



I G U A N A  
A R C H I T E C T S

## **Design & Access Statement.**

**65 Highfield Gardens, London NW11 9HA**

**October 2023**



Project Name: 65 Highfield Gardens

Location: 65 Highfield Gardens, London NW11 9HA

Client: Private Client

File Reference: PS2210-DAS

Issue	Date	Author	Checked	Notes
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# 1. Introduction

This Design and Access Statement (DAS) has been prepared to support a Pre-Planning Application for the development at 65 Highfield Gardens, London.

The scheme seeks to demolish the existing detached home and introduce a large family-sized home that complies with the latest Building Regulations, space standards, sustainability principles, and energy efficiency.

The proposed scheme is of a six-bedroom detached home, that will provide two reception rooms, a large entertainment dining area, a separate TV room, a cinema room, an office study room.

The statement details the relevant planning policies, local context, details of the proposed scheme, and ambitions to create a new benchmark for high-end, sustainable home design that is considerate of the unique local context.

The application site is located in Highfield Gardens, which is bounded by Western Avenue and A502. The site benefits from excellent local transport provisions, Brent Cross Station within walking distance, as well as Hendon Central and Golders Green within 1-mile radius.

The public transport access level (PTAL) rating is 2. The site also sits close to local amenity areas and parks such as the amenity facilities such as Hendon Park, Clitterhouse Play Fields, and other local Parks, Basing Hill Park, Golders Hill Park, and Brent Reservoir.

The Planning Application includes a full set of existing and proposed plans, elevations and sections to support the application. In addition, supporting documents have been prepared to supplement the Planning Application to fully consider the impact of the proposed development.

The planning application should be considered alongside the following list of documents:

- Planning Application Form
- PS2207 – PL1010 - Planning Statement
- PL0001 – Location & Block Plan
- PL0010 – Existing & Proposed Site Plan
- PL0100 – Existing Floor Plans
- PL0101 – Demolition Floor Plans
- PL0110 – Proposed Floor Plans
- PL0115 – Proposed Floor Plans - M4(3)
- PL0410 – Existing & Proposed Front Elevations
- PL0411 – Existing & Proposed Rear Elevations
- PL0412 – Existing & Proposed Side Elevations Northeast
- PL0413 – Existing & Proposed Side Elevations Southwest
- PL0500 – Existing & Proposed Site Sections
- PL0511 – Existing Sections AA – BB
- PL0512 – Proposed Sections AA
- PL0513 – Proposed Sections BB
- PL0900 – Proposed 3D Views – Sheet 01



## 2. Executive Summary

### 2.1 Project Overview

This development will provide:

- The proposed scheme's key features and goals are focused on delivering high-quality, elegant, and timeless homes while incorporating sustainable and energy-efficient design principles to align with the latest trends and regulations.
- The vision of this project is to create a luxurious residential community that showcases the perfect synergy between contemporary elegance, timeless design, and sustainable living. The development aims to set new standards in the real estate market by offering a range of thoughtfully crafted, energy-efficient homes that harmonise with their surroundings and promote a greener, more eco-friendly lifestyle.

### 2.2 Design Approach

- **High-Quality Craftsmanship:** The project will prioritise impeccable craftsmanship, using premium materials and expert construction techniques to ensure the utmost quality and durability of each home.
- **Timeless Architectural Design:** The homes will be designed with a timeless aesthetic, combining classic elements with modern touches to create an enduring appeal that remains relevant for generations to come.
- **Sustainability and Energy Efficiency:** The development will adhere to sustainable building practices, incorporating eco-friendly features such as energy-efficient appliances, LED lighting, proper insulation, and renewable energy solutions to reduce the carbon footprint and decrease utility costs for homeowners.
- **Compliance with Regulations:** The project will strictly adhere to the latest local and national building regulations, ensuring full compliance with environmental and safety standards.
- **Integration with Surroundings:** The design of the housing development will take inspiration from the natural landscape and surroundings, ensuring seamless integration with the existing environment and fostering a sense of harmony between architecture and nature.
- **Smart Home Technology:** To align with current trends, the homes will be equipped with smart home technology, providing residents with enhanced control over lighting, heating, security, and other essential systems, promoting convenience and energy optimisation.
- **Amenities:** The development will include various amenity spaces on different levels, green areas, entertainment outdoor areas to promote an active and biodiversity lifestyle.

### 2.3 Scheme Summary

Iguana Architects has been instructed to prepare architectural designs for a six-bedroom detached home on the site at 65 Highfield Gardens.

The proposal description is as follows:

Demolition of an existing detached property and the construction of a large family detached home, comprising of six bedrooms, two reception rooms, a large entertainment dining area, a separate TV room, a cinema room, an office study room. The proposals also include an improved amenity spaces.



### 3. Site Location & Description

- 3.1. The application site is 0.0347 hectares in area. The site is located in the central area of Brent Cross within close proximity of Brent Cross Station.
- 3.2. The buildings surrounding the proposed development vary in scale from traditional two and three-story (including the room on the roof) detached and semi-detached homes. Three-storey terrace homes can also be found along St' Mary's Road, and block of flats on Golders Green Road.
- 3.3. Highfield Gardens is located in the London Borough of Barnet. The area around the site is surrounded by mainly residential with community facilities such as small businesses/ shops along Golders Green Road. Brent Cross Shopping Centre, and other Retail Parks can also be located within a mile radius of the site. Schools, religious assemblies, and amenity facilities can also be found within a miles radius within the site.



- 3.4. The site benefits from excellent local transport provisions, Brent Cross Station, Hendon Station, and Golders Green Station within 1-mile radius. Numerous bus routes run within proximity to the site, located along A406 and the A502. The public transport access level (PTAL) rating is 2.
- 3.5. The site has an abundance of high-quality green spaces and parks within a 1-mile radius, including Hendon Park, Clitterhouse Play Fields, and other local Parks, Basing Hill Park, Golders Hill Park, and Brent Reservoir. A little further away, approximately 1.5 miles is the Hampstead Heath Extension.
- 3.6. The site is not situated in a Conservation Area, nor does fall within the curtilage of a listed building.





## 4. Surrounding Land Uses

- 4.1. The existing land use around the site is predominately residential, with a few commercial spaces along Golders Green Road.
- 4.2. The existing detached home is situated on the southeast side of Highfield Gardens. The site surroundings is mostly characterised by detached home with roofs that have been substantially extended to accommodate additional rooms in the loft. Additional properties on the street are three-story properties which are either made up extensive roof conversions. A significant proportion of the properties within Highfield Gardens have been demolished, partially demolished and updated to meet today's standards and energy-efficiency and today's trends.



- 4.3. Most of these homes have a considerable footprint without detrimental impact on the street massing and amenity spaces. Please refer to the images below of the detached that have been replaced/ updated with larger modern-family homes.

No. 67 Highfield Gardens



No. 51 Highfield Gardens



No. 71 Highfield Gardens



No. 22 Highfield Gardens



No. 17 Highfield Gardens



No. 14 Highfield Gardens







## 5. Surrounding Building Heights

Highfield Gardens – Birds Eye View of Street building roof forms and shapes. As highlighted below, most properties along the Highfield Garden have substantial roof and footprint extensions. Please note the Google image below was last updated in 2020. Therefore, the precedent property at no.67 Highfield Gardens is not yet displayed.



- 5.1. As shown on the Google images above, clearly highlights the roof forms and extension along the street, which were taken as precedents to explore our proposed building ridge height and roof form. The typical roof forms found in the immediate vicinity of the site show that a crowned roof form is an established characteristic. Furthermore, the large building footprint and roof extensions are also an established architectural characteristic which informed the proposed scheme.







- 5.2.** A study of building heights was also carried out to gain an understanding of the development potential of the site within Highfield Gardens and its local context. Most buildings in the street are detached, two-storey structures with additional space in the roof. These properties were used as a reference to further investigate the existing ridge heights in the local area, as well as the prevalence of large roof extensions.

The image above and the front elevation below were both part of the roof ridge and eaves heights study. This study examined the neighbouring properties on either side of No. 65, which revealed the potential for raising the roof ridge, incorporating substantial roof extensions, and showcasing the prominent double-height bay window – another key architectural feature within Highfield Gardens.



## 6. Planning Context & History

6.1. The Barnet Council online planning register has been reviewed, and the following applications are noted as relevant to the application site:

*'Single storey rear extension' C06638 – Dec 1978*

*'New roof to provide second floor accommodation' C06638A – Nov 1992*

*'Single storey side and rear extension' C06638B – May 1998*

*'Retention of roof/canopy to porch at front' C00461 – Mar 2000*

6.2. The host site has four previous householders' consent to its planning history. This including the rear extension/ side infill, as well as the loft conversion. The proposed scheme seeks to work with the existing building footprint and its adjacent buildings massing.

