



DESIGN AND ACCESS STATEMENT

Proposed Alterations to The Property Known As 4B Coffee
Tavern Court, Alfred Street, Rushden, NN10 9YS

ON BEHALF OF

Goliath Property Ltd.

BY

CORPORATE ARCHITECTURE LTD

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1. FOREWORD

- 1.01 The purpose of this statement is to set out the context for, and to explain the design principles behind, the planning application for the proposed minor alterations of an external stair/walkway to the rear of 4B Coffee Tavern Court, Alfred Street, Rushden, NN10 9YS. The applicant is Goliath Property Ltd., with accompanying plans & statements prepared by their agents Corporate Architecture Ltd.
- 1.01 The building referenced to as 4B Coffee Tavern Court is an adjoining building to 29 High Street. The surrounding buildings are a mixture of old and modern buildings of which 4B is nestled between a cluster of buildings and not visible from the High Street.
- 1.02 The applicant is the freeholder of the surrounding properties 4A Coffee Tavern Court 37-39 High Street as indicated in Fig 1. Proposed site. The site lies between 37-39 High Street and 4A Alfred Street.

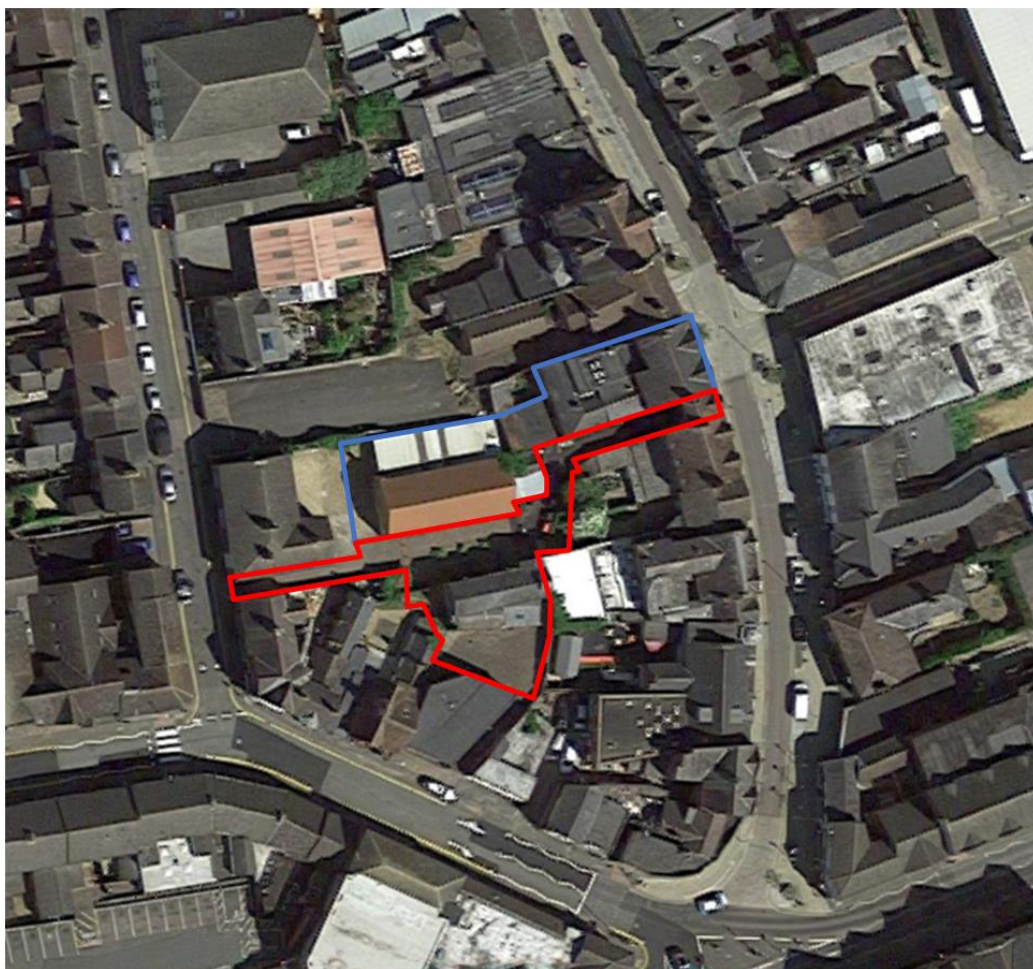


Figure 1.0 – Proposed Site

- 1.03 The applicant is proposing to change the use of the building on the first floor from Class E to a residential dwelling use under Class C3 and this will be submitted as a separate application.
- 1.04 This application seeks full planning consent for the addition of an external stairs to access the existing First Floor described later in this statement.

