

## Flood Risk Assessment

**Proposal:** Change of use of existing building to provide annex accommodation.

**Location:** Building to the rear of Ryburn, Tarnacre Lane (A586), Preston, PR3 0TB

**Site Address:** Building to the north of Ryburn, Tarnacre Lane (A586), Preston, PR3 0TB

## Site Description and Surroundings



*Google Maps image of the site note that the red google marker is on the wrong building.*

The application site is a single storey, rendered detached building with both hipped and dual pitched roof, formerly used as a beauty salon, Pure Indulgence Beauty Spa. The building is positioned to the rear of the property Ryburn, on the north side of Tarnacre Lane, Churchtown.

The building is set back into the site by around 50 metres, the existing property Ryburn is to the front of the site. Ryburn is a two storey detached dwelling. The access is taken from Tarnacre Lane via an existing concrete gateway and drive on the western side of the main dwelling.



*Google street image to show access*

The curtilage to Ryburn extends north to around 70 metres. The proposal building is situated in the northwest corner, with a small single storey flat roof building used as a garage, sitting between the

main house and subject building. External areas to the building are largely surfaced in gravel; there is a grassed garden area in the eastern portion of the site.

The site is enclosed with mature hedgerows with trees. Open agricultural land is to the east and north of the property; to the west are further properties and farms. The surrounding area is largely open and agricultural with sporadic homes and businesses.

## Proposal

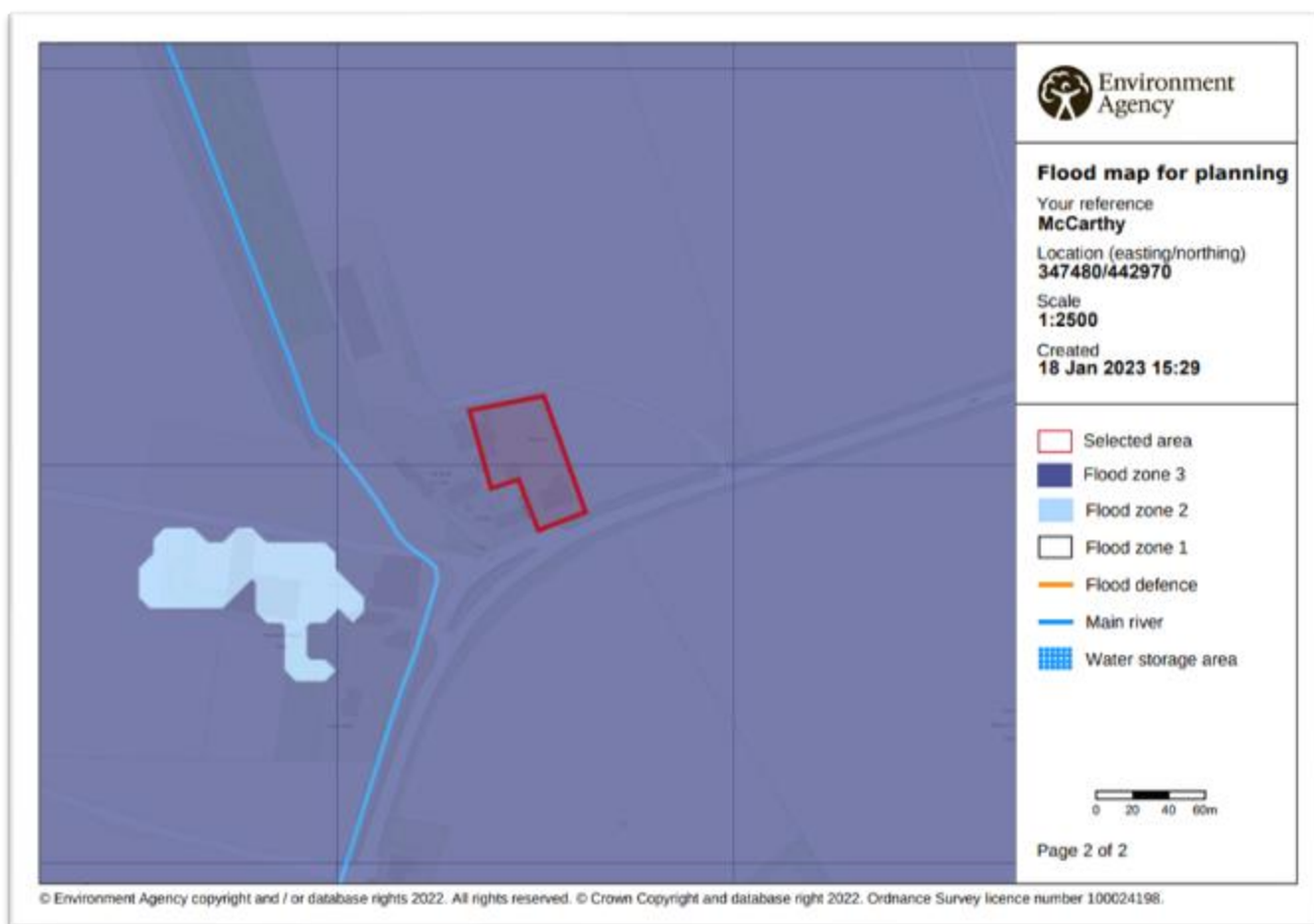
The application seeks a change of use from a Beauty salon (Class E) to ancillary accommodation to the main dwelling.