6.3. Furthermore, along Highfield Gardens, the properties at no. 34, 51, 67, and 71 Highfield Gardens are particularly noteworthy due to their substantial property footprint and extensions. These properties serve as precedents for similar large-scale developments on the host site, especially given their similarity in architectural style, roof and basement extensions, and ridge height.

6.4. It is worth noting that recent developments have had a positive impact on the character of Highfield Gardens and the surrounding area. These developments have improved the architectural style and enhanced the local character with a modern approach. The schemes have also been considerate in maintaining ample amenity spaces, off-street parking, and incorporating sustainable principles.

6.5. The images below display the front elevation of some of the aforementioned properties. While these elevations may not be presented as a street scene, it is important to highlight that the ridge height of all these properties exceeds that of the proposed site. Similarly, the roof form has been incorporated as part of the design principle to ensure that the proposed site is in harmony with the surrounding street scene in terms of levels and style.

6.6. Moreover, the choice of materials has been carefully considered as part of a broader understanding of the existing street scene and the latest developments in the area. The scheme adopts a two-colour/materials approach, combining brickwork and stonework.



North-West (Front) Elevation

19/3065/FUL | Demolition of existing dwelling and erection of a two storey with basement level and rooms in the roofspace. Associated refuse/recycling, parking and cycle store | 67 Highfield Gardens



F/03092/11 | Part single, part two storey side and rear extensions plus conversion of garage into habitable room including formation of front bay window at ground floor level. Formation of new crown roof with side and rear dormer windows to facilitate a loft conversion. | 51 Highfield Gardens



## 7. Local Planning

### 7.1. Introduction

- 7.1.1. In this pre-application, the Development Plan in Barnet is the new London Plan 2021, and the Barnet Local Plan Policies 2012.
- 7.1.2. The National Planning Policy Framework (NPPF), National Planning Policy Guidance (NPPG), and Supplementary Planning Guidance are material considerations.
- 7.1.3. Set out below are those policies most relevant to the application, however, consideration is made against the development plan as a whole.

#### **Barnet Local Plan (2012) Policies:**

##### **Barnet Core Strategy Policies**

- Policy CS1: Barnet's place shaping strategy  
Policy CS3: Distribution of growth in meeting housing aspirations  
Policy CS4: Providing quality homes and housing choice in Barnet  
Policy CS5: Protecting and enhancing Barnet's character to create high-quality places  
Policy CS9: Providing safe, effective, and efficient travel  
Policy CS12: Making Barnet a safer place  
Policy CS13: Ensuring the efficient use of natural resources  
Policy CS14: Dealing with our waste  
Policy CS15: Delivering the Core Strategy

##### **Barnet Development Management Policies Document Policies**

- Policy DM01: Protecting Barnet's character and amenity  
Policy DM02: Development standards  
Policy DM03: Accessibility and inclusive design  
Policy DM04: Environmental considerations for development  
Policy DM08: Ensuring a variety of sizes of new homes to meet housing need  
Policy DM17: Travel impact and parking standards

##### **Supplementary Planning Documents (SPDs) & Other Relevant Documents:**

- Lambeth  
Building Alterations and Extensions SPD (2015)

### 7.2. Planning Considerations

The key planning considerations are whether the proposals are acceptable in design terms, thereby preserving the character and appearance of the property and surrounding area, and whether the proposals are acceptable in terms of amenities, continuing to ensure good living conditions at all neighbouring properties.

#### 7.2.1. Barnet Core Strategy Policies:

Policy CS1: Barnet's place shaping strategy – protection, enhancement, and consolidated growth – the Three Strands Approach states that the proposal will be supported where it responds to positive aspects of housing and economic growth in well-located areas that provide opportunities for development, creating a quality environment that will have positive economic impacts on the deprived neighbourhoods that surround them.





Policy CS3: Distribution of growth in meeting housing aspirations – states that proposals should positively respond to the housing needs and meet the range of 28,000 new homes to be provided within the lifetime of the Core Strategy up to 2025/26.

Policy CS4: Providing quality homes and housing choice in Barnet – Seeking to ensure that all new homes are built to Lifetime Homes Standards and that through extending the inclusive design principles embedded in Lifetime Homes we can create Lifetime Neighbourhoods that are welcoming, accessible, and inviting for everyone, regardless of age, or health, or disability.

Policy CS5: Protecting and enhancing Barnet’s character to create high-quality places – states that proposals should positively respond to the local context and distinctive local character creating places and buildings of high-quality design. Developments should:

- address the principles, aims, and objectives set out in the following national design guidance:

By Design, Secured by Design, Safer Places, Inclusive Design, Lifetime Homes, and Building for Life:

- be safe, attractive, and fully accessible
- provide vibrant, attractive, and accessible public spaces
- respect and enhance the distinctive natural landscapes of Barnet
- protect and enhance the gardens of residential properties
- protect important local views from places within Barnet (as set out in Map 8)
- enhance the borough’s high-quality suburbs and historic areas through the provision of buildings of the highest quality that are sustainable and adaptable.

Policy CS9: Providing safe, effective, and efficient travel – Proposals to promote the delivery of appropriate transport infrastructure in order to support growth, relieve pressure on Barnet’s transport network and reduce the impact of travel whilst maintaining freedom and ability to move at will.

Policy CS12: Making Barnet a safer place – Proposals should aim to make Barnet a safer place and to ensure through the management of growth that Barnet is a place where people from different communities get on together.

Policy CS13: Ensuring the efficient use of natural resources – Proposals to promote and deliver the following:

- The highest environmental standards for development and through our SPDs on Sustainable Design and Construction and Green Infrastructure.
- To be energy efficient and seek to minimise any wasted heat or power.
- Minimising Carbon Dioxide Emissions we will expect major development in accordance with the Mayor’s energy hierarchy to reduce carbon dioxide emissions beyond the 2010 Building Regulations.
- Maximise opportunities for implementing new district-wide networks supplied by decentralised energy (including renewable generation) in partnership with key stakeholders in areas of major mixed use growth including town centres.



- Support solutions that minimise or avoid harm to a heritage asset's significance while delivering improved energy performance or generation.
- Water efficient borough and minimise the potential for fluvial and surface flooding by ensuring development does not cause harm to the water environment, water quality and drainage systems.
- Development should utilise Sustainable Urban Drainage Systems (SUDS) in order to reduce surface water run-off and ensure such run-off is managed as close to its source as possible subject to local geology and ground water levels.
- Improve air and noise quality by requiring Air Quality Assessments and Noise

#### Policy CS14: Dealing with our waste

- Promoting waste prevention, re-use, recycling, composting and resource efficiency over landfill.
- Requiring developments to provide waste and recycling facilities which fit current and future collection practices and targets.
- Designating sites through the NLWP to meet an aggregated apportionment target across the seven North London boroughs. These sites will be the principal locations considered suitable for waste facilities.
- Safeguarding all existing waste facilities in Barnet including a Waste Management Facility in the Brent Cross – Cricklewood Regeneration Area

#### Policy CS15: Delivering the Core Strategy – Work with Local Strategic Partnership to deliver the policies of this Core Strategy:

- Utilise the Infrastructure Delivery Plan to improve understanding of current and future assets and their long-term investment and management.
- Work with relevant providers and developers to ensure that necessary infrastructure is secured and delivered in time to support Barnet's consolidated growth and development and provide the facilities needed for the borough's communities.
- Use planning obligations where appropriate alongside other suitable funding mechanisms to support the delivery of infrastructure, facilities and services to meet needs generated by development and mitigate the impact of development;
- Work with neighbouring boroughs to co-ordinate delivery across boundaries; and
- Monitor the implementation of the Core Strategy and publish the results in our Annual Monitoring Report.

#### Basement Extensions

- The council recognises the benefits of providing basement accommodation but is concerned to ensure that such development does not harm the established architectural character of buildings and surrounding areas, including gardens and nearby trees, and that no adverse impact is caused to the amenity of neighbouring properties.
- Often with basement development, the only visual manifestations are light wells and skylights, with the bulk of the development concealed wholly underground and away from any public view.



