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SEABROOK

D E S I G N

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Design and Access Statement & Heritage, Impact & Justification Statement

Planning for refurbishment, repairs, loft conversion, internal alterations, garden workshop, rear canopy, and changes to shopfront.

86 West Street, Oundle, Peterborough PE8 4ES

Steve Adams & Alison Osborn



1. Introduction and Brief

- 1.1.** This document is a design and access statement, incorporating heritage impact and justification statement in support of a planning application for refurbishment, repairs, loft conversion, internal alterations, garden workshop, rear canopy and changes to shopfront undertaken at 86 West Street, Oundle. Prepared by Seabrook Design Limited on behalf of the owner occupants, Steve Adams & Alison Osborn.
- 1.2.** The proposals detailed in this statement are presented on the accompanying drawings, photographs and reports.
- SB23022-SL-001 - Site Location
 - SB23022-P-001 - Existing Floor Plans
 - SB23022-P-002 - Existing Elevations
 - SB23022-P-003 - Proposed Floor Plans and Workshop
 - SB23022-P-004 - Proposed Elevations
 - SB23022 – Damage Report
 - SB23022 – Feasibility Study
- 1.3.** Seabrook Design has been appointed to produce a scheme for the renovations and repair which is sensitive and preserves/enhances the conservation area and the listed building itself. This includes preparing planning documents and submitting to North Northants council.
- 1.4.** The property is a grade II listed building and falls within the conservation area of Oundle town centre. The property sale has recently been completed to Steve and Alison, who had been running ‘Little Blue’ from 15 Market Place, Oundle. 86 West Street has been operating as ‘Geoff Stubbs’ for around half a century as both a shop and accommodation above. Steve and Alison intend to relocate Little Blue to 86 West Street, as well as creating their forever home in Oundle’s West Street.



2. Design Principles

- 2.1.** The planning application seeks permission to renovate nearly the entirety of 86 West Street. Like-for-like repairs will be made where necessary, replacement of an existing canopy and a new workshop in the far corner of the garden. Layout changes are sought to the accommodation – including a new stair into a newly converted loft space. The current roof is currently double ridged and requires a small additional link between the two. The shop area is to be refitted as Little Blue, with the storefront to be repaired, repainted, and receive new signwriting. Please see the damage report of the current condition, as well as the proposed drawings
- 2.2.** The coursed rubble stone on the front elevation has been re-pointing as a matter of urgency, as such to prevent further water ingress. A section of stone to the right of the shop front at ground level was found to have several missing stones, with those remaining being extremely loose. Great care is being taken to ensure these repairs are like-for-like with the existing.
- 2.3.** The rear brick wall has cracked and required stitching with Helifix bars. These helifix bars have been recessed into the brickwork and pointed over.
- 2.4.** The existing timber sash windows appear to be in good condition and as such will receive minimal like-for-like repairs where necessary and be freshly painted in their original colour.
- 2.5.** The Collyweston slate roofs are in poor condition and require new tiles at minimum. Both ridges appear to be visibly sagging from the exterior and it is likely repairs will be necessary to the roof structure itself. The intention is to reclaim the best condition Collyweston tiles across the existing roof and utilise them to create the best possible North/front elevation. The rear sections of roof are hidden from view and are proposed to be re-roofed in slate. Most houses along West Street, including those which are listed do not have Collyweston tiles on the rear of the house, and have been replaced with slate, clay or concrete tiles. We believe this sets precedence for the works that can be achieved at 86 West Street.
- 2.6.** The two roof spaces themselves are to be linked to remove the need for 2 staircases. 4 rooflights are proposed; 2 smaller 'Clement 3' windows serve the master bedroom and will be hidden in the valley, 2 further 'Clement 5' roof lights will serve the study and the landing. The latter two will line through with the existing windows below and will be visible from the rear garden.

- 2.7.** Internal alterations are to be made to improve the accommodation on the upper floors. The lounge is relocated to the rear of the property above the ground floor kitchen (in place of 2 bedrooms and a W/C) with the existing lounge becoming a bedroom. A new stair is proposed in the lounge, which will comply to new building regs and replace the previous first to second floor staircase which is tight and in poor condition. The removal of this stair allows for a new family bathroom and small utility to the front of the property. The newly converted loft space will consist of a landing for the new stair and a new bedroom/study. The landing leads to a link to the front loft section, here the existing wall is removed to create a new master bedroom with en-suite. This front loft section is to have raised ceiling heights as it currently has a flat ceiling around 1.8m and does not meet building regulations.
- 2.8.** The ground floor shop is to be re-fitted as Little Blue.
- 2.9.** The existing property and total plot area equates to 270m². External areas within the boundary of the plot but excluded from the house itself equates to approximately 154m². The garden structure has a total roof area and impact of 10m²
- 2.10.** The existing cellar is to be tanked but largely left as it is, except for a small wooden access hatch to be replaced with a 'walk on' glazed panel, allowing natural light into the space.

3. Listing

- 3.1.** First listed 7th June 1974, with listing entry number 1372167, 86 is part of a group listing of numbers 52-98 (even) within Oundle's conservation area. This area with encompasses most of the historic town centre from Stoke Hill to North Street. The conservation area excludes many of the rear portions of the medieval properties along West Street.
- 3.2.** Listing details as found on Historic England records: C18. 2 storeys and attic in coursed rubble with stone slate roof with 2 hipped dormers. 2 windows, thin wood lintels, hung sashes with glazing bars. Large late C19 shop front.

