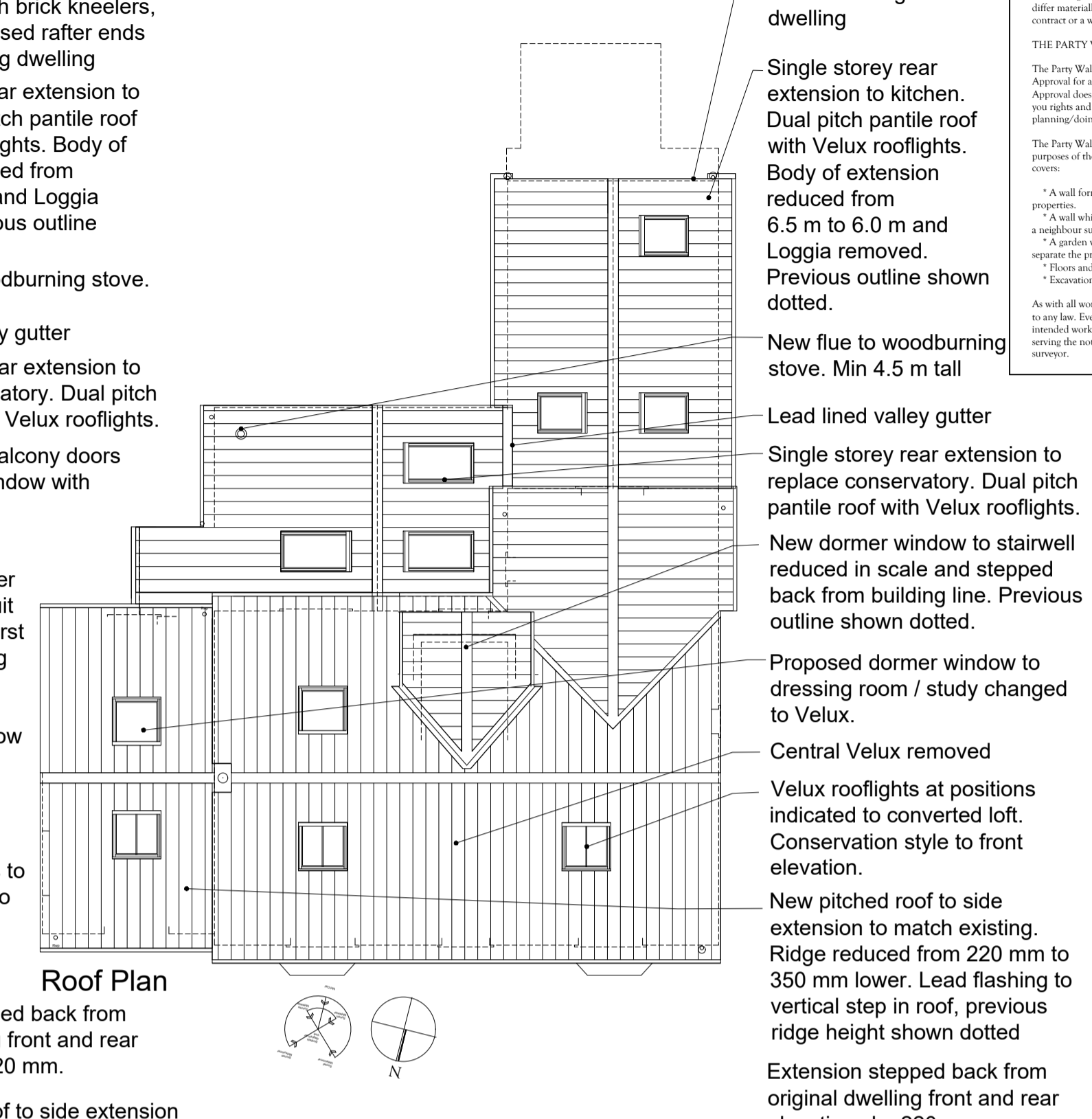
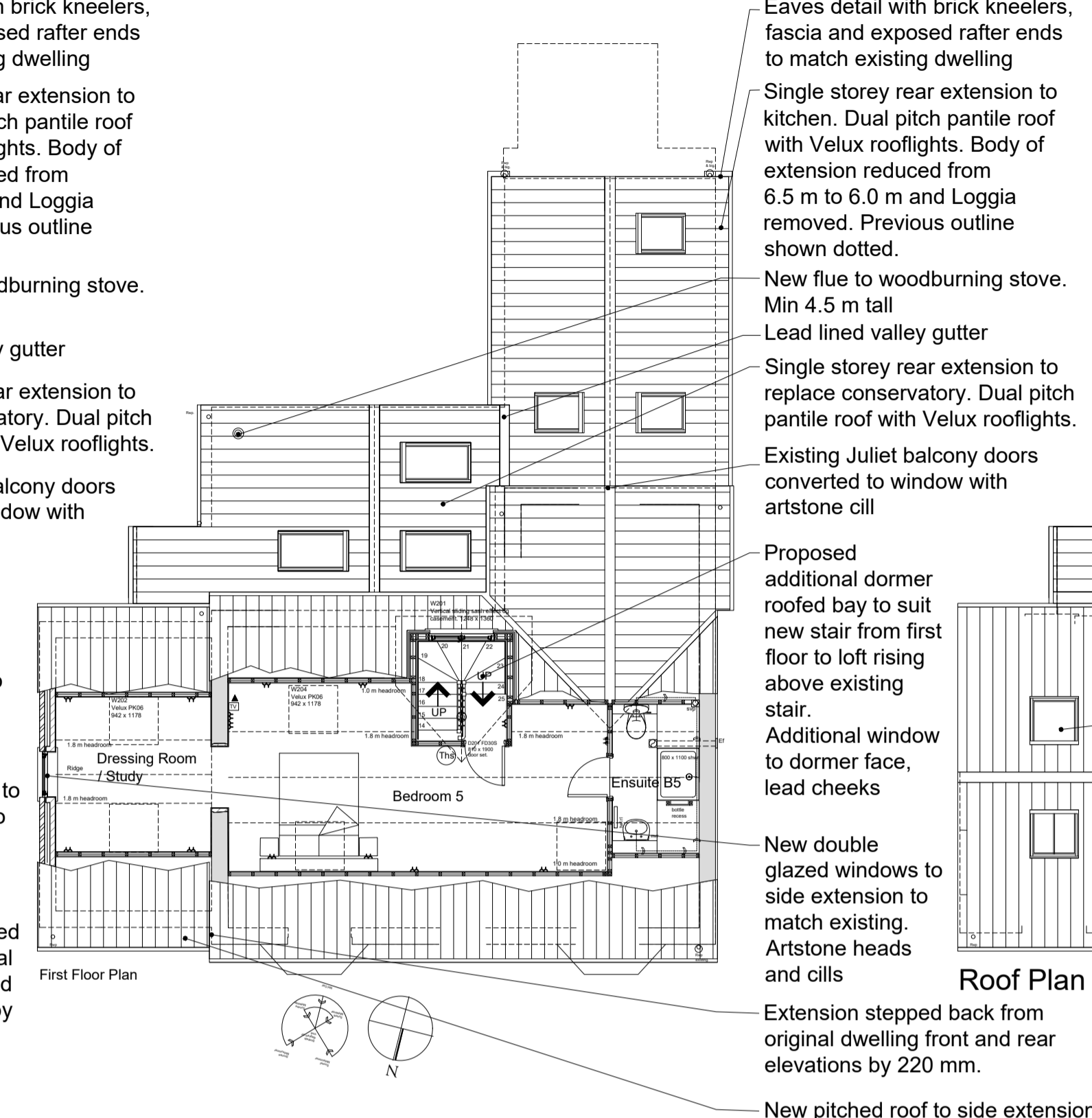
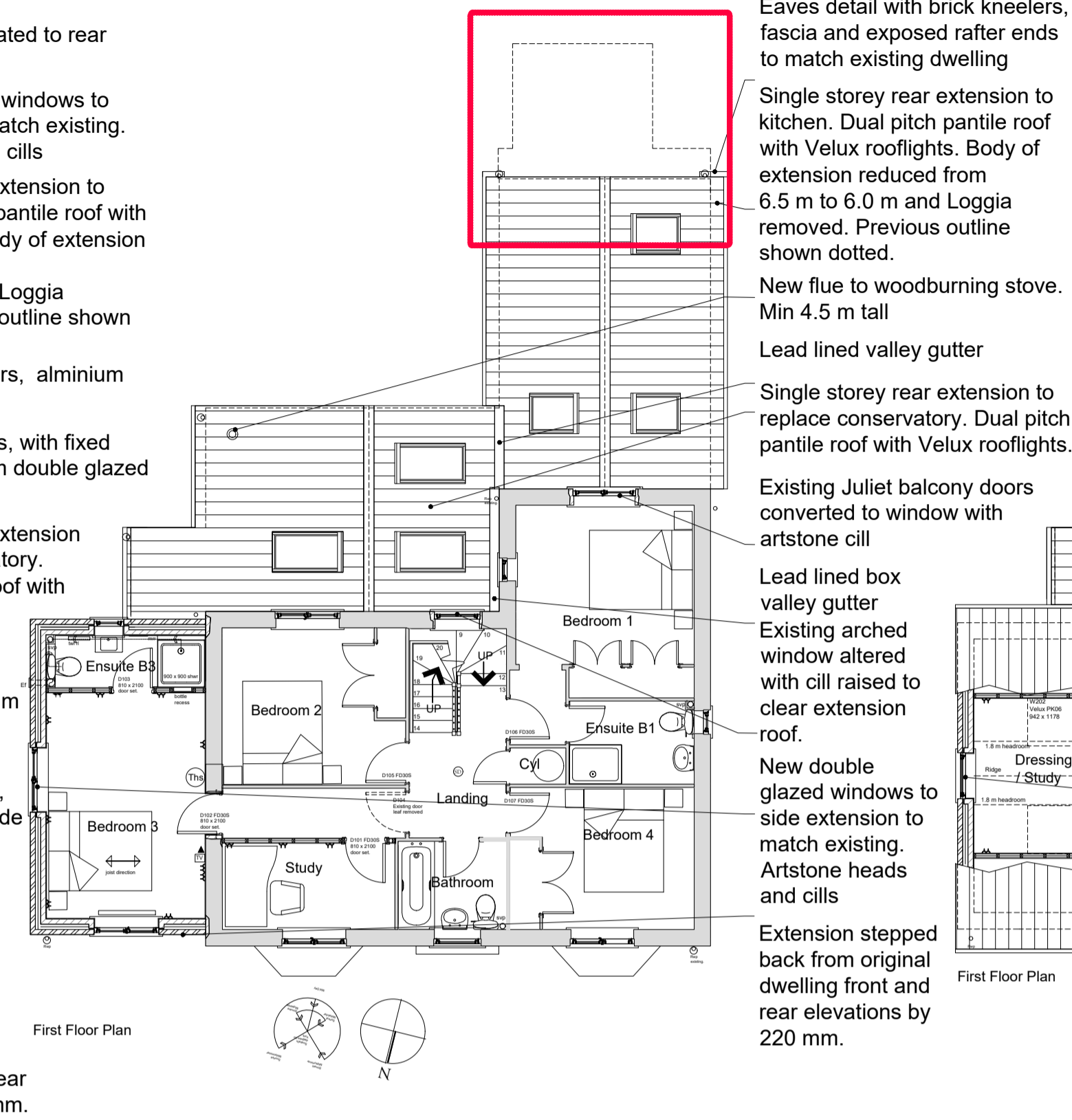
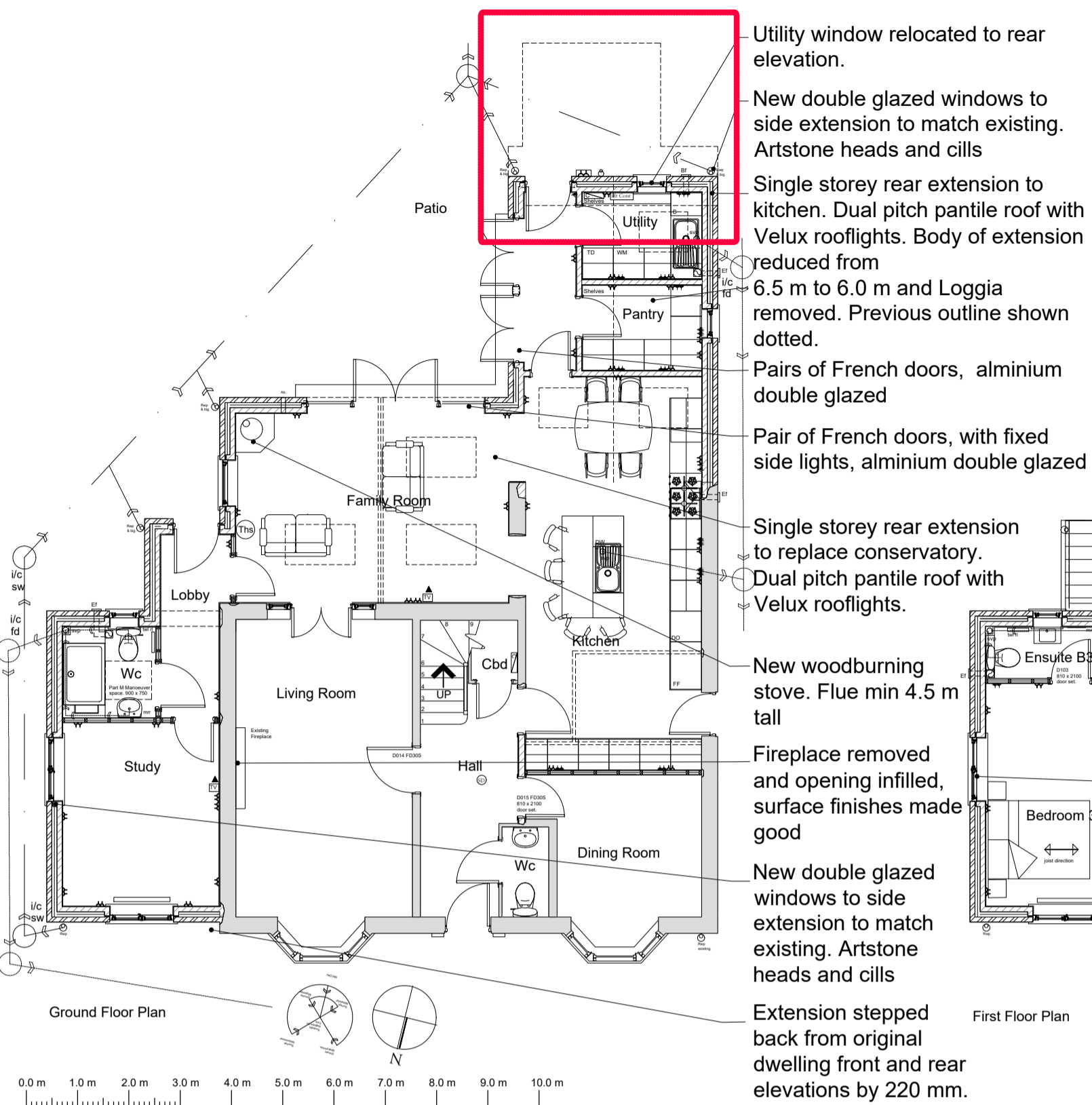


Proposed Revised Plans

Scale 1:100 @ A1



PLEASE NOTE:
Do not take any measurements from this drawing for construction purposes. All dimensions for fabrication and manufacture must be checked on site. Scheduling of items must be checked & cross referenced with information available to avoid mistakes when ordering. Any drawing discrepancies must be reported immediately. This drawing is prepared by copyright and may not be copied or reproduced without the written consent of The Planning & Design Associates.

WARNING TO HOME/BUYER/PURCHASER:
PROPERTY MISSELLERS ACT 1991
Buyers are warned that this is a working drawing and is not intended to be treated as descriptive or final drawings, in relation to any particular property or development, any of the specified matters prescribed by order made under the above act. The contents of this drawing may be subject to change at any time and alterations and variations can occur during the progress of the work without notice of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Nor do the contents of this drawing constitute a contract, part of a contract or a warranty.

THE PARTY WALL ACT 1996
The Party Wall Act does not affect any requirement for Planning Permission or Building Regulation Approval for any work undertaken. Likewise, having Planning Permission and/or Building Regulation Approval does not negate the requirements under the Party Wall Act. The Party Wall Act 1996 gives you rights and responsibilities whenever the job of the wall you are on is on a whether you are planning doing work on a relevant structure or if your neighbour is.