- The council will normally allow single floor basement extensions which do not project further than 3 metres from the rear wall of a house or more than half its width beyond each side elevation.
- The following points should be considered for basement extensions-
- Nearby trees roots on or adjoining the site should not be damaged.
- Not more than 50% of the amenity space (garden or front court yard) should be removed.
- Neighbouring ground water conditions should not be adversely affected.
- Any exposed area of basement should be subordinate to the property being extended and respect its original design and proportions. The length of any visible basement wall should not dominate a property nor extend its full width. In number, form, scale and panel size, basement windows should relate to the façade above. They should be aligned to any openings at the higher level and be of a size that is clearly subordinate to these so as to respect the character of the original building.
- Light-wells at the front need to appear as discreet interventions that do not harm the character or appearance of the building and its frontage. In situations where light-wells are not part of the established street scene, the nature of the front garden will help to determine their suitability. Where the depth of a front garden is sufficient, basement light-wells are more easily concealed by landscaping and boundary treatments providing a visual buffer from the street. In such circumstances light-wells that are sensitively designed may be acceptable, subject to other design requirements.
- Railings, grilles and other light-well treatments must avoid creating visual clutter and detracting from an existing front boundary wall, or obscuring front windows. This is particularly important in shallow gardens where front lightwells should be secured by a grille which sits flush with the natural ground level, rather than with the use of railings. Railings will be considered acceptable where they form part of the established street scene, or would not cause harm to the appearance of the property and neighbouring area.
- All rooms within a basement should be able to function properly for the purpose intended. They should be of an adequate size and shape and receive natural lighting and ventilation. All habitable rooms within basement accommodation should have minimum headroom of 2.3 metres.

### 7.2.2. Site Main Issues – Consideration and Response

#### **Main issues considerations:**

- Impact on the character and appearance of the street scene and general locality
- Impact on the amenities of existing plot
- Standard of accommodation for future occupiers
- Impact on highway safety
- Future Homes Design implementation
- Appearance - Keeping with front double bay windows, large roof extensions, and rear dormers in character and proportions of the rest of the street.
- Access – Vehicle access to be improved and provide two parking spaces
- Biodiversity and Trees – to be fully explored and additional trees and flower beds to be planted
- Refuse and Cycle store – to be in accordance with the LPA





**Main issues responses:**

- As stated earlier in the site analysis section, the proposals have been thoroughly examined to align with the prevailing street character and architectural style. Furthermore, given the site's strategic location and its proximity to adjacent properties, it has become evident that the host site presents a significant opportunity for mirroring similar building footprint, massing, roof extensions, and ridge height.
- The proposed building footprint has shown a minimum impact on the host site amenity and neighbouring properties. The proposed site provides 98sqm of amenity space, the lower ground floor has a total of 16sqm of amenity space, this including an indoor/ outdoor gym space. The ground floor provides 55sqm of amenity space, which has straight links to the kitchen and lounge areas. The scheme is providing more than the required under the London and Local Plan.
- The proposal has been designed to comply with the Lifetime Homes, London Housing Design, and the Barnet Local Plan CS4 Policy. The proposals have also been developed to comply with future-proofing for M4(3) requirements. A set of diagrammatical plans will be provided to show the layout modifications and considerations.
- As the site falls under a PTAL rating of 2, it is important to retain the two parking spaces. Cycle store and short stay stands have also been provided.
- Basement has been analysed and optimised to improve amenity spaces, and living spaces. Moreover, basement will be in compliance with policies and impact assessment.



## 8. Planning Statement

This Planning Statement has been prepared by Iguana Architects to accompany the planning application for the redevelopment of 65 Highfield Gardens.

The Application seeks planning permission for the following development proposal:

“Demolition of existing dwelling and erection of a two storey with basement level and rooms in the roofspace. Associated refuse/recycling, parking and cycle store”

This Statement has provided an assessment of the proposals against the Statutory Development Plan, as required by Section 38(6) of the Planning and Compulsory Purchase Act 2004.

The proposals will ultimately bring the following benefits to the Site:

- The delivery of a new high-quality family detached home;
- Provision of residential units that are highly accessible and adaptable;
- The delivery of significant landscaping, including the incorporation of green infrastructure to enhance site biodiversity;
- A development that will achieve high levels of sustainability and energy performance;
- Provision of high-quality, modern, and high-performance homes;
- Ensuring the optimisation of the Site, delivering a sustainable form of development in accordance with the current adopted planning policy.

In conclusion, the Proposed Development is considered to be in accordance with the relevant national planning policy guidance and the development plan and there are strong material considerations that indicate why development should be permitted. It is therefore respectfully requested that the proposals are recommended for approval.....



## 9. Pre-App Response

The proposals were initially submitted for a Pre-Application on the 06th of September 2023. The aim of the pre-application was to address and explore the site design and strategies potential for the site.

The Pre-Application conclusion were the following below:

Supportive comments below:

- *There is no designation on the existing building and as such there would be no objection to its demolition in principle, subject to the provision of a replacement building of appropriate appearance and amenity.*
- *A green roof is considered to have a positive impact on the development as it buffers the hardscape and will make a positive contribution to local biodiversity.*
- *The proposed eaves height will be no taller than the eaves of neighbouring no. 63 and will measure 0.20 metres above the eaves of no. 67. This is considered acceptable, as there are level changes between no. 67 and 65, whereby the land at no. 65 is elevated above no.67. slightly. The proposed ridge height will be no higher than the existing ridge.*
- *The proposed curved roof dormers to the side and rear roof slopes are considered acceptable.*
- *The proposed front two-storey bay window and gable-end is acceptable in principle; however, its projection must be reduced slightly. It currently appears an overly dominant feature of the dwelling, and whilst its projection has already been set back slightly, since viewing the proposed block plan again, it must be set back by another 0.25 metres to ensure it does not overpower the neighbouring facades. (Bay set back further 250mm as suggested.)*
- *The proposed basement/lower ground level is considered acceptable in terms of character.*
- *The lightwell to the rear measures 1.5m in depth and is exposed for the property to gain good levels of light into the basement/lower ground level. The height of the lightwell wall measures 1.40 metres, lined by a flower bed, and the rest of the garden will be elevated 0.38m above this. Lowering of the existing garden by 0.9 metres should not detrimentally impact the character of the area, provided that the applicant can demonstrate that the health of nearby trees can be safeguarded. The scheme has been significantly improved since the initial pre-app design.*
- *The overall footprint of the dwelling is not considerably larger than the existing dwelling when viewed from the street scene. Officers consider the proposed dwelling to be of an acceptable size, scale, design, and layout which would improve the existing site and respect the character of Highfield Gardens.*
- *Overall, the development is largely acceptable with regards to character, neighbouring amenity, and future amenity. A few amendments have been suggested within the body of the report, and these should be followed at application stage for approval.*





## 10. The Proposal



Figure 2 Proposed Front Elevation Entrance.



Figure 3 Proposed rear elevation and garden area.



- 10.1.** The proposal aims to optimise the development potential of the site whilst incorporating good design principles. The designs seek to optimise the use of the land while remaining at an appropriate scale for the local context and ensuring a good level of amenity is retained for future residents.
- 10.2.** The detached dwelling provides a generous six-bedroom, with an additional office/ study area, multiple reception rooms, including a gym/ spa room. The dwelling match or exceed the minimum space standards set out in the National Technical Housing Standards and as amplified by Policy 3.5 (Quality and Design of New Housing Developments) of the London Plan and the associated Supplementary Planning Guidance.
- 10.3.** Issues such as scale, density, access and approach, cycle storage, amenity, refuse and recycling, daylight and sunlight, outlook and overlooking, environmental performance, and sustainability have all been carefully considered, and the current proposals represent the provision of much-needed good quality family accommodation.
- 10.4.** The following sections provide a more detailed summary of how each of these issues has been considered and successfully addressed.



