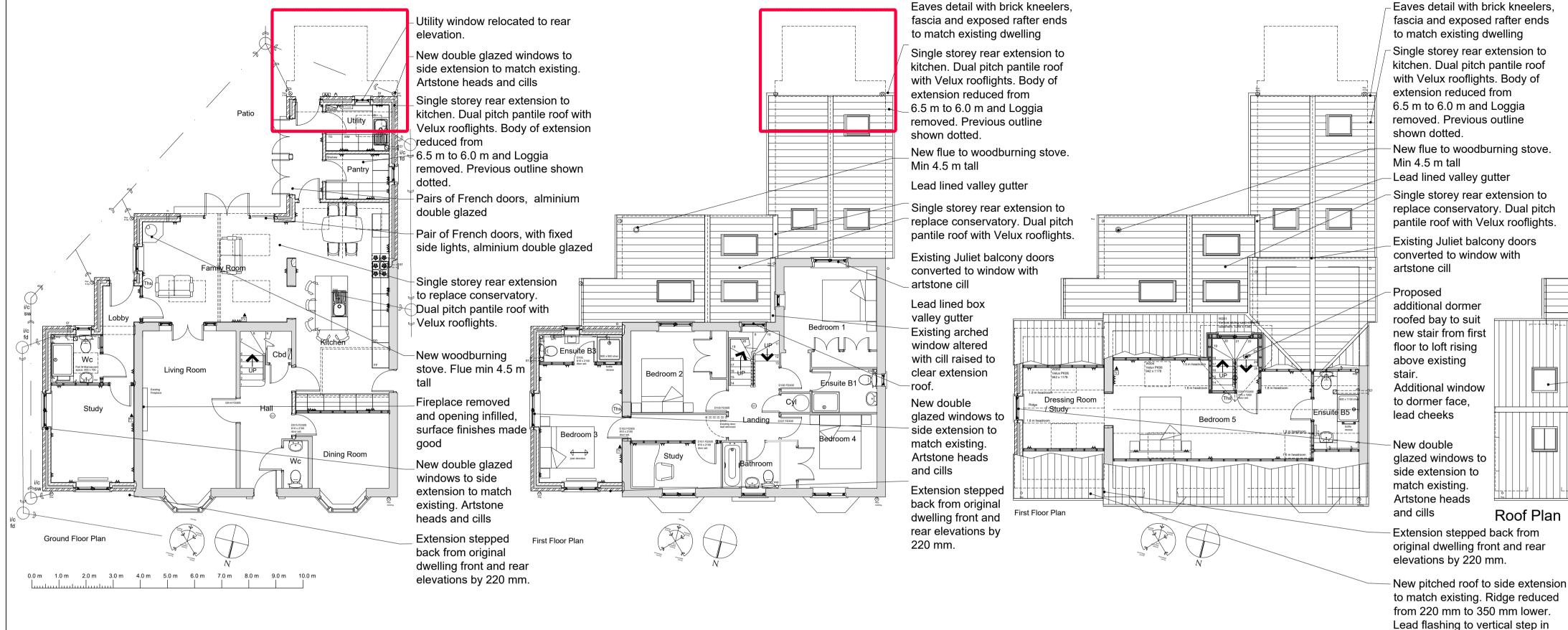
## Proposed Revised Plans Scale 1:100 @ A1



Eaves detail with brick kneelers, fascia and exposed rafter ends to match existing dwelling

Single storey rear extension to kitchen. Dual pitch pantile roof with Velux rooflights.