Nos 2 to 36 (even) and 42 to 46A (even) and 52 to 98 (even) form a group.

Listing NGR: TL0375588096

4. Impact

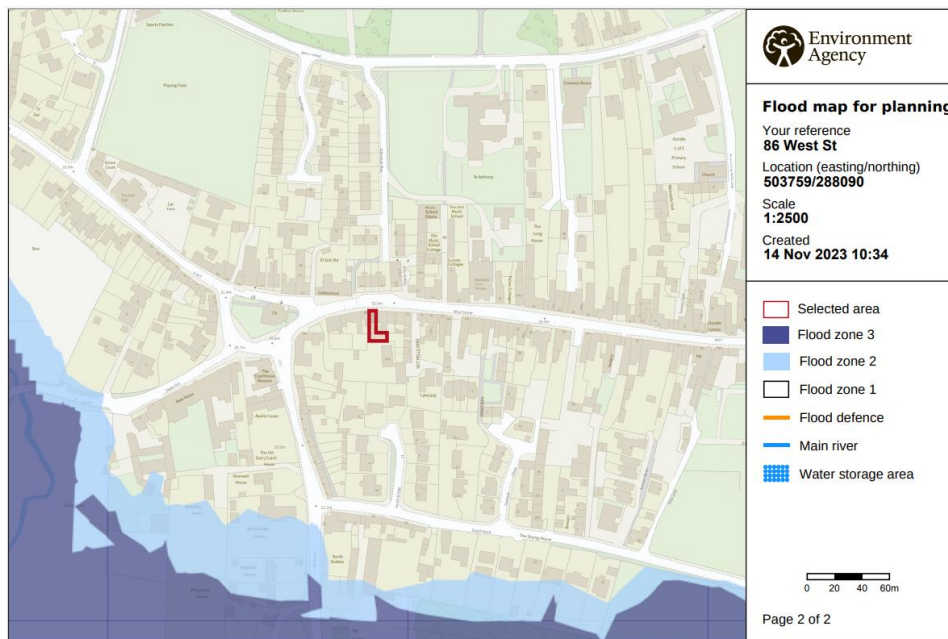
- 4.1.** The character appearance of the high street is paramount. The like-for-like repairs and refreshed shopfront not only enhance the appearance of the high street but provide a more permanent home for Little Blue. We are delighted Steve and Alison intend to run Little Blue from 86 West Street, preserving one of the few stores left to the far end of West Street.
- 4.2.** All alterations aim to enhance the existing property's character, with the most impact potentially being from the proposed roof link. Although this adds minimal massing to the roof structure, the nature of the double ridged shaped roof means the link can be contained within the valley and remain no higher than either ridge height. From street level, the link will be invisible, hidden by the front roof and neighbouring properties, not affecting the character of Oundle's West Street.
- 4.3.** The existing rear canopy is in poor shape and of little historic interest. A new cast iron canopy is proposed to be more in keeping with the character of the property. The intention is to source as much reclaimed materials as possible. The canopy projects 2.5m from the rear elevation and will sit within the two projections of the neighbouring properties.

5. Access

- 5.1.** The map below shows the flood risk for this property. This map highlights areas of significance flooding and areas of no flooding with a 'traffic light' colouring system.
- 5.2.** The property is accessible via the front door of the shop front onto West Street. This is the only access into the property curtilage. The garden to the rear of the property is enclosed with a single access door directly to the kitchen.

6. Flood Risk

- 6.1. The map below shows the flood risk for this property. This map highlights areas most at risk from flooding with a 'traffic light' colouring system.
- 6.2. The flood risk map shows 86 West street is wholly within Flood Zone 1, the lowest risk zone. It is also considered that the proposed development will have no effect on flood risk.



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7. Crime and Security

- 7.1.** As discussed, 86 West Street is within the town of Oundle, therefore, the crime rate needs to be considered for the whole of Oundle. The below is information provided by crimrate.co.uk which demonstrates the surrounding area's crime rate with detailed analysis into the types of crime that occur.
- 7.2.** Oundle is the 106th most dangerous town in Northamptonshire, and is the 123rd most dangerous overall out of Northamptonshire's 261 towns, villages, and cities. The overall crime rate in Oundle in 2022 was 38 crimes per 1,000 people. This compares favourably to Northamptonshire's overall crime rate, coming in 55% lower than the Northamptonshire rate of 85 per 1,000 residents. For England, Wales, and Northern Ireland as a whole, Oundle is the 4,350th most dangerous village, and the 5,454th most dangerous location out of all towns, cities, and villages.
- In October 2022, Oundle was the worst town in Northamptonshire for burglary, with 7 crimes reported and a crime rate of 1.1 per 1,000 inhabitants. December 2022 was also a bad month for Oundle residents, when it was Northamptonshire's most dangerous town for criminal damage and arson, recording 7 crimes at a rate of 1.1 per 1,000 residents. Oundle recorded 1 report of robbery during December 2022, making its crime rate of 0.16 the worst town for robbery in Northamptonshire that month.

8. Conclusion

- 8.1.** Our proposal drastically improves the property for our clients, provides a new store for Oundle and enhances the character of the area. External alterations have been minimised, with most work simply to repair like-for-like. We believe we have considered the interest of all parties and produced a balanced and sensitive proposal for 86 West Street.