## 11. Site Layout and Floor Plans

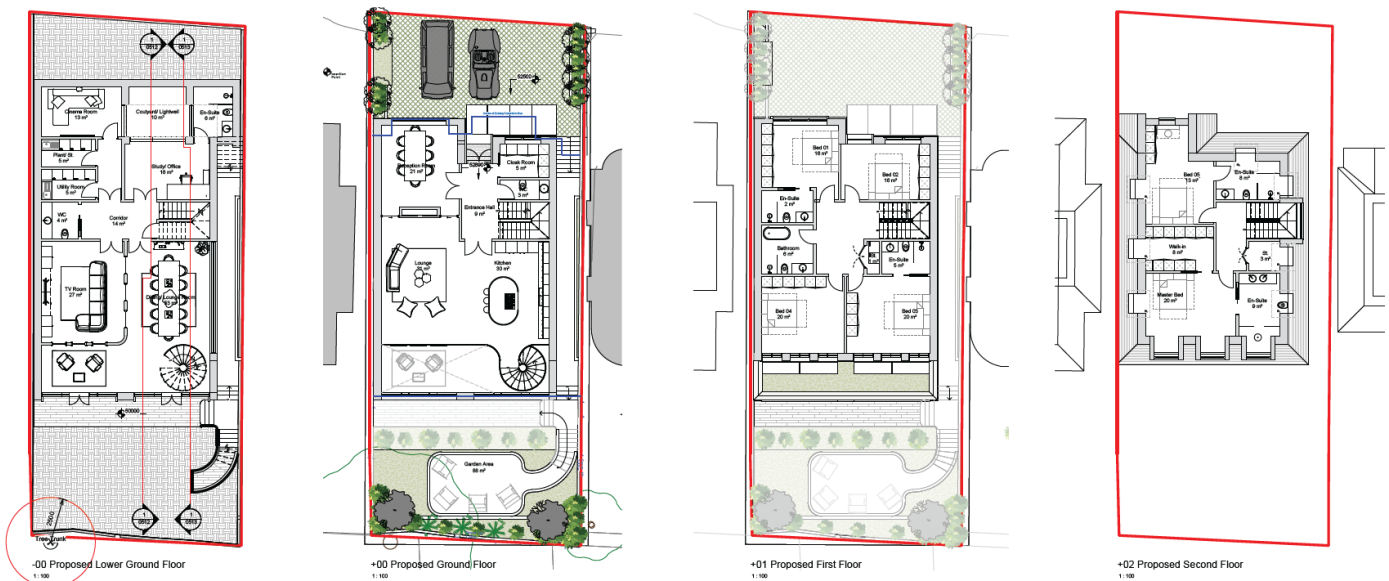


Figure 4 Proposed Floor Plans.

- 11.1. The proposed scheme was designed based on three key principles; the existing building footprint (as highlighted in blue above, under the 'Proposed Ground Floor Plan'; the adjacent properties footprint and massing; and the double height bay windows, which is an architectural feature along Highfield Gardens. The proposed scheme of rear massing and roof and form/ extensions are also a representation of the existing and local buildings.
- 11.2. Internal layouts and design of the residential units have been developed in compliance with the housing standards defined within the London Plan (Housing: Supplementary Planning Guidance (March 2016) and Policy CS4: Providing quality homes and housing choices in Barnet.
- 11.3. The proposed scheme exemplifies an exemplary response to the unique site conditions, constraints, and opportunities it presents. The designers and planners have taken into careful consideration various key factors, such as the topography of the land, prevailing weather patterns, and existing vegetation, to create a harmonious integration of the development with its natural surroundings.
- 11.4. The choice of materials and architectural design further reflects the area's vernacular, paying homage to the local heritage while embracing contemporary elements that imbue the development with a sense of timeless elegance
- 11.5. Moreover, other design constraints such as local planning regulations and environmental preservation requirements. The development showcases a seamless integration with the neighboring properties, maintaining a respectful distance to ensure the privacy and tranquility of both existing residents and future occupants.
- 11.6. The scheme has been designed to provide high-quality amenity space that is divided into different levels and activities/purposes. It is also important to highlight as per the new property footprint the proposed amenity has not changed as per existing amenity GIA, however, the scheme amenity circulation and biodiversity have hugely improved. The amenity areas are also in compliance with London Plan Policy D6 Housing quality and standards. Both amenity floors have direct access to the house, which creates a larger amenity feel overall for outdoor/ indoor activities.





## 12. Adaptable Floor Plan M4(3)

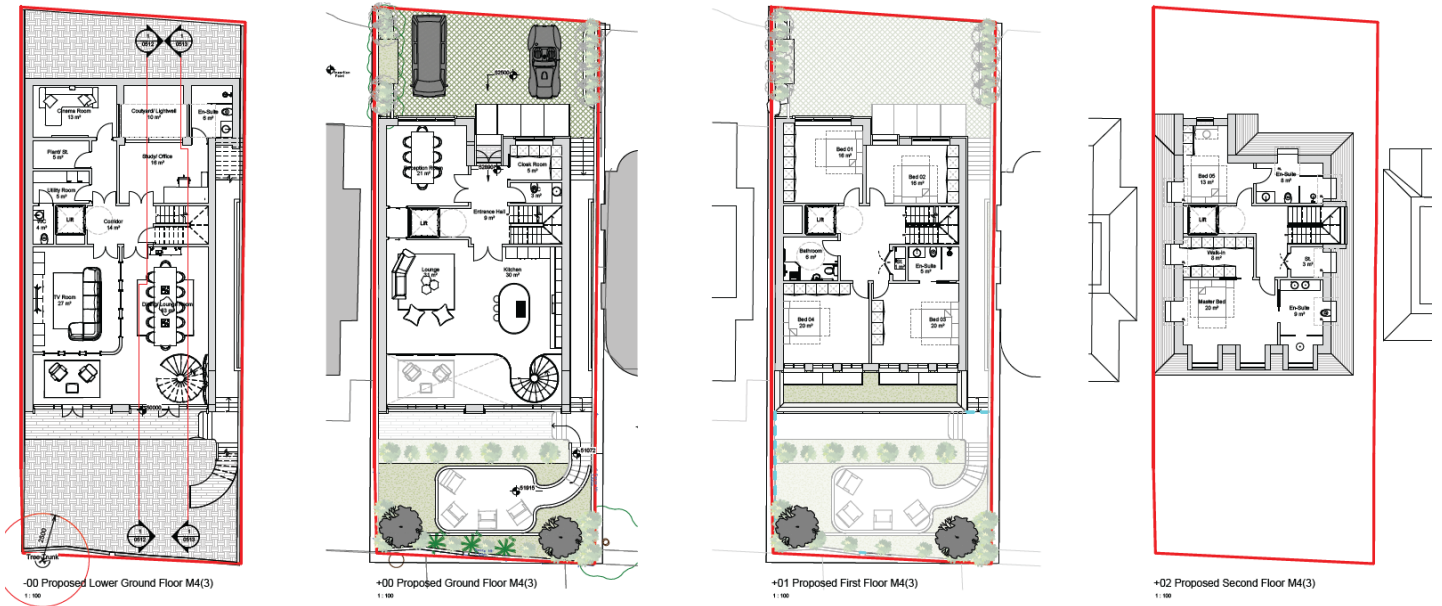


Figure 05 - Proposed Floor Plans M4(3)

**12.1.** The scheme has also been optimised to account for Part M requirements. The proposal's layout and flexible future-proofing spaces are a clear response to these issues. Prior to a full plan application, the proposals will be fully analysed and submitted with an additional M4(3) layout plan to show the internal future updates for adaptation. Please see below an outline of the M4(3) proposed floor plan.





## 13. Use

- 13.1. We are pleased to present the proposed development for a three-storey detached dwelling, incorporating an additional room on the roof. The design concept aims to provide a modern and spacious residential property that harmonizes with the surrounding environment.
- 13.2. The three-storey layout allows for a well-organized distribution of living spaces, with ample room for comfortable living, entertaining, and relaxation. Careful consideration has been given to the architectural aesthetics, ensuring a visually appealing and cohesive design.
- 13.3. The roof and lower ground floor area have been intelligently utilised to create an extra room, offering versatility and potential for a variety of uses, such as an additional master bedroom, home office, or leisure space. These additions not only increase the functional capacity of the dwelling but also complement the overall architectural integrity.
- 13.4. Our proposal adheres to local planning regulations and building codes, incorporating sustainable practices and energy-efficient features to promote environmental responsibility and minimize the property's carbon footprint. The current proposals represent the provision of much-needed good quality residential and family accommodation.
- 13.5. The envisioned development seeks to enrich the neighborhood with a high-quality residential dwelling that reflects contemporary living standards and enhances the overall appeal of the community. The proposals also provide adaptable layouts M4(3).
- 13.6. The scheme is now providing sufficient bike, bin storage, and amenity spaces, as well as in compliance with Part B of the Building Regulations.
- 13.7. The following sections provide a more detailed summary of how each of these issues has been considered and successfully addressed.