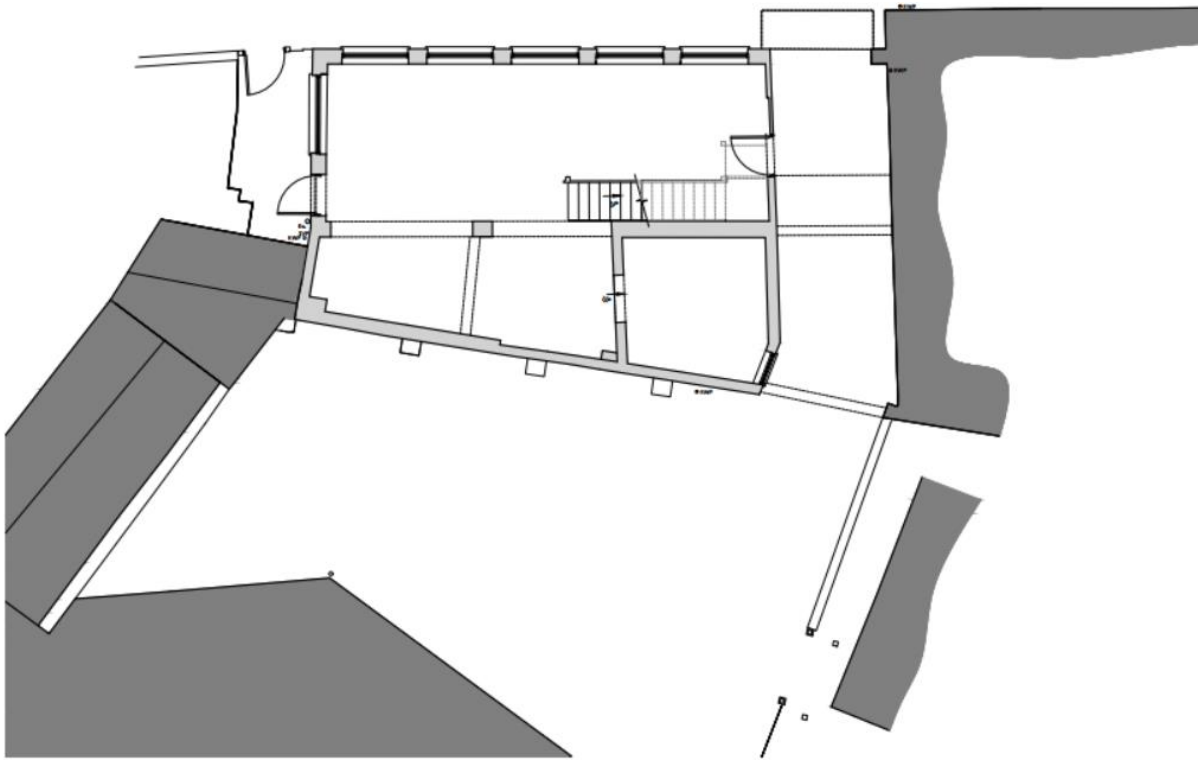


Figure 1.1 – Existing Ground Floor Plan

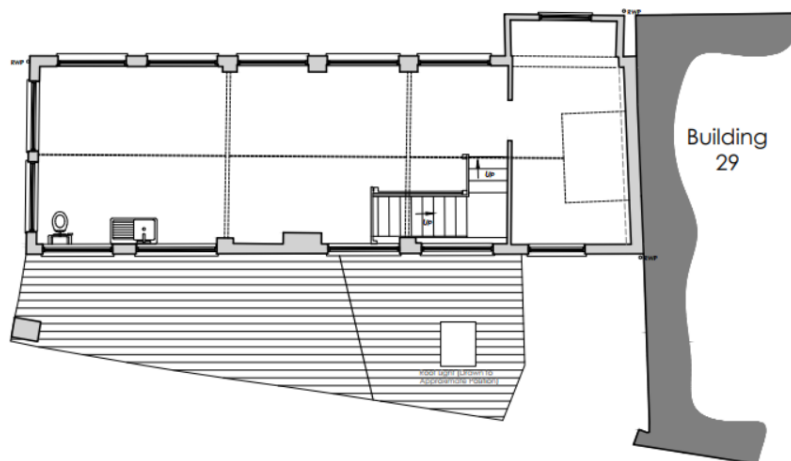


Figure 1.2 – Existing First Floor Plan



Fig 1.3 Proposed Front Elevation North

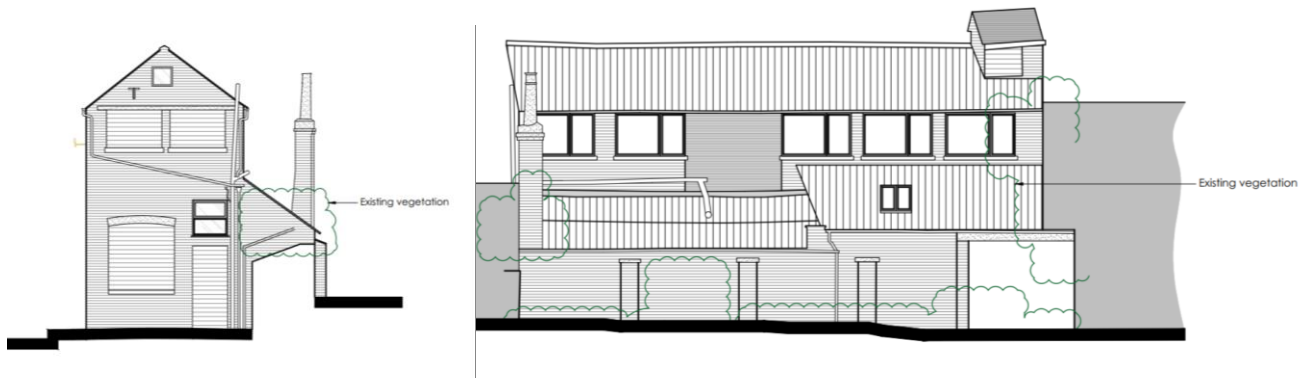


Fig 1.4 Proposed Rear Elevation West

Fig 1.5 Proposed Side Elevation South

NOTE: East elevation is attached to the adjoining building No.29 and is therefore not visible.

2. THE AMOUNT OF DEVELOPMENT & CONTEXT

2.01 The application site is within Rushden town centre to the rear of 37-39 High Street a former Lloyds Bank part of an approved change of use application NE/23/00595/PDU and 4A Alfred Street approved change of use application NE/23/00793/PDU for a similar permitted residential development change of use.

The application site is one of the buildings making up Coffee Tavern Court which runs from High Street through to Alfred Street to the west.

