

Existing North Elevation

Existing East Elevation

Existing South Elevation

West Elevation

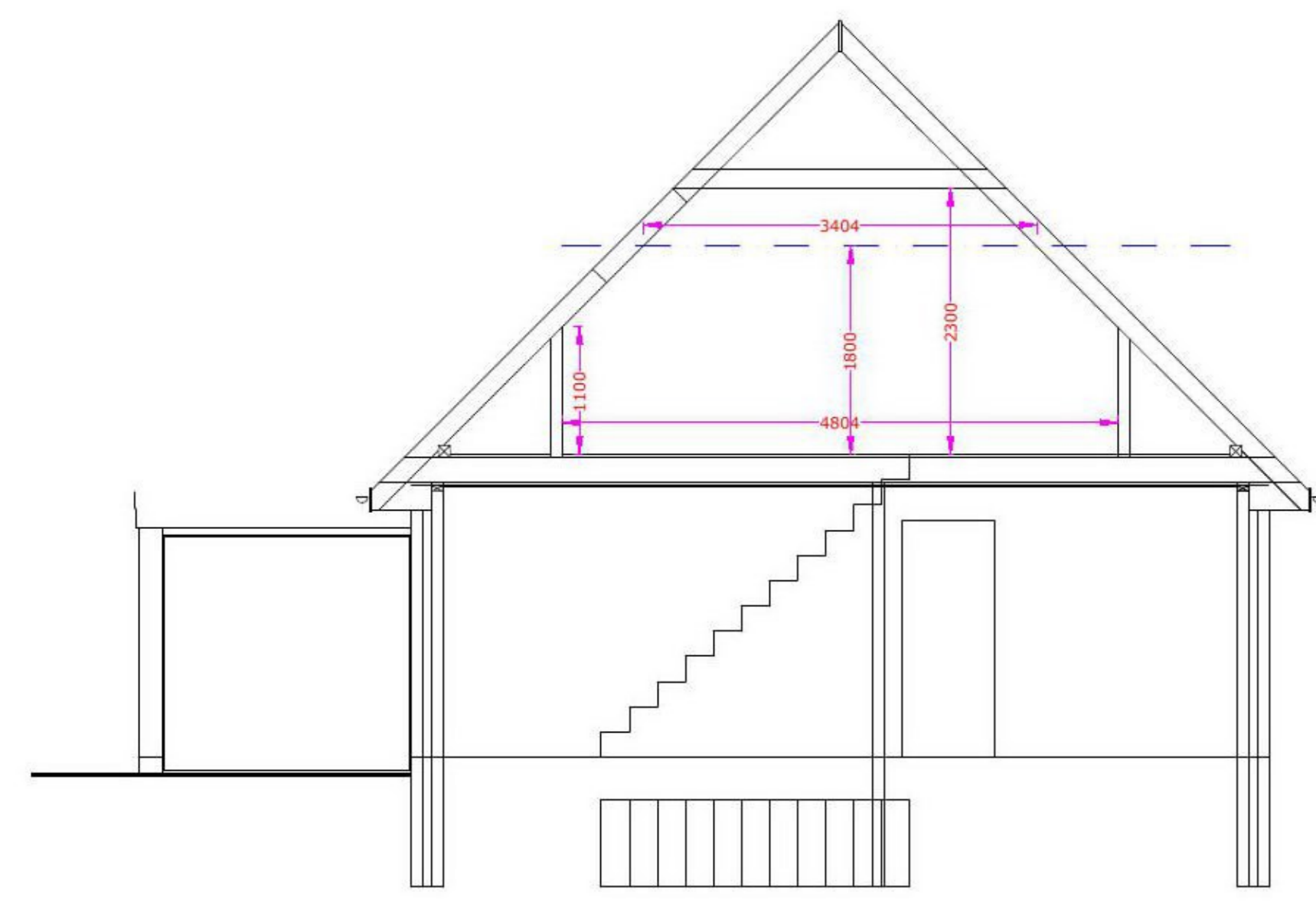


Proposed North Elevation

Proposed East Elevation

Proposed South Elevation