## Existing Ground Levels and Finished Floor Levels

Proposed external ground levels for the site will be set at 9.3 mAOD.

Proposed slab levels for the dwelling will be set at 9.5 mAOD

## Flood Map for Planning



The Flood Map for planning shows that the site lies within Flood Zone 3. The flood map for planning does not indicate if the site benefits from Flood Defences. The flood risk scenario in this case is high probability having a 1 in 100-year probability.

No defended scenarios appear to affect the site. The flood risks pertinent to this site are the undefended scenarios, plus climate change level: -

- Tidal flood risk for Defended Scenario (i.e. including the protection provided by the flood defences),
- Undefended Scenario (i.e. not allowing for the effect of the flood defences)
- Tidal Breach Scenario (i.e. failure of the flood defences at specific locations).

The above approach takes a 'worst-case' view, relating to the possible catastrophic breach of the sea defences. In reality, such an event is considered highly unlikely, particularly if the sea defences are maintained in good condition by the Environment Agency (EA), or other responsible body, in the future. A degree of overtopping of the defences is considered more likely to occur than any significant breach.

The Undefended Scenario is clearly unrealistic as the tidal defences are present and therefore the simulated flood depths are considered to be a worst-case scenario that may occur if the entire sea defences were to fail (i.e. multiple significant breaches).

## **Consultations and Data Acquisition**

Data requests have been made of the Environment Agency however they are significantly delayed and cannot supply the data within the requisite timescales and instead an automated response is received.

*Thank you for contacting the Environment Agency regarding product data.*

*As your request for information falls under either the Freedom of Information Act or Environmental Information Regulations we respond within 20 working days.*

*Unfortunately our Flood Risk Management Team are currently managing an extremely high workload and we are experiencing delays of several weeks in responding to requests.*

*We appreciate that this is not an ideal situation and can only apologise for any inconvenience this may cause you. We assure you that your request will be dealt with as soon as possible and we thank you in advance for your patience in this matter.*

*In the meantime you may wish to look at [www.data.gov.uk](http://www.data.gov.uk) to see if the data you have requested is available for you online.*

*For further information on what you can expect from us and our full service commitment to you, please click this link; <https://www.gov.uk/government/publications/environment-agency-customer-service-commitment>*