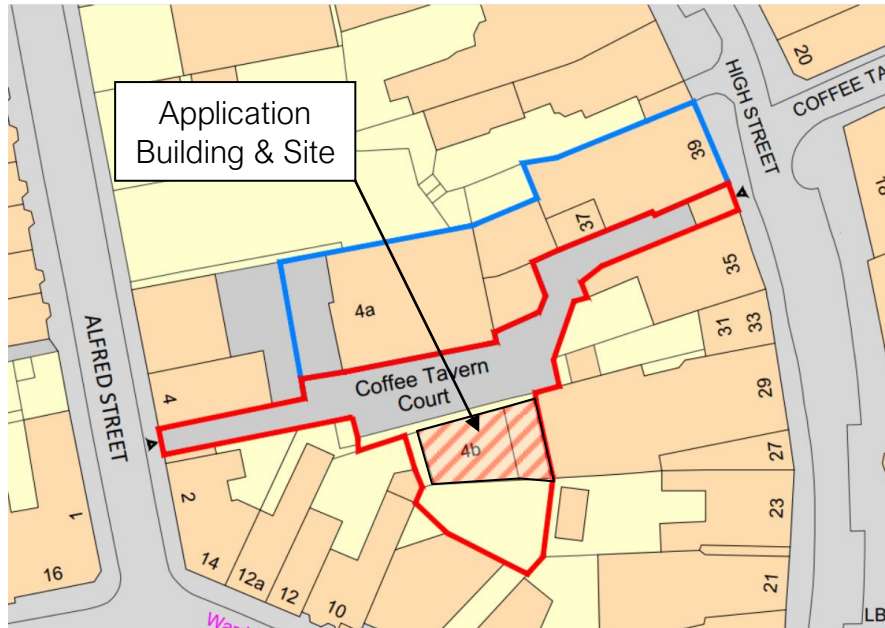


Fig 2.0 – Location Plan (Site Indicated In Red)

- 2.2 The surrounding area is characterised by a broad mix of commercial and retail units along with some residential properties.
- 2.3 The site lies within the Rushden town conservation area but the building is not listed by Historic England or locally listed by the local authority. The building is not a scheduled monument or juxtaposed to one.

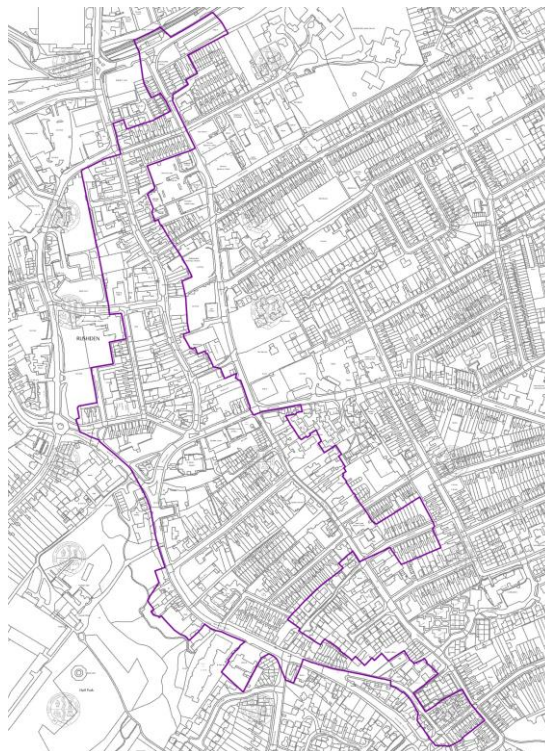


Fig 2.1 Rushden Conservation Area

2.4 The Environment Agency flood map indicates that the application site is located within flood zone 1 and is therefore very unlikely to be affected by flooding from local rivers or water courses.

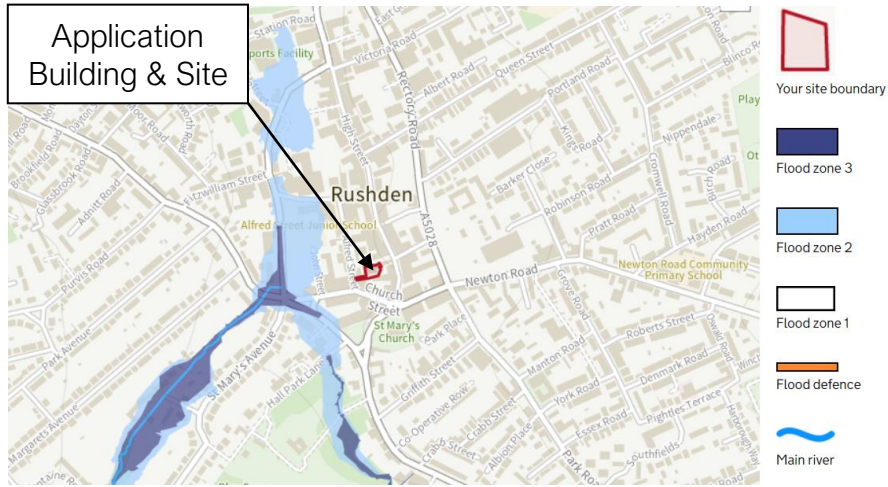


Fig 2.2 Floor Risk Map (Environment Agency Flood Map)



Front façade looking East



Front façade looking West



Rear southern elevation



Front façade looking East

Fig 2.3 Existing site images

3. SITE ACCESS

- 3.01 The property 4B is accessed from two approaches, one off High Street which is a pedestrianised access and the second from Alfred Street which is a pedestrian / access to the centre of Rushden whilst also allowing limited vehicular access into the yard area.