Proposed West Elevation

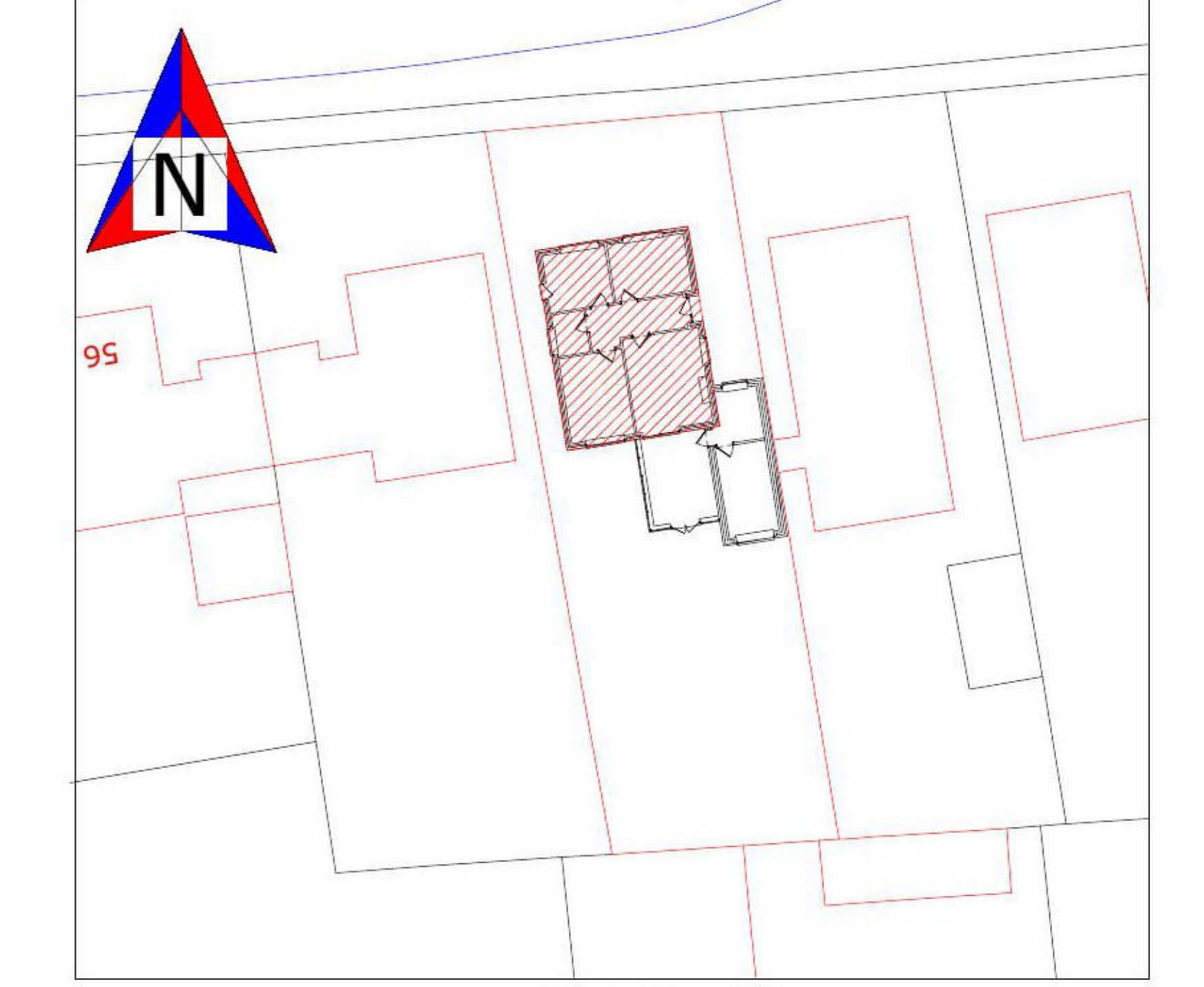


Typical Section