Body of extension reduced from 6.5 m to 6.0 m and Loggia removed. Previous outline shown dotted.

to any law. Even where the work requires a notice to be served, it is better to informally discuss the intended work, consider the neighbours comments, and amend your plans (if appropriate) before serving the notice. If there is any doubt please consult Planning & Design Associates or a party wall New flue to woodburning stove. Min 4.5 m tall

Do not scale any measurements from this drawing for construction purposes. All dimensions for

buyers are warned that this is a working drawing and is not intended to be treated as descriptive

material describing, in relation to any particular property or development, any of the specified matters prescribed by order made under the above act. The contents of this drawing may be subject to change a any time and alterations and variations can occur during the progress of the works without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Nor do the contents of this drawing constitute a contract, part of a

The Party Wall Act does not affect any requirement for Planning Permission or Building Regulation Approval for any work undertaken. Likewise, having Planning Permission or Dunling Regulation
Approval for any work undertaken. Likewise, having Planning Permission and/Or Building Regulation
Approval does not negate the requirements under the Party Wall Act. The Party Wall Act 1996 gives

u rights and responsibilities whichever the side of the 'wall' you are on i.e. whether you are

The Party Wall Act comes into effect if someone is planning to do work on a relevant structure, for the purposes of the Act 'party wall' does not just mean the wall between two semi-detached properties, it

\* A wall which is common to two (or more) properties, this includes where someone built a wall and

eighbour subsequent built something butting up to it.

\* A garden wall, where the wall is astride the boundary line (or butts up against it) and is used to

As with all work affecting neighbours, it is always better to reach a friendly agreement rather than resort

anning/doing work on a relevant structure or if your neighbour is

WARNING TO HOUSE-PURCHASERS

THE PARTY WALL ACT 1996

\* Floors and ceilings of flats etc. \* Excavation near to a neighbouring

fabrication and manufacture must be checked on site. Scheduling of items must be checked & cross referenced with all information available to avoid mistakes when ordering. Any drawing driscrepanc must be reported immeadiately. This drawing is protected by copyright and must not be copied or reproduced without the written consent of The Planning & Design Associates.

Lead lined valley gutter

Single storey rear extension to replace conservatory. Dual pitch pantile roof with Velux rooflights. New dormer window to stairwell reduced in scale and stepped back from building line. Previous outline shown dotted.

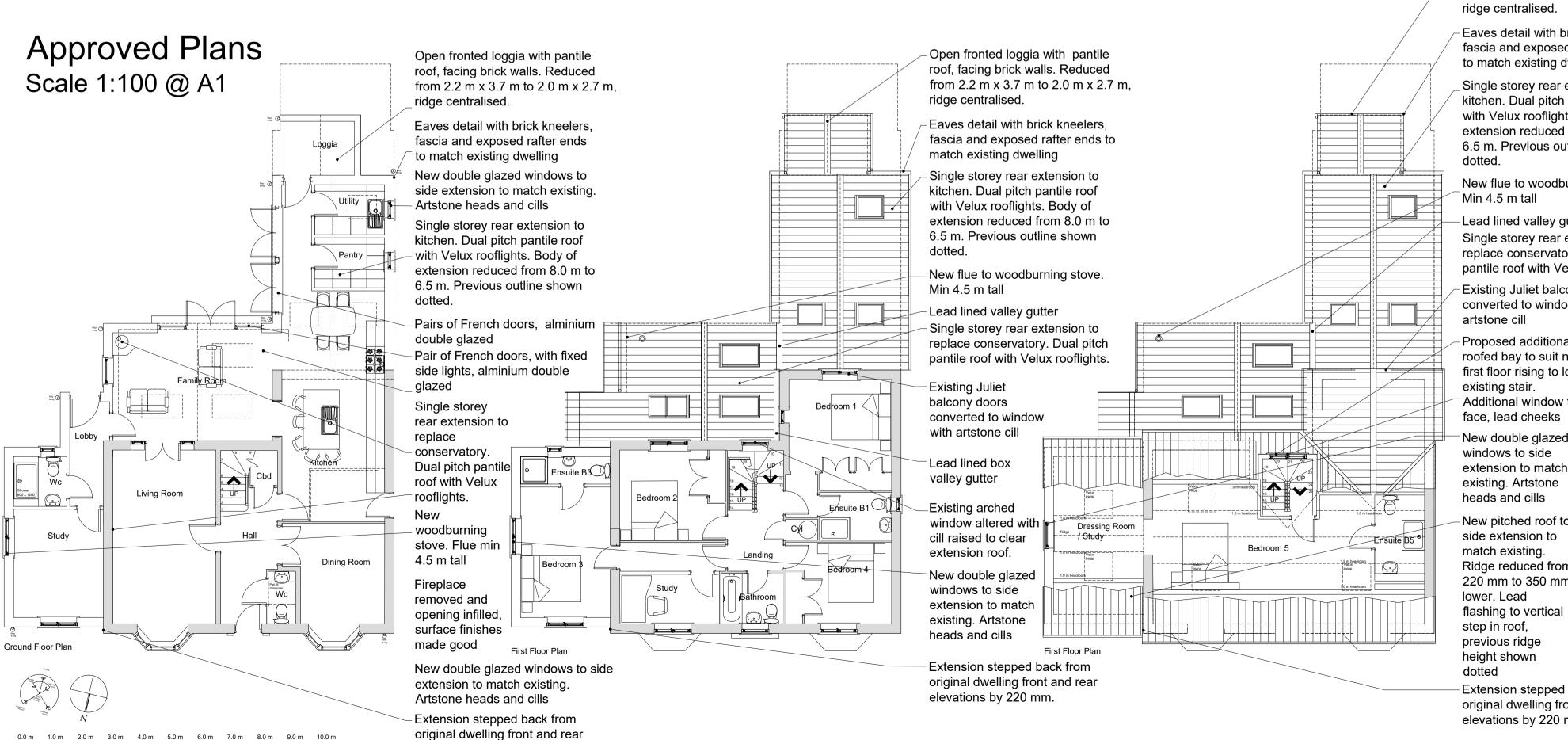
Proposed dormer window to dressing room / study changed to Velux.