## 14. Amenity Spaces

- 14.1. The scheme has been designed to provide high-quality amenity space and complies with London Plan Policy D6 Housing quality and standards.
- 14.2. The amenity spaces in this development have been thoughtfully designed to cater to the residents' diverse needs and preferences, providing an array of engaging activities and seamless connections to indoor areas.
- 14.3. Spanning across two levels, these amenity spaces offer a multifaceted experience for the residents to enjoy. On the ground floor, a spacious and welcoming lobby area greets residents and guests, with an outdoor/ indoor feel that links the dining and living spaces at ground level, enabling social interactions and gatherings. The lobby features comfortable seating arrangements, creating an inviting atmosphere for residents to connect and unwind.
- 14.4. Moving to the upper level, residents are greeted by a vibrant and versatile common area that is linked to the kitchen/ lounge area at the ground floor level. This area has been cleverly designed to accommodate various activities, ranging from casual lounging and reading to more dynamic social gatherings and events. Comfortable seating nooks and communal tables are strategically placed, offering residents opportunities for relaxation and interaction.
- 14.5. The amenity space has direct links to the indoor areas, ensuring easy accessibility and fostering a sense of unity between the communal and private living spaces. Large glass doors and windows create a visual connection, seamlessly integrating the indoor and outdoor areas.
- 14.6. Outside, residents have access to beautifully landscaped gardens and outdoor seating areas, providing a tranquil escape from the hustle and bustle of daily life. The outdoor spaces serve as an extension of the indoor amenity areas, encouraging residents to connect with nature and enjoy the fresh air in a safe and well-maintained environment.
- 14.7. The site has an abundance of high-quality green spaces and parks within a 1-mile radius, including Hendon Park, Clitterhouse Play Fields, and other local Parks, Basing Hill Park, Golders Hill Park, and Brent Reservoir. A little further away, approximately 1.5 miles is the Hampstead Heath Extension.

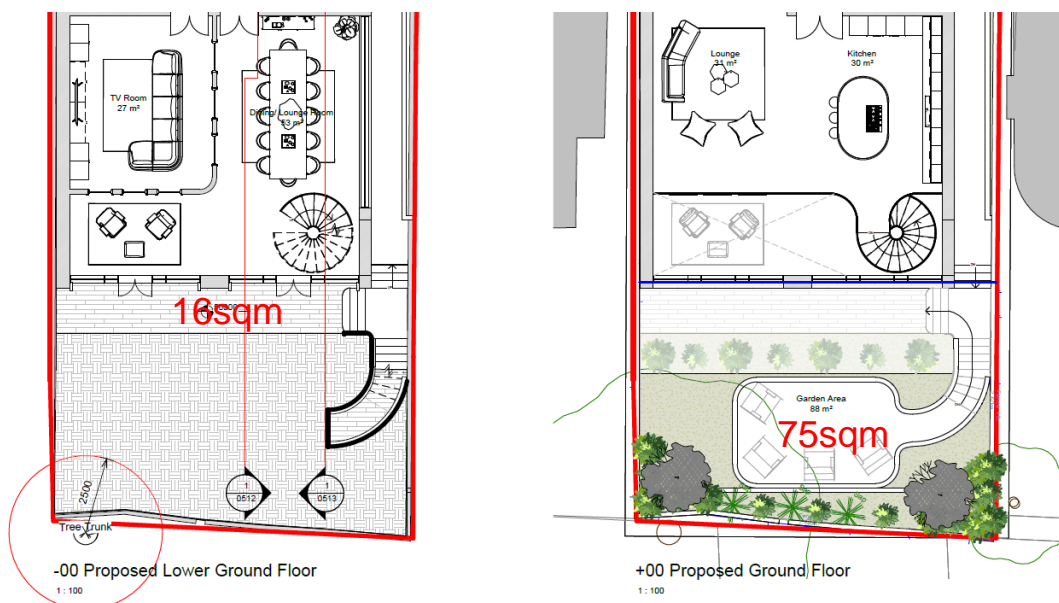


Figure 06 - Proposed Ground Floor Plan – Amenity Areas



## 15. Amount

- 15.1.** The proposal will provide a large detached family home at 475sqm. All rooms within the scheme exceed the minimum space standards set out in the National Technical Housing Standards and as amplified by Policy 3.5 (Quality and Design of New Housing Developments) of the London Plan and the associated Supplementary Planning Guidance.
- 15.2.** The proposed scheme will encompass six spacious double bedrooms, accompanied by four en-suite facilities and three additional bathrooms. The interior layout will feature a diverse range of living spaces, including two reception rooms, an open-plan lounge, and a kitchen area, with seamless connections to the outdoor space. Moreover, the scheme will include a generously sized dining area, a dedicated office or study room, as well as a cinema and TV family room, all with convenient access to amenity space/ lightwell.



Figure 07 - Proposed Floor Plans

- 15.3.** The scheme is also providing sufficient parking spaces, bike storage, and refuse. Please refer to the below:

### Car Parking

Due to the proposal PTAL location. The scheme will provide two parking spaces per dwelling.

### Cycle Parking

With reference to the London Plan cycle parking provision as follows:

- 2 cycle spaces per two or more bedrooms.
- Bike stores will be located at the lower ground floor level, with additional ground anchors to the front paving area.

### Waste Management

Refuse, recycling, and organic waste stores have been positioned in close proximity to the front garden and street level, this to be accessible and convenient to all households and waste collection systems. Waste stores and doors are to be made of durable, hard-wearing materials and the store will have a water supply, drainage, and lighting.



## 16. Scale

- 16.1.** The building form follows the street elevation as a precedent of traditional and modern detached family homes. The proposed detached large family home embodies a harmonious blend of modernity and classic design elements, creating an elegant and functional living space for its future occupants.
- 16.2.** The exterior facade boasts a striking double bay window, a key architectural feature along Highfield Gardens, adding a touch of sophistication and providing an abundance of natural light to the interior spaces. This architectural feature not only enhances the aesthetic appeal but also embeds the design to both adjacent properties no. 63 and 67.



Figure 08 - Proposed Street Scene Elevation.

- 16.3.** During the early stage of the design development, meticulous analysis of the surrounding area and massing is undertaken to lay the foundation for a well-informed and contextually responsive architectural proposal.
- 16.4.** The design development explored different volumetric configurations, considering various building heights, setbacks, and roof forms to determine the most suitable massing strategy. The aim is to achieve a balanced composition that respects the scale of neighboring buildings, avoids overshadowing, and preserves the street elevation.



Figure 09 - Proposed Scheme rear views to garden.





**16.5.** Due to the nature of the proposed development and the introduction of a lower ground level. An analysis of the adjacent buildings and site was also taken into consideration. This includes the existing and proposed topography, as well as the existing and proposed massing. As highlighted in the site section below, the proposed building footprint is the same as the existing, and due to the adjacent property at no. 67 massing and roof extensions, it can be argued that the proposed scheme rear massing is in proportion to the host site and the adjacent properties.