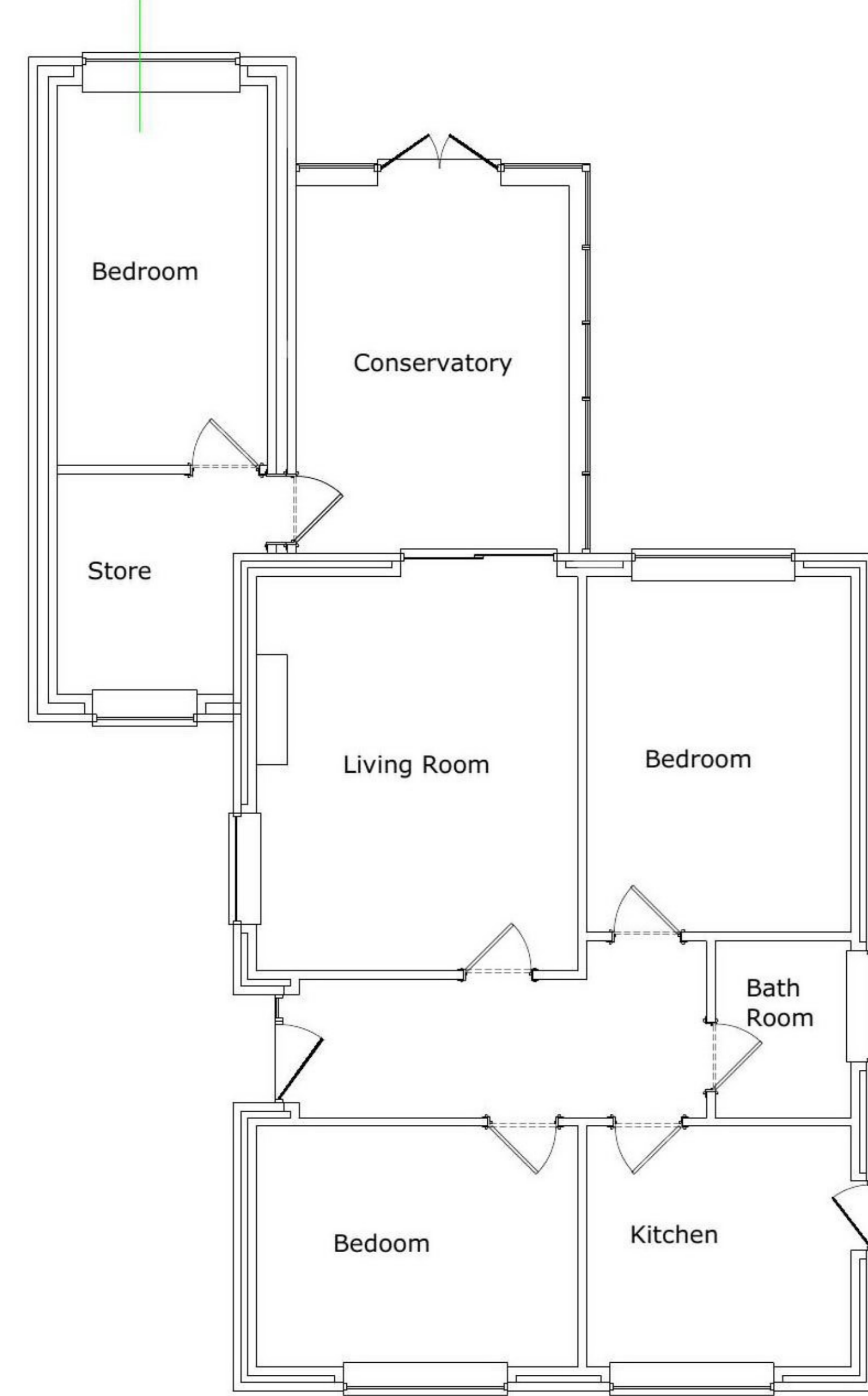
SITE LOCATION PLAN 1:1250



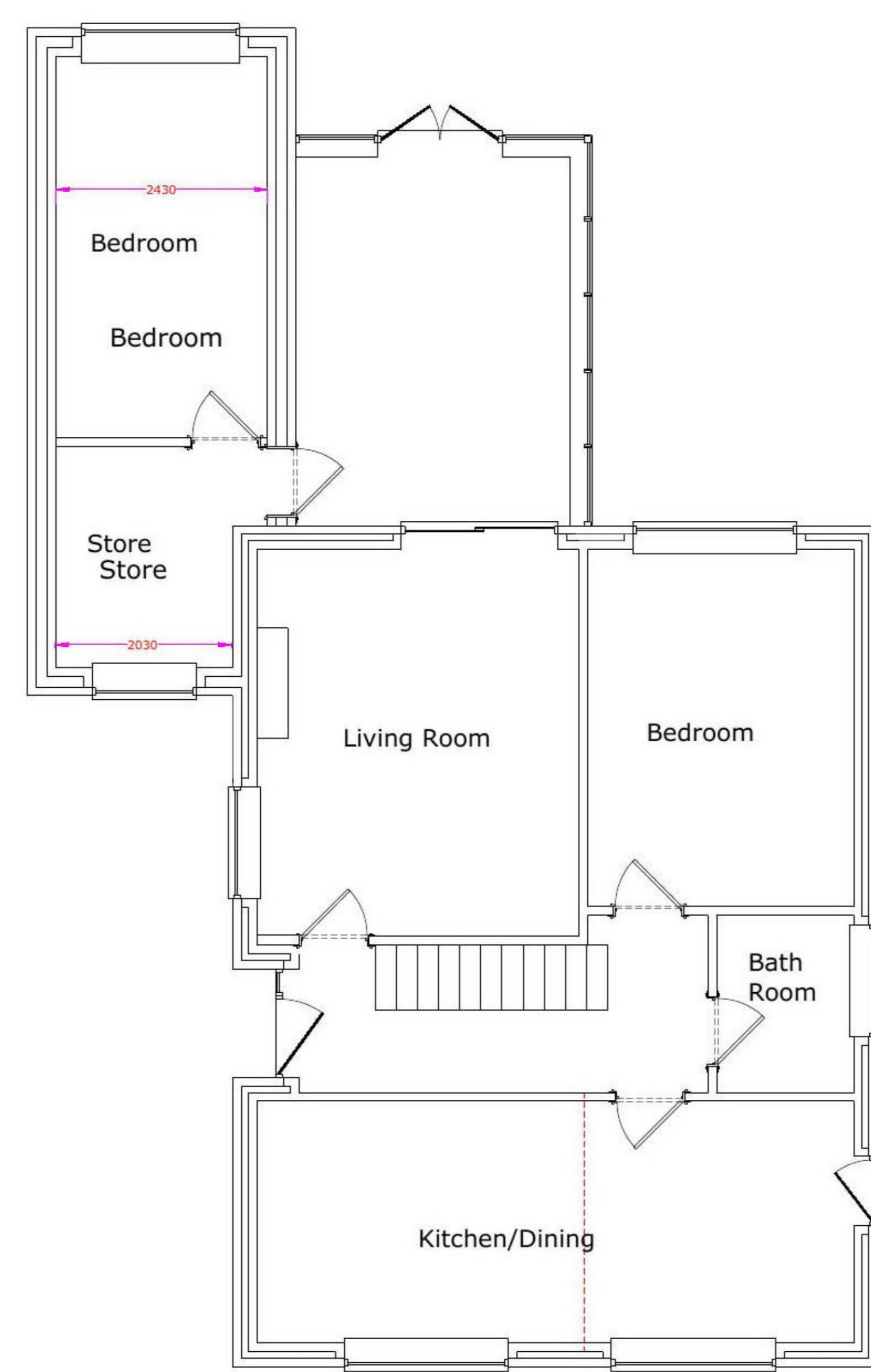
SITE PLAN 1:500