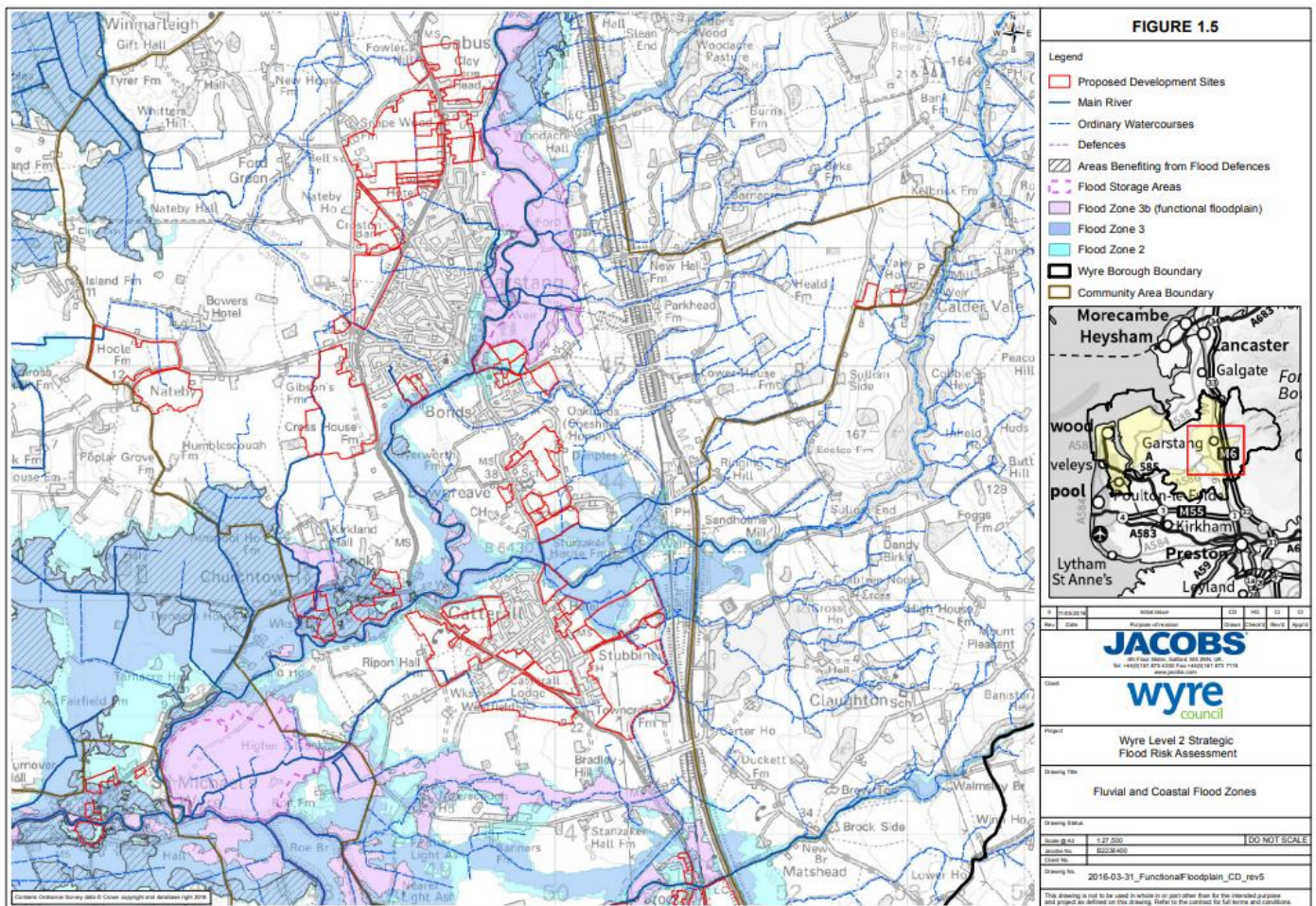
*Kind regards.*

**Karen Rooke**