4. THE SCALE, LAYOUT AND APPEARANCE OF THE DEVELOPMENT

- 4.01 Corporate Architecture previously applied for a change of use for the applicant to re-purpose the first floor of 4B Alfred Street from Class E to a single dwelling under Class C3 under application reference NE/23/00949/PDU. The application was refused on the 3rd of September 2023 due to unsafe access of not having an approved planning application for an external stair. An extract of the general permitted development is referenced below which formed the foundation of the refusal.

“**MA.2.**—(1) Development under Class MA is permitted subject to the following conditions.

(2) Before beginning development under Class MA, the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to—

(a) transport impacts of the development, particularly to ensure safe site access;”

- 4.02 The proposed new stairs have been positioned to the rear southern location as this is felt to be the most suitable position to minimise its impact on the building whilst maintaining the attractive North elevation. A position was reviewed to the West elevation but the location was impractical.
- 4.03 The position of the stairs to the rear will provide new safe access to the first floor for the proposed residential change of use. The access to the stairs would be through the existing building under croft.

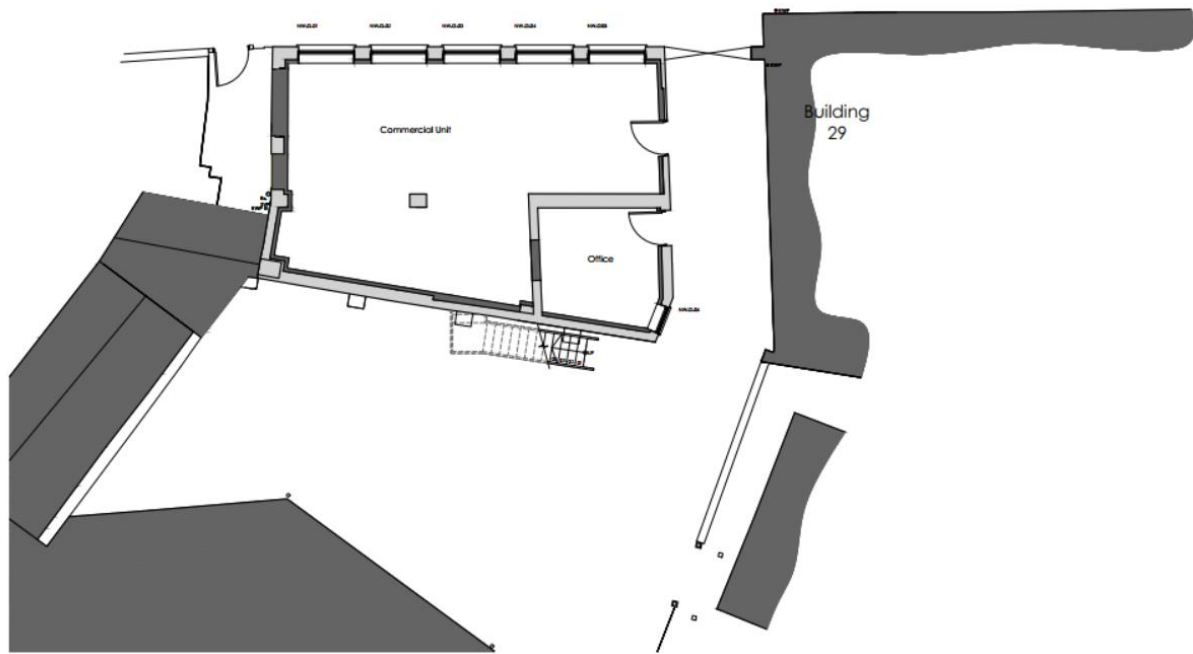


Fig 4.3 Proposed Ground Floor Plan - Showing Stair Location

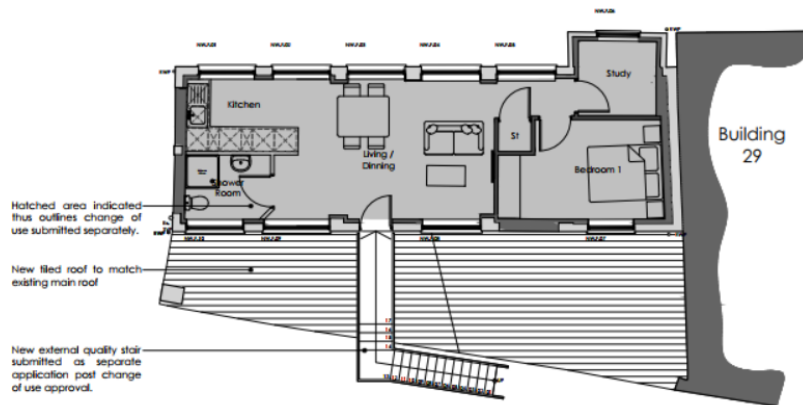