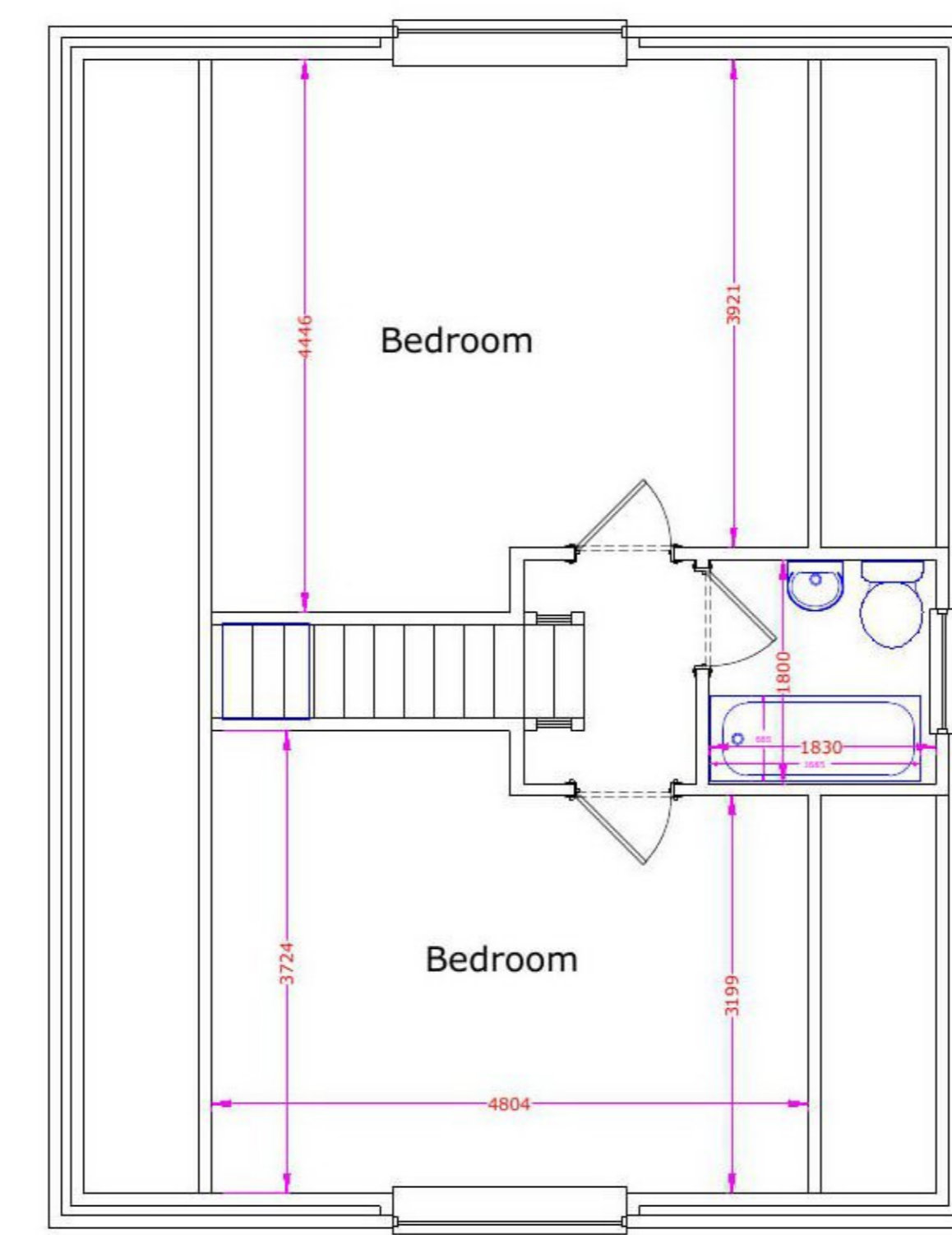
Previously approved extension currently under construction