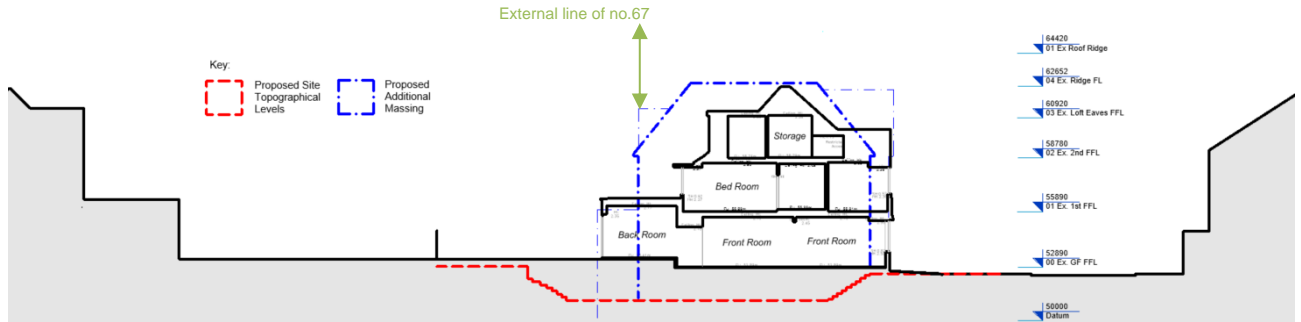
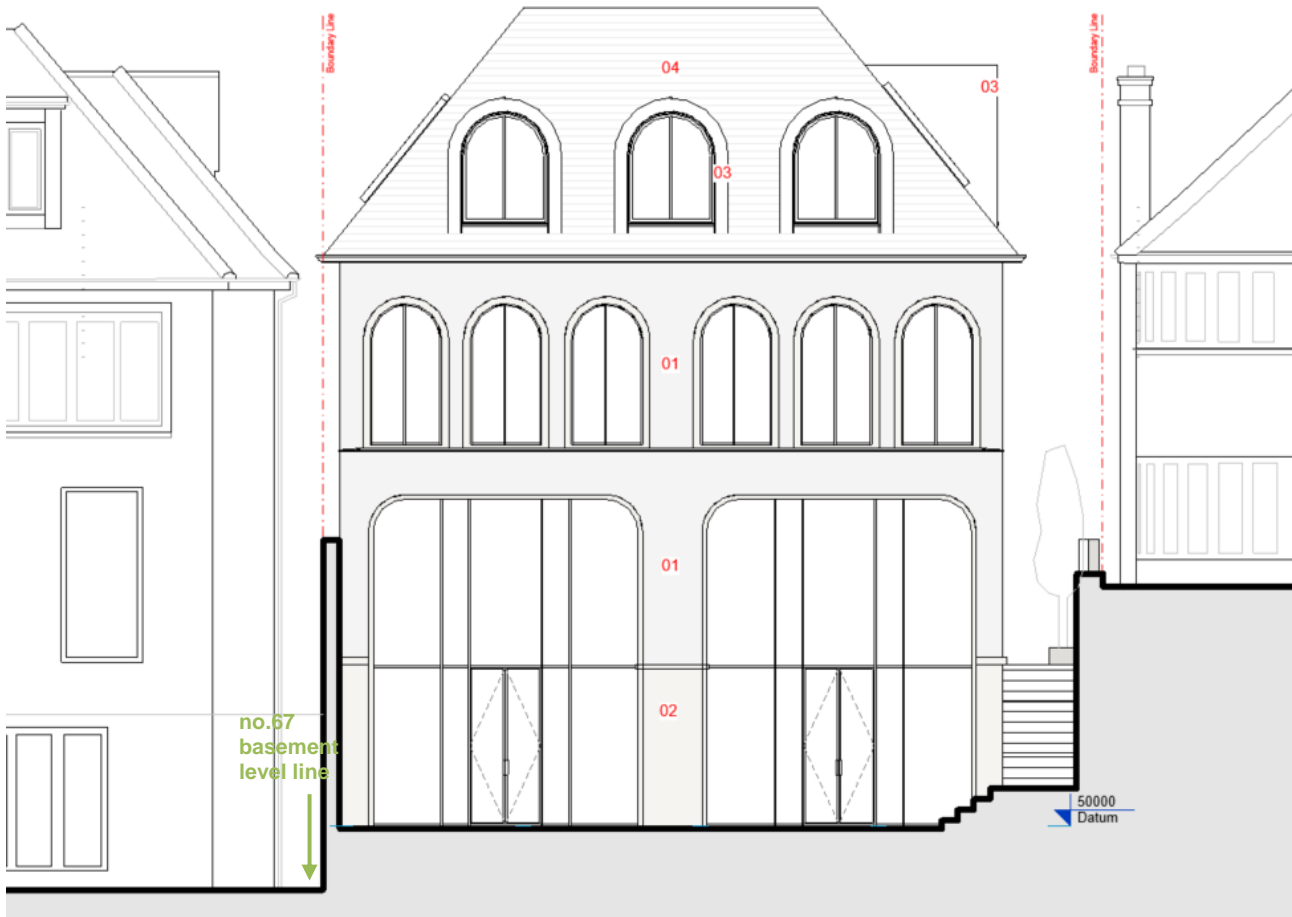


Figure 10 – Existing Site Section and Outlined Proposed Comparison.



**15.6.** Basement to be constructed as follows:

- The proposed basement will be a single-floor basement extension, which will not project further than 3 metres from the rear wall of a house or more than half its width beyond each side elevation.
- Nearby tree roots on or adjoining the site will not be damaged.
- The basement will have no impact on the amenity space and will enhance the variety of amenity spaces.



- The visible length of the basement wall will not dominate the property.
- Light wells at the front will be discreet interventions that do not harm the character or appearance of the building and its frontage.
- All rooms within a basement will be able to fully functional and to space standards.
- 500mm soil build-up to be retained at ground floor amenity.

15.7. The scheme existing and proposed section is shown below to show the additional massing and levels. As shown in the sections the eaves of the proposed scheme are almost at the same level as per existing massing. In addition, the site levels also work in the existing topography.

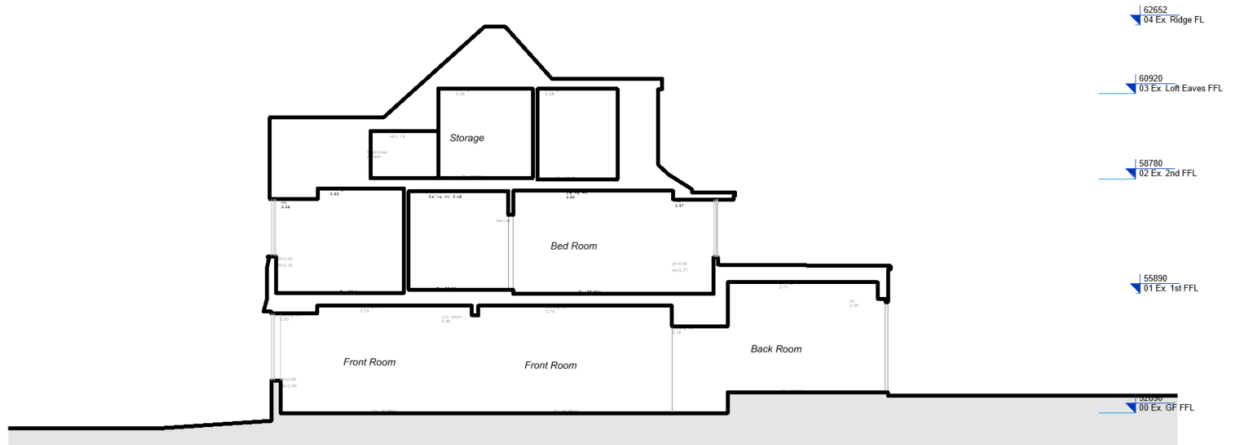
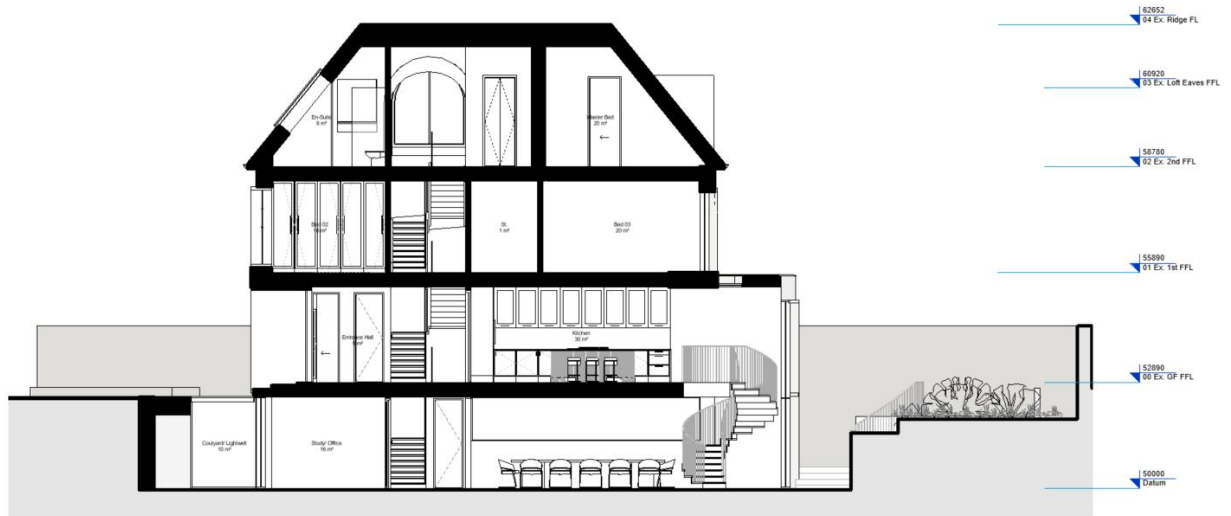


Figure 12 - Existing Section AA



SC - Proposed Section AA  
1:30

Figure 13 - Proposed Section AA



## 17. Appearance

- 17.1.** A study of the surrounding nearby context has shown that the area is characterised by predominantly brick, render, and red clay tiles. The predominant brickwork colour is a mixed red and brown colour, with many buildings being partly rendered, however, there are a number of more modern developments that utilise timber cladding.
- 17.2.** The materials and appearance will be of high quality and be part of an integral part of the design. The proposals are predominantly of long mixed brown brick with stone details and stone cladding at lower ground level. Both colour tones will be in keeping with the surrounding urban fabric. Masonry and stone cladding have the benefit of being robust and lasting materials, this will give the building a timeless architectural character. The proposal would use two tones of brick and stone cladding to add a lighter tone at the ground floor level of the building, in order to create the appearance of a plinth, and a darker tone of long brown brick at the ground and first floor, diminishing the apparent mass of the building and double bay window.



Figure 14 Proposed Rear Elevation View.

