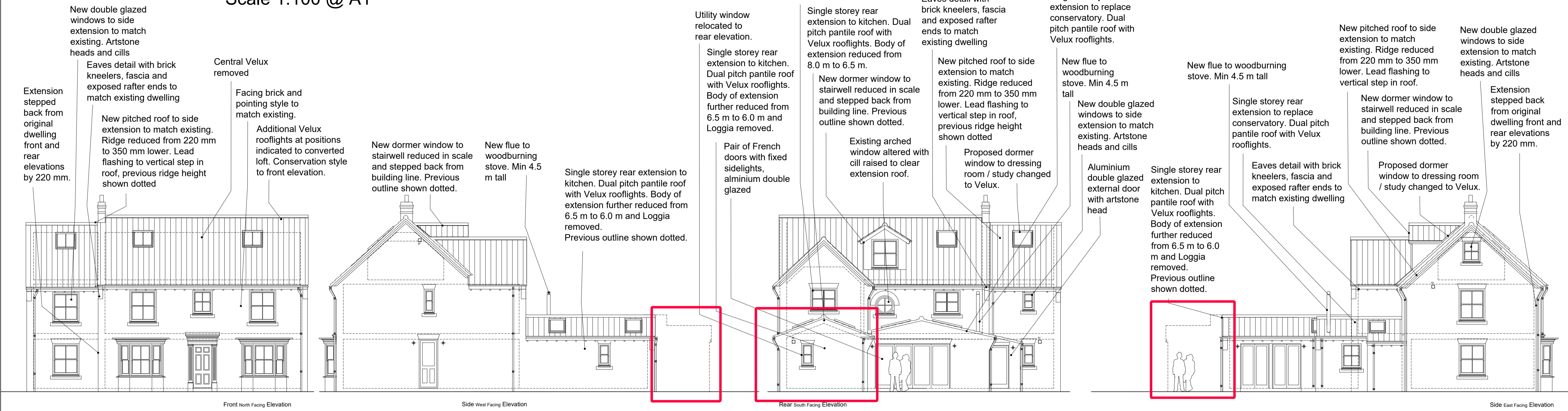


Proposed Revised Elevations

Scale 1:100 @ A1



PLEASE NOTE:
Do not scale any measurement from this drawing for construction purposes. All dimensions for fabrication and manufacture must be checked on site. Scheduling of items must be checked & cross referenced with all information available to avoid mistakes when ordering. Any drawing discrepancies must be reported immediately. This drawing is provided by copyright and must not be copied or reproduced without the written consent of The Planning & Design Associates.

WARNING TO HOUSE PURCHASERS
PROPERTY MISCELLANEOUS ACT 1991
Plans are issued for use as a working drawing and is not intended to be treated as a descriptive material description, in relation to any particular property or development, any of the specified matters provided by order made under the above act. The contents of this drawing may be subject to change at any time and alterations and variations can occur during the progress of the work without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. No do the contents of this drawing constitute a contract, part of a contract or a warranty.

THE PARTY WALL ACT 1996
The Party Wall Act does not affect any requirement for Planning Permission or Building Regulation Approval for any work undertaken. Likewise, having Planning Permission and/or Building Regulation Approval does not exempt the requirements under the Party Wall Act. The Party Wall Act 1996 gives you rights and responsibilities whenever the side of the 'wall' you are on is, whether you are planning doing work on a relevant structure or if your neighbour is.

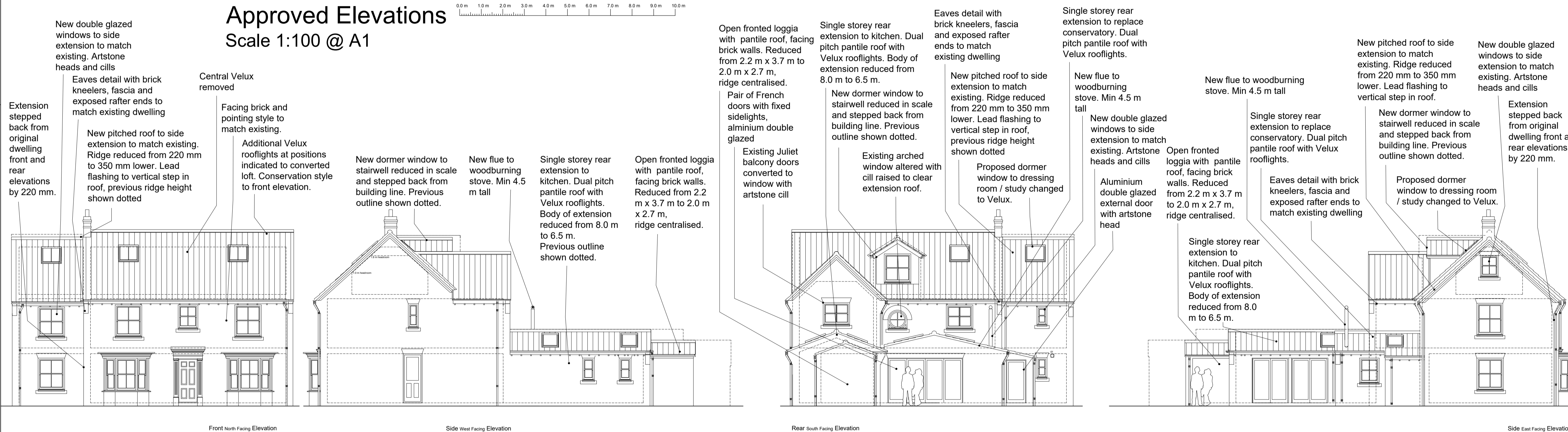
The Party Wall Act comes into effect if someone is planning to do work on a relevant structure, if the purposes of the Act 'party wall' does not just mean the wall between two unrelated properties, it covers:

- * A wall forming part of one building but which is on the boundary line between two (or more) properties.
- * A wall which is common to two (or more) properties, this includes where someone builds a wall and a neighbour subsequently builds something leaning up to it.
- * A garden wall, where the wall is outside the boundary line for items up against it and is used to separate the properties but is not part of any building.
- * Fences and collars of flag poles.
- * Excavations near to a neighbouring property.

As with all work affecting neighbours, it is always better to reach a friendly agreement rather than resort to any law. Even where the work requires a notice to be served, it is better to informally discuss the intended work, consider the neighbour's concerns, and attend any plans if approved before serving the notice. If there is any doubt please consult Planning & Design Associates or a party wall surveyor.

Approved Elevations

Scale 1:100 @ A1



Rev A 15-02-2021 Various reductions to scheme following discussions with planner

The Planning & Design Associates
PLANNING, ARCHITECTURE, INTERIORS, LANDSCAPE
The Chicory Barn Studio,
The Old Brickyards, Moor Lane, Stamford Bridge,
York, The East Riding Of Yorkshire, YO41 1HU.
Telephone 01759 373656 Fax 01759 371810
E-mail: chicorybarn@the-pdassociates.co.uk
website: www.the-pdassociates.co.uk

Client	Mr and Mrs P Abell 4 Hall Close, Wheldrake, York YO19 6GB		
Project	Extensions and Alterations to Dwelling 4 Hall Close, Wheldrake, York YO19 6GB		
Drawing	Approved and Revised Proposed Elevations		
Date	April 2023	Drawn	sd
Scale	1:100 @ A1	Rev.	
Status	Planning		
Draw No.	ABE-531-03-19		