Central Velux removed

Velux rooflights at positions indicated to converted loft. Conservation style to front elevation.

New pitched roof to side extension to match existing. Ridge reduced from 220 mm to 350 mm lower. Lead flashing to vertical step in roof, previous ridge height shown dotted

Extension stepped back from original dwelling front and rear elevations by 220 mm.



elevations by 220 mm.

 Open fronted loggia with pantile roof, facing brick walls. Reduced from 2.2 m x 3.7 m to 2.0 m x 2.7 m, ridge centralised.

roof, previous ridge height shown

Roof Plan

- Eaves detail with brick kneelers, fascia and exposed rafter ends to match existing dwelling

Single storey rear extension to kitchen. Dual pitch pantile roof with Velux rooflights. Body of extension reduced from 8.0 m to 6.5 m. Previous outline shown

New flue to woodburning stove. Min 4.5 m tall

Lead lined valley gutter Single storey rear extension to replace conservatory. Dual pitch pantile roof with Velux rooflights.

Existing Juliet balcony doors converted to window with artstone cill

Proposed additional dormer roofed bay to suit new stair from first floor rising to loft above existing stair. Additional window to dormer

New double glazed windows to side extension to match existing. Artstone

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step in roof, previous ridge Roof Plan height shown dotted

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elevations by 220 mm.

The Planning & Design Associates The Chicory Barn Studio, The Old Brickyards, Moor Lane, Stamford Bridge, York, The East Riding Of Yorkshire, YO41 1HU.

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Mr and Mrs P Abell

|   |         | ldrake, York YO19 60                  |          |  |
|---|---------|---------------------------------------|----------|--|
|   | Project |                                       |          |  |
|   |         | Extensions and Alterations to Dwellin |          |  |
| ) |         | 4 Hall Close, Wheldrake, York YO19 60 |          |  |
| ) | Drawing | Drawing                               |          |  |
|   |         | Approved and Revised                  |          |  |
|   |         | Proposed Plans                        |          |  |
|   | Date    | April 2023                            | Drawn sd |  |
|   | Scale   | 1:100 @ A1                            | Rev.     |  |
|   | Status  | Planning                              |          |  |
|   | 1       |                                       |          |  |

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