Fig 4.4 Proposed First Floor Plan – Layout for clarity and will be subject to a separate future change of use application.

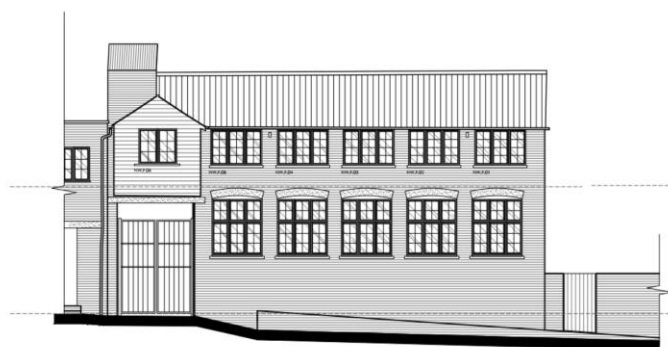


Fig 4.5 Proposed Front Elevation North – Unaltered.

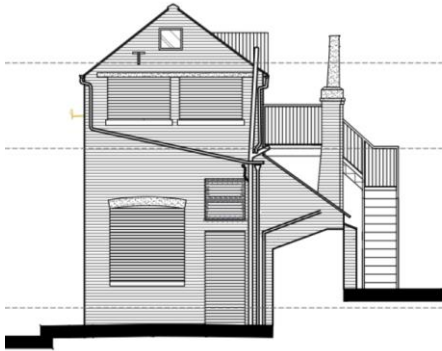


Fig 4.6 Proposed Rear Elevation West



Fig 4.7 Proposed Side Elevation South -
Showing access door and gable

- 4.04 Alternative locations require greater intrusive works to the existing building and are less practical establish than alternatives within the front yard or side elevation(West).
- 4.05 The stair has been sited to the rear away from the yard with its pedestrian through route and where existing cars park.
The proposal will allow vehicles to safely manoeuvre without causing danger to the proposed staircase location to the rear of the building.
- 4.06 The application seeks approval for the installation of a well designed access stair within the rear courtyard to the right after traversing through the undercroft.
- 4.07 The undercroft access leads to the rear courtyard. The stairs will be concealed within the courtyard and screened by surrounding buildings. It will not be directly visible to the public from High Street and Alfred Street.
- 4.08 By installing the stairs into the rear yard area reduces the amount of building work to the existing building and retains the aesthetic appearance of the building within the conservation area.
- 4.11 The stairs will be similar in appearance to the external metal stairs used in the proximity of the site providing access to No.2 Alfred Street, Please see Fig 4.0.