- 17.3.** A carefully curated palette of materials has been deliberately selected to achieve a harmonious and cohesive architectural design, while simultaneously respecting and reflecting the local context and prevalent materials. The front element of the building features a combination of mixed brown brick, adorned with stone window and banding detailing. Likewise, the rear façade will display a harmonious mix of brown brick and stone detailing, albeit with a distinction in the ground floor material. Complementing the overall composition, the front dormers will be finished with clay tiles that perfectly match the roof material, while the rear dormers will be distinguished by their dark grey/black zinc cladding.



**17.4.** The design incorporates subtle brick detailing, such as projecting banding, to artfully break up the material massing of the façade. Emphasizing a harmonious blend of aesthetics and functionality, generously proportioned full-height windows play a pivotal role in the design. Not only do they enhance the overall visual appeal, but they also facilitate an ample influx of natural daylight into the interior spaces, significantly reducing the need for artificial lighting. To complement the brick tones, dark powder-coated aluminum framed windows and doors have been selected, adding an elegant finishing touch to the overall design.

Precedent images here indicate the materiality, design principles, and quality standard the proposed development is being benchmarked against.



Figure 16 – Precedents





## 18. Landscape & Sustainability

- 18.1.** The proposed works have been designed using the principles of Biophilic Design. The term Biophilia literally translates to mean Bio = Life and Philia = Love of. Therefore, the approach means 'Love of Life'. This relatively new design discipline is focused on fusing nature and architecture so as to improve human physical and mental well-being whilst promoting nature's return to the built environment. The benefits of taking such an approach to the built environment are that people and nature are always put at the forefront of design decisions and the resultant buildings, in almost all cases, tend to increase their financial values and their inhabitants develop deeper connections to their homes. It's a true triple-bottom-line approach, people, plant, and profit.
- 18.2.** The design intentions should not only be seen within the design quality but in conjunction with a landscape-led design. This is not only to promote sustainable principles within the site but also to integrate an open space environment into homes. The cour garden area will be designed with a planting palette in mind to create a green time-out space within the residential/ urban environment.
- 18.3.** Clump-forming flowers and evergreens will work in tandem to create an intimate sheltered micro-climate where people will want to sit and relax. An abundance of evergreen species maintains year-round cover and gives a subtlety to the perennials that will come and go with the seasons, as well as providing rich biodiversity.
- 18.4.** The landscape proposals will include a variety of plants that will be appropriate for sunny and shady areas within the rear and front garden areas.
- 18.5.** The Planting across the sunny areas will comprise native and exotic planting to maximise visual interest and ecological value. Plants will be arranged in swathes/blocks to create impact through designed repetition and bold colours. Sensory planting in bold colours will help to attract birds and insects for pollination and seed dispersal but are equally attractive to site users. Where possible the planting scheme will include many edible plants and those which have strong aromatic qualities, encouraging closer inspection and interaction. Sound will also be created through the inclusion of tall grasses, which will provide perpetual animation to the space, combined with a soothing rustle.
- 18.6.** Though more challenging, the shaded areas of the courtyard/ garden area do not preclude the development of a rich planting layer with valuable biodiversity enhancement opportunities. The plant palette mixes evergreen shrubs with perennials and ferns, which will be planted in a tiered arrangement to create a formal structure. Evergreen shrubs provide a core of year-round colour, with smaller perennials towards the front of the beds to provide visual interest. The planting beds will consist of block planting arrangements, with circa 60% evergreen species, to provide valuable habitat cover during the winter months.



Figure 17 Proposed Front Garden Planting Area.

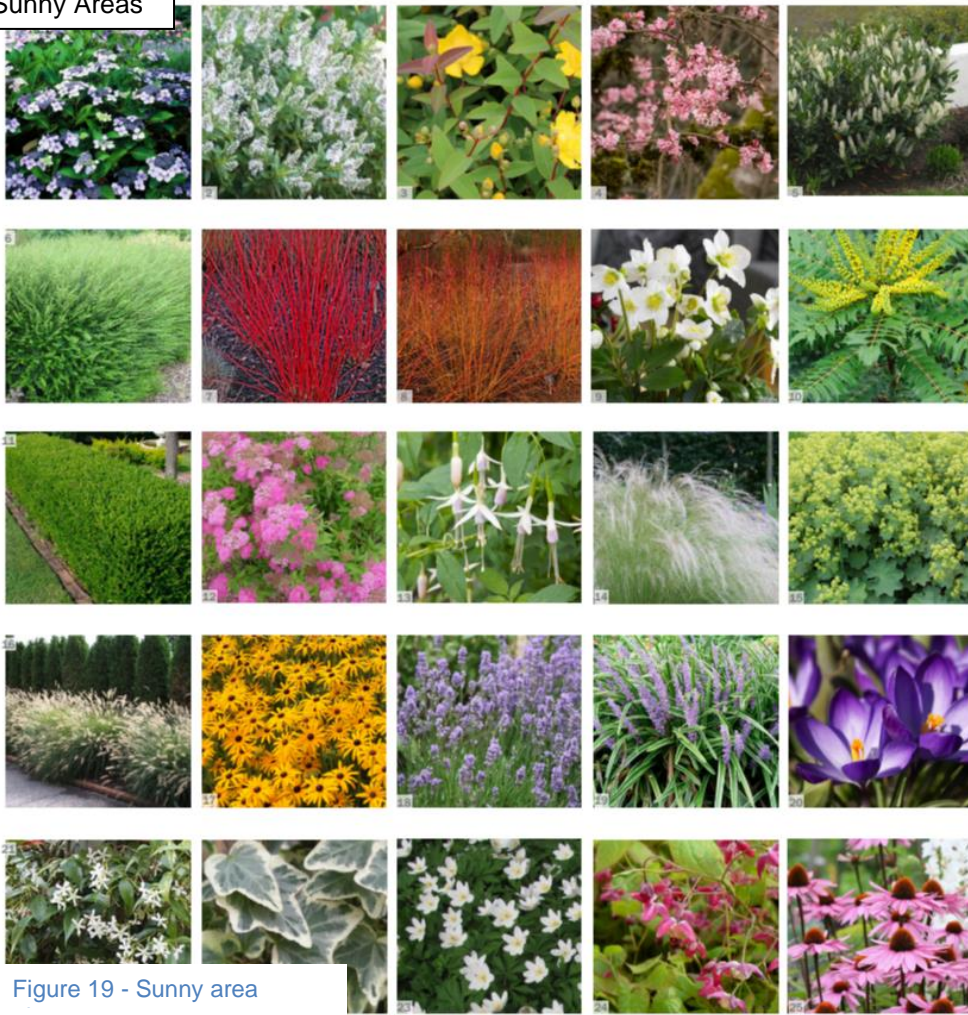


Figure 18 Proposed Rear Garden Planting Area.





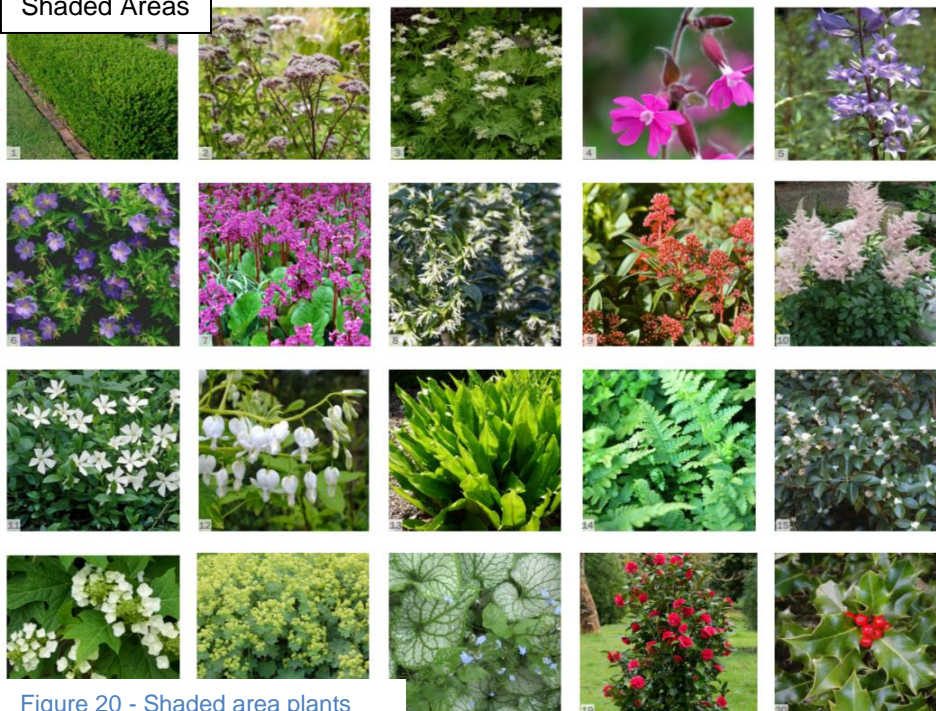
Sunny Areas



1. *Hydrangea serrata*
2. *Hebe 'White Wand'*
3. *Hypericum Hidcote*
4. *Viburnum x bodnantense 'Dawn'*
5. *Prunus laurocerasus 'Otto Luyken'*
6. *Lonicera nitida 'Elegant'*
7. *Cornus alba 'Sibirica'*
8. *Cornus sanguinea 'Midwinter Fire'*
9. *Helleborus niger*
10. *Mahonia japonica*
11. *Buxus sempervirens*
12. *Spiraea japonica 'Anthony Waterer'*
13. *Fuchsia magellanica var. molinae*
14. *Stipa tenuissima*
15. *Alchemilla mollis*
16. *Pennisetum spp*
17. *Rudbeckia fulgida*
18. *Lavandula angustifolia*
19. *Liriope muscari*
20. *Crocus vernus*
21. *Trachelospermum jasminoides*
22. *Hedera helix Glacier*
23. *Anemone nemorosa*
24. *Epimedium rubrum*
25. *Echinacea purpurea*