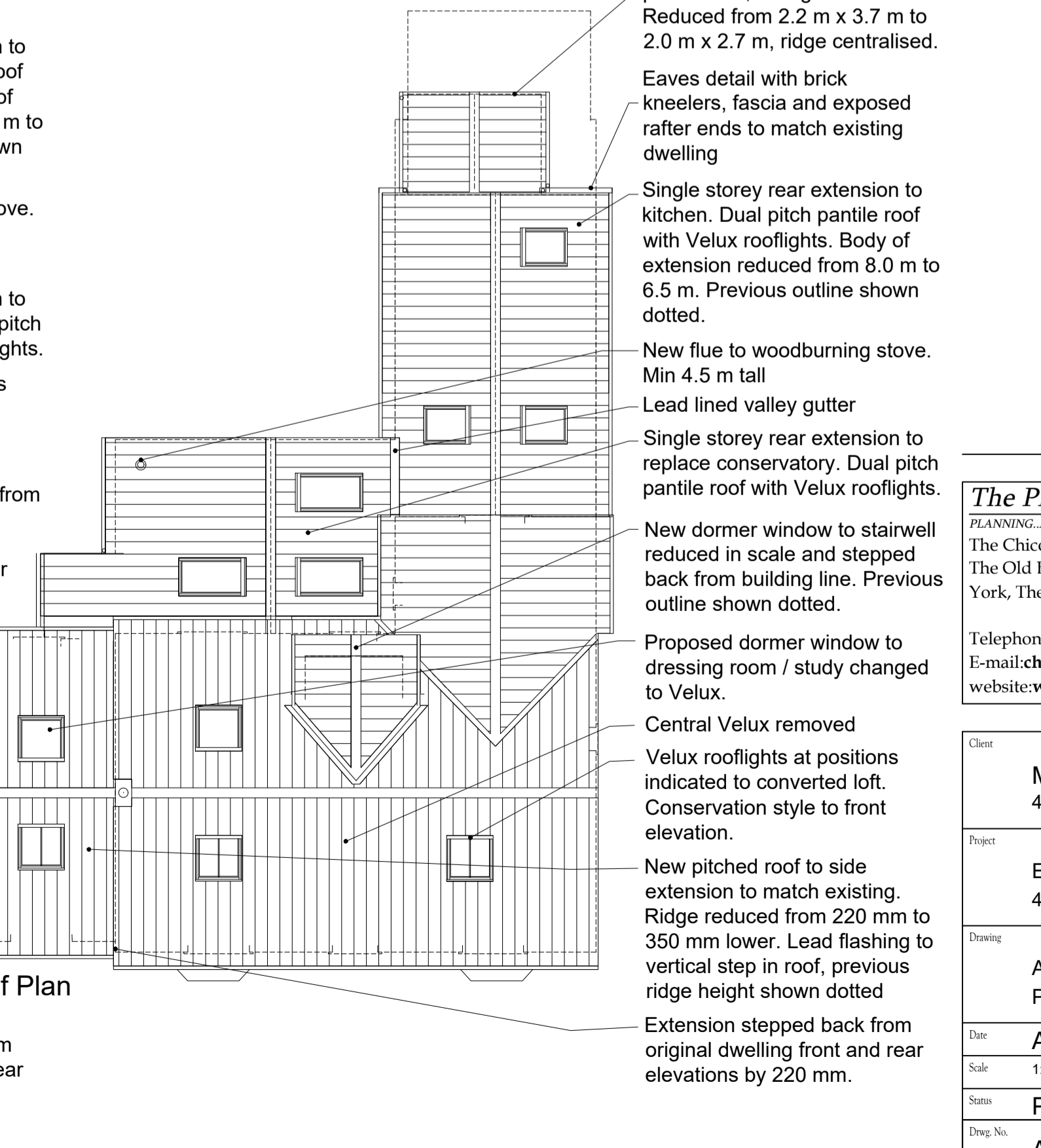
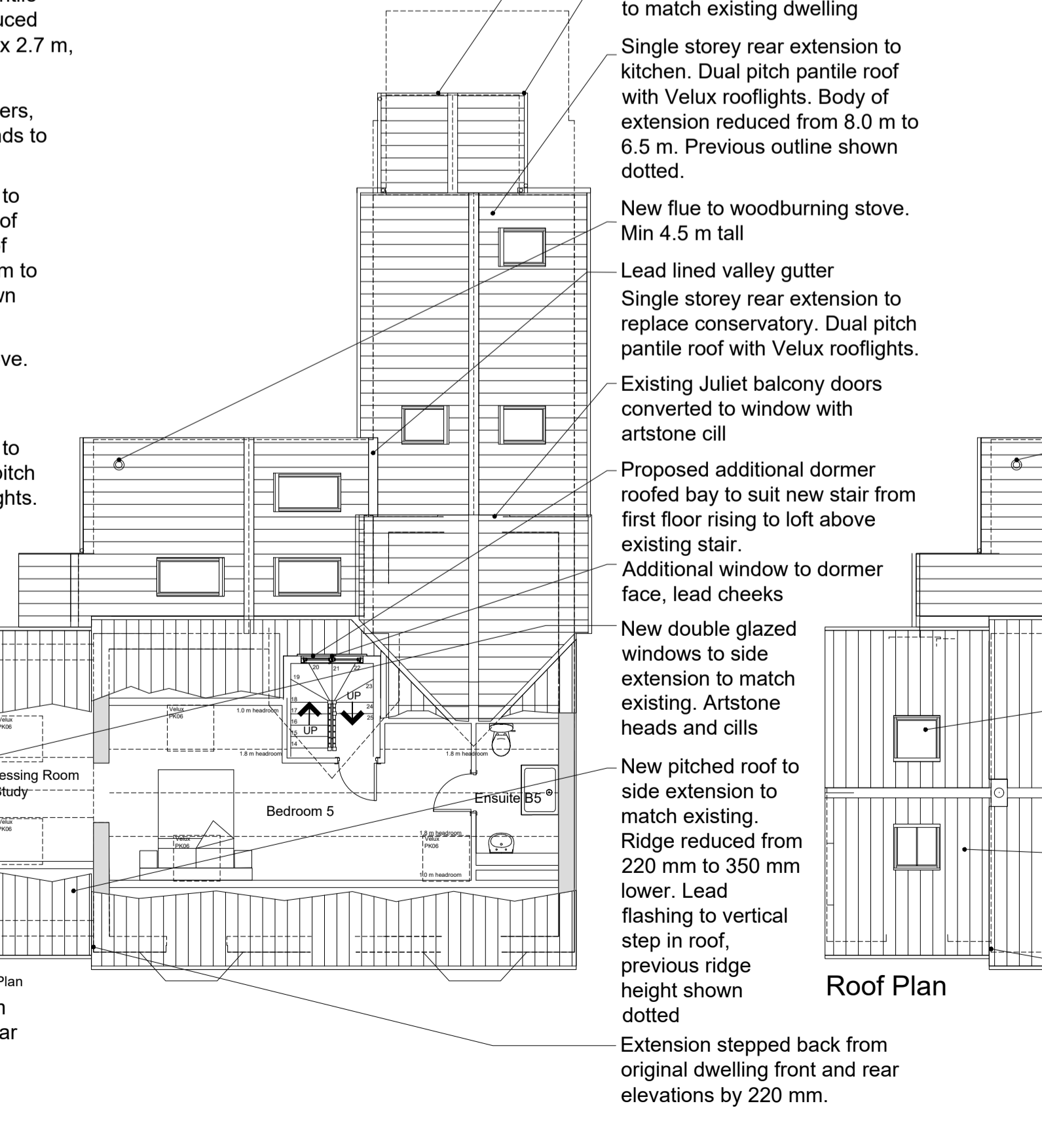
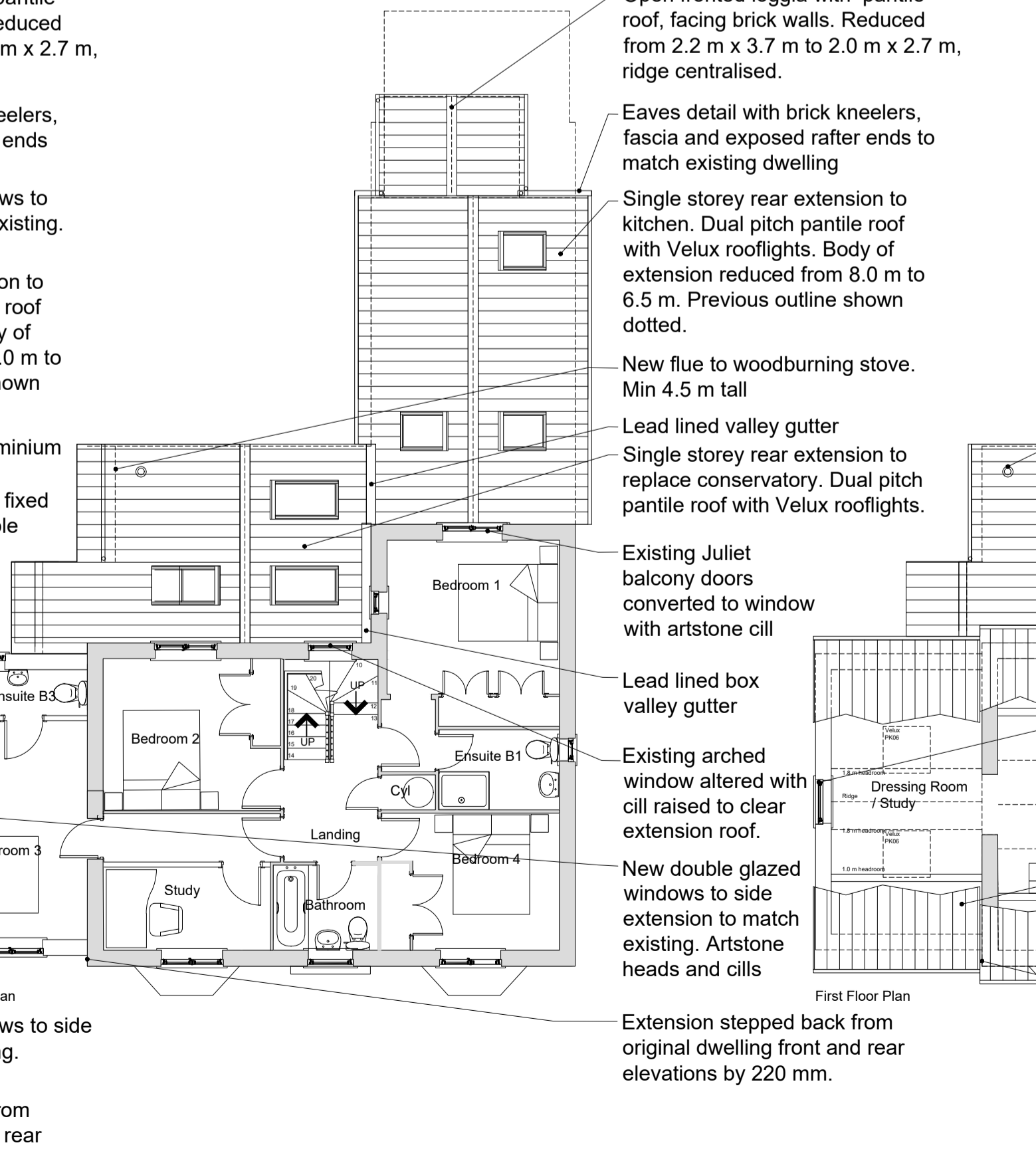
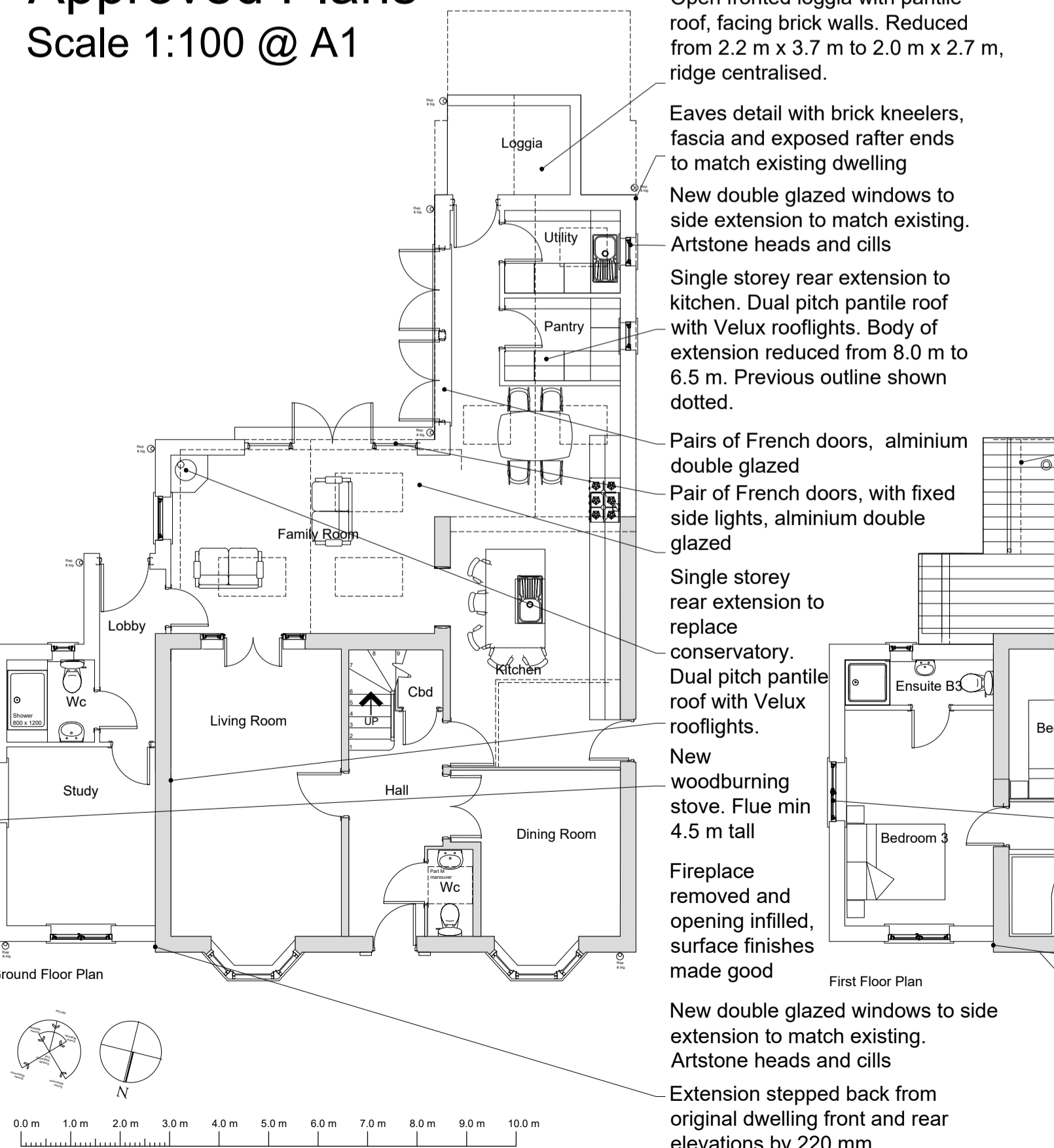
The Party Wall Act comes into effect if someone is planning to do work on a relevant structure, for the purposes of the Act 'party wall' does not just mean the wall between two semi-detached properties, it covers:

- * A wall forming part of each one building but which is on the boundary line between two (or more) properties.
- * A wall which is common to two (or more) properties, this includes where someone built a wall and a neighbour subsequently built something butting up to it.
- * A garden wall where the wall is on the boundary line (as long as it is used to separate the properties but is not part of any building).
- * Excavation near to a neighbouring property.

As with all work affecting neighbours, it is always better to reach a friendly agreement rather than resort to any law. Even where the work requires a notice to be served, it is better to mutually discuss the intended work, consider the neighbour's concerns, and agreed in principle if appropriate before serving the notice. If there is any doubt please consult Planning & Design Associates or a party wall surveyor.

Approved Plans

Scale 1:100 @ A1



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Client	Mr and Mrs P Abell 4 Hall Close, Wheldrake, York YO19 6GB		
Project	Extensions and Alterations to Dwelling 4 Hall Close, Wheldrake, York YO19 6GB		
Drawing	Approved and Revised Proposed Plans		
Date	April 2023	Drawn	sd
Scale	1:100 @ A1	Rev	
Status	Planning		
Dwg No.	ABE-531-03-20		