intended work, consider the neighbour's concerns, and attend your claim if appropriate before serving the notice. If there is any doubt please consult Planning & Design Associates or a party wall surveyor.

**The Planning & Design Associates**  
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Client	Mr and Mrs P Abell 4 Hall Close, Wheldrake, York YO19 6GB		
Project	Extensions and Alterations to Dwelling 4 Hall Close, Wheldrake, York YO19 6GB		
Drawing	Existing Plans and Elevations, Location and Site Plans		
Date	July 2020	Drawn	sd
Scale	1:50, 1:100, 1:1250 @ A1	Rev	
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