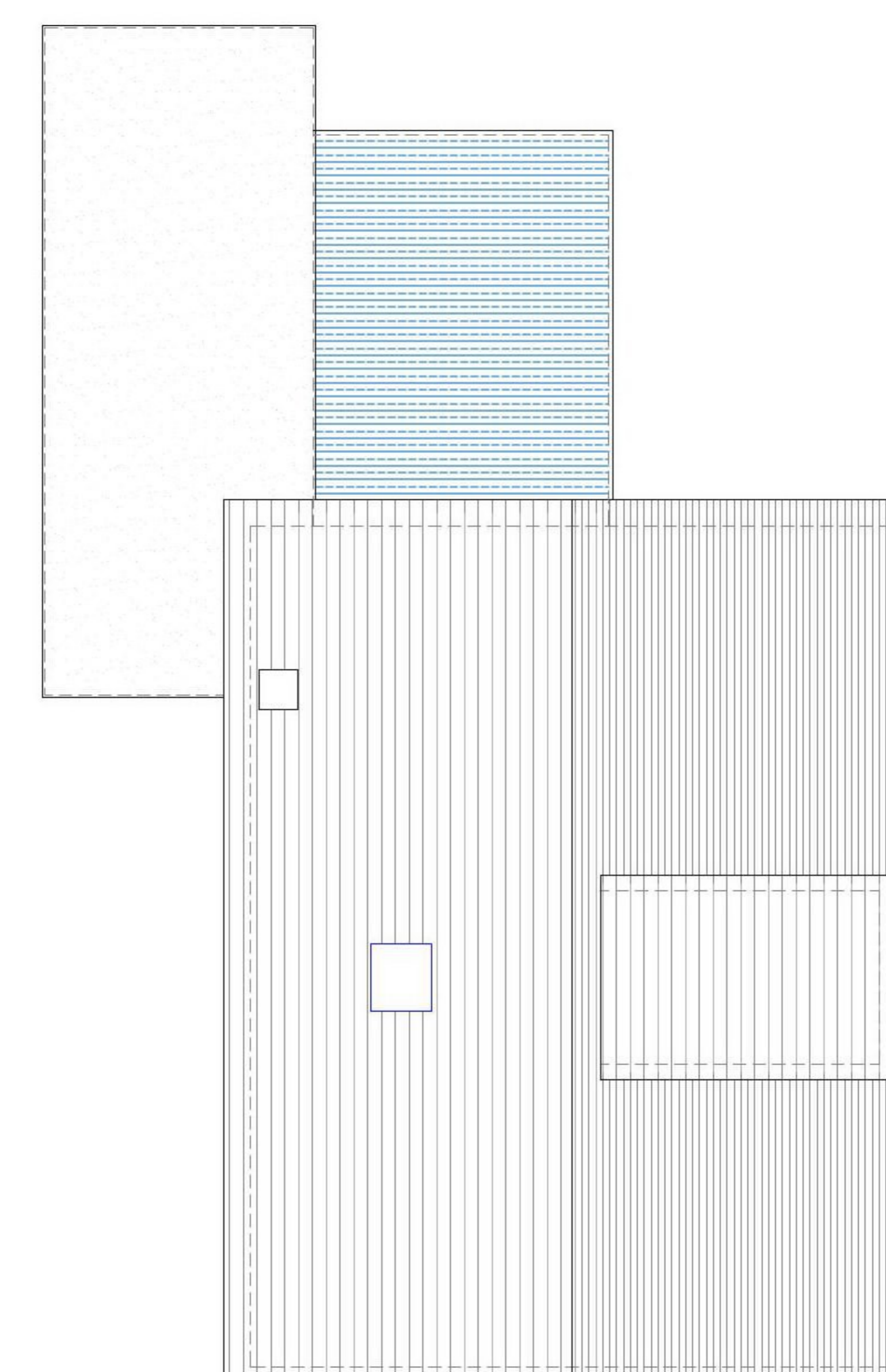
Existing Ground Floor Plan



Proposed Ground Floor Plan



Proposed First Floor Plan



Proposed Roof Floor Plan

<b>PROPOSALS IN BRIEF</b>		<b>DRAWING NUMBER</b>	
Replace existing roof with new one to include a dormer to the side		TYLE006	
<b>SITE LOCATION</b>			
54, CRAWTE AVENUE HOLBURY SOUTHAMPTON SO45 2GQ			
Submitted for comment to the Local Authority Floor plans and elevations 1:100		Measurements in mm and are approximate.	
<b>Extension Design Building Plans Ltd</b>		Richard Stummer 62, Foxhall Drive Dishon Purfieu Southampton SO45 4JZ	
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<b>PAPER SIZE - A1</b>			

**General notes - please read**

Party Wall Act 1996.  
Where building within 3 metres of a neighbour's existing wall is proposed, the Party Wall Act 1996 could apply and is the responsibility of the site owner to implement the Act prior to commencement of works. Further information on this can either be found through the Internet or Extension Design Building Plans Ltd.

**Commencement of works.**  
Building work should only be started when all of the following have been fully approved.  
1) Planning permission, Lawful Development Certificate or Prior Notification applications.  
2) Where planning permission is required, all conditions of approval must be settled prior to the start of work.  
3) Where building regulations approval is required, full written approval must be obtained from either the local authority building control or, a private building control company.  
4) Where structural steelwork is required, a separate certificate from the local authority checking engineers must also be obtained prior to the start of work.  
5) Where a build over agreement from a local water authority is required - the agreement must be given prior to the start of work.

**Work started before these permissions are granted are done so entirely at the site owners own risk.**  
All measurements shown on these drawings need to be rechecked on site before start of work by the contractor.

If any aspect of these drawings are unclear, please ask. Additional measurements, detail etc can be added if needed. Don't guess - always ask!

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