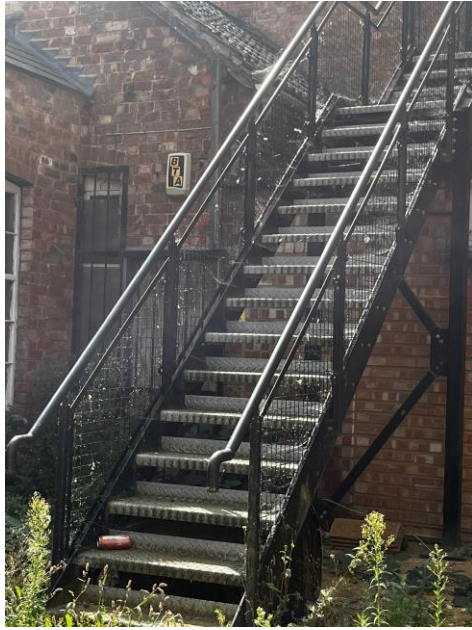


Figure 4.0 – External Stairs located close to the site at the rear of No.2 Alfred Street.

By installing access to the first floor located to the rear of the building, it will be possible to create a much needed residential dwelling within the heart of the town centre whilst maintaining the ability to retain employment use on ground floor.

The rear staircase position minimises the impact it may have on surrounding property whilst ensuring the longevity of the existing building within in the area.

- 4.12 It is proposed that the new stairs will be Black in colour, similar in appearance to the existing examples of external staircases above with infill mesh panels or vertical spindles.
- 4.13 The new stair access will require a small gable dormer for access to the first floor. this is due to the existing eaves height being low. The gable has been designed to be in keeping with the existing style of the building particularly the front gable under the undercroft. The proposal to be submitted under a separate application for the first floor has been shown for reference to portray the final intent and to add context to the stair.
- 4.14 The existing roof which is asbestos sheet and in a poor and unsafe will also be replaced during the time of the stairs works to a roof tile finish matching the and appearance of the main building.
- 4.15 The existing façade will remain unaltered retaining its historical aesthetic.
- 4.16 Currently the existing rear courtyard to the vacant building is overgrown with weeds and has not been maintained due to the applicant being unable to find tenants wanting to occupy a commercial building due to the economic climate.

With the proposed change of use, this will enable a future residential use subject to planning the building with an external staircase to providing safe access as outlined in the recent change of use refusal which was stated as due to there not being an approved planning application for external stairs, hence what this application is seeking to address.

- 4.17 The proposed stairs will not overlook residential gardens. The stair will be over 12m away from the small rectangle building which is currently boarded up and can be seen in Fig 4.1. The stair will not have any potential overlooking due to the stairs only being used for access and therefore will have no increased overlooking potential than the existing windows to the rear facade.

It should be noted that there is a small window which serves 8B Church Street which is the commercial property occupied by The Kids Shoe Den and is believed to serve as a stock room, not a habitable room, please see Fig 4.2



Fig 4.1 – View looking from courtyard after



Fig 4.2 – View looking from the undercroft

5. LANDSCAPE OF THE DEVELOPMENT

- 5.01 The proposals do not impact upon the existing landscaping areas which are to be improved as part of the conversion and refurbishment works being undertaken.

6. CONCLUSION

- 6.01 Corporate Architecture recently applied for a change of use for the applicant to change the use of the first floor of 4B Alfred Street from Class E to a single dwelling under Class C3 under application reference NE/23/00949/PDU.

The application was refused on the 3rd of September 2023 due to safe access, due to the absence of an approved planning application for an external stair.

- 6.04 The proposed works seek to rectify this position whilst having a positive, external, aesthetic impact on the existing building, the conservation area and the building setting within the local area bringing the building back to use after a long period of vacancy
- 6.05 The proposal can not be read in conjunction with the High Street or Alfred Street elevations or any street as a whole within the realm of the heart of the cluster of buildings making up Rushden.
- 6.06 The stairs and walkway will be matching existing examples of access to the first floor accommodation.
- 6.07 With the approval of the external stairs, the separate residential change of use will then be resubmitted which is anticipated due to discussion with the local authority would have been approved previously if the stair access had an approved planning decision.

We hope that this application can be dealt with swiftly and that approval is forthcoming to enable the follow-up application to be submitted and the residential dwelling within the centre of Rushden created.

Document Issue and Date

Issue 1: 22nd November 2023

Document prepared by:

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(For and on Behalf of Corporate Architecture Limited)