Figure 19 - Sunny area

Shaded Areas



- Indicative species:
1. *Buxus sempervirens*
  2. *Eupatorium cannabinum*
  3. *Myrrhis odorata*
  4. *Silene dioica*
  5. *Campanula trachelium*
  6. *Geranium johnson's blue*
  7. *Bergenia cordifolia*
  8. *Sarcococca confusa*
  9. *Skimmia japonica*
  10. *Astilbe japonica Europa*
  11. *Vinca minor Alba*
  12. *Vinca minor Alba*
  13. *Asplenium scolopendrium*
  14. *Dryopteris filix-mas*
  15. *Osmanthus delavayi*
  16. *Hydrangea quercifolia*
  17. *Alchemilla mollis*
  18. *Brunnera macrophylla*
  19. *Camellia sp.*
  20. *Ilex aquifolium*

Figure 20 - Shaded area plants





Japanese Maple



Autumnalis Rosea



Chastetree

Figure 21 – Additional trees to be planted at the rear and front garden.

- 17.7** The scheme hard landscape will utilise a contemporary materials palette, complementing the architectural styles. Materials will be selected for their durability, sustainability, and style. The materials have also been considered as per SUDS requirements and permeability. Please see below the proposals for the front/ driveway and rear garden.



Figure 22 - Contemporary grasscrete to residential entrance and driveway.



Figure 23 – Permeable brick/ cobblestones.

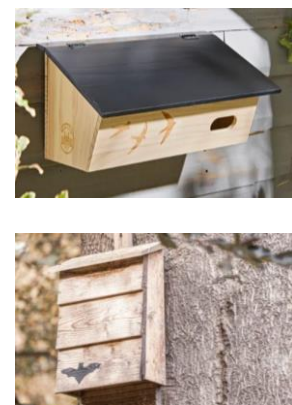
- 17.8** The proposals have also been considered in light of the London Plan and Barnet Local Plan Policies on sustainability and energy efficiency. In line with the following policies: Policy CS5: Protecting and enhancing Barnet's character to create high-quality places and Policy DM04: Environmental considerations for development. To accord with policies, the proposals will also aspire to achieve a high level of BRE and energy strategy to be developed during the detailed design stage, which would follow the Pre-Application process.



- 17.9** The building will incorporate passive measures to minimise the energy demand, including high levels of insulation and airtightness with fenestration optimised for daylight. In summer, the units will be able to enjoy cross-ventilation when there are local breezes and stack-assisted ventilation, via the stairwell and roof lights, during calm periods. The night-time free-cooling ventilation strategy will ensure that the exposed thermal mass will be charged at night helping to establish a low exposure to overheating.
- 17.10** The scheme will also benefit from low-energy active systems. In particular, mechanical ventilation with heat recovery (MVHR) uses efficient “demand-led” control based on CO<sub>2</sub> level to ensure high air quality throughout the building for the minimum fan power.
- 17.11** The scheme will satisfy all requirements set out in planning policy CE1 (climate change) and achieve an improvement in carbon dioxide emissions, where possible over the requirements of Part L1 of the Building Regulations 2013. Adequate steps will be taken to ensure that the development incorporates a wide range of measures to minimise the impact on the local environment, both during and after construction. It is proposed to replace tarmac and concrete paving with porous material and to introduce soft landscaping with diverse species of plants, shrubs, and trees. It is also proposed to provide new replacement trees to the site which will be incorporated into a considered landscape design.
- 17.12** The proposal will be constructed incorporating carbon dioxide emission reduction measures which achieve an improvement of not less than 10% in carbon dioxide emissions when compared to a building constructed to comply with the minimum Target Emission Rate requirements of the 2010 Building Regulations.
- 17.13** The proposed dwellings will have 100% of their water supply through water meters. The proposal will incorporate water-saving and efficiency measures that comply with Regulation 36(2)(b) of Part G 2 of the Building Regulations to ensure that a maximum of 105 litres of water is consumed per person per day.
- 17.14.** In addition to an extended biodiversity landscape scheme, Iguana Architects requires clients to use Bee Bricks to provide additional space for urban pollinators. Bird and bat boxes will also be promoted within the scheme to contribute to the local biodiversity. See the image below.



Figure 24 - Bee brick, Bird Box, Bat Box to be installed.



- 21.10.** The design has also been developed with consideration to creating a safe and secure environment for future residents. An abundance of windows from the existing neighbouring buildings as well as the newly proposed windows provide good levels of natural surveillance whilst still retaining privacy. The scheme meets the expectations of Secured by Design through a combination of passive urban measures, subtle active interventions (such as good lighting), and technical specifications (windows, doors, etc).





## 19. Access & Security

### 19.1. Access for Vehicles:

Fire Tender/ Delivery Access / Refuse / Emergency Access:

Service and emergency vehicles will park by Highfield Gardens.

### 19.2. Access for Pedestrians and Cyclists:

Visitor cycling can be accessed via the entrance paved area located adjacent to the dwelling's main entrance. Long-stay cyclists will store bikes within the rear garden area within the appropriate bike store. Level access will be provided.

### 19.3. Secured Bin and Cycle store:

Cycle stores are located and secured within the building envelope. Refuse will be stored within the driveway area at ground floor level within proximity to the vehicular access to reduce dragging distances and make the collection of refuse as efficient as possible.

As suggested by Secure by Design, Bin and Cycle stores will contain no windows and will be fitted with a secure door set to ensure stores are only accessible by residents. Doors should be internally operated by a thumb-turn lock to avoid residents being accidentally locked inside the store.

The quantity of refuse storage is based on the Barnet Council's refuse storage guidance note dated 2012.

### 19.4. Security

The proposed scheme has been designed in accordance with the security recommendations of both Secured by Designs and Building Regulations

Part Q.

Secured by Design (SBD) recommends that for dwellings, the following security measures are undertaken;

- Audio-visual identification systems should be used to identify visitors at building entrances.

Building Regulations Part Q:

Secure door sets to all entrances as set out in Buildings Regulations Part Q and meet the security requirements of BS PAS 24:2012.



## 20. Conclusion

- 20.1.** The proposed design has been meticulously developed in accordance with both local and national planning policies. Additionally, careful consideration has been given to ensure that the building's relationship with neighboring properties is well-balanced, avoiding any significant adverse effects on massing, amenity, light, noise, or privacy.
- 20.2.** Introducing an additional family-sized home on this expansive plot of land represents an efficient and prudent use of the space. This development will significantly contribute to the expansion of housing options within Barnet, offering innovative and high-quality design solutions.
- 20.3.** The overall residential development stands as a testament to the seamless integration of design ingenuity, environmental consciousness, and thoughtful consideration of the site's unique characteristics. This culmination results in a truly exceptional living environment, promising an elevated experience for its future residents.
- 20.4.** The massing of the scheme has been subject to meticulous assessment, ensuring its harmonious alignment with both the immediate and broader context. The specific site response aims to complement the neighboring buildings while enhancing the character of the local area.
- 20.5.** Drawing from precedents set by previous schemes in the surrounding locale, the proposed semi-detached house adheres to appropriate scale and design standards, making it a suitable addition to the area. The proposed development will provide a significant improvement to the current and future occupants of the property.
- 20.6.** Beyond its immediate benefits, the proposal also contributes towards fostering biodiversity and promoting sustainable development practices within the locality, aligning with broader environmental goals and aspirations.
- 20.7.** Furthermore, as per the pre-app response, the development is largely acceptable with regard to character, neighbouring amenities, and future amenities. The scheme also promotes an overall improvement throughout with minimal impact on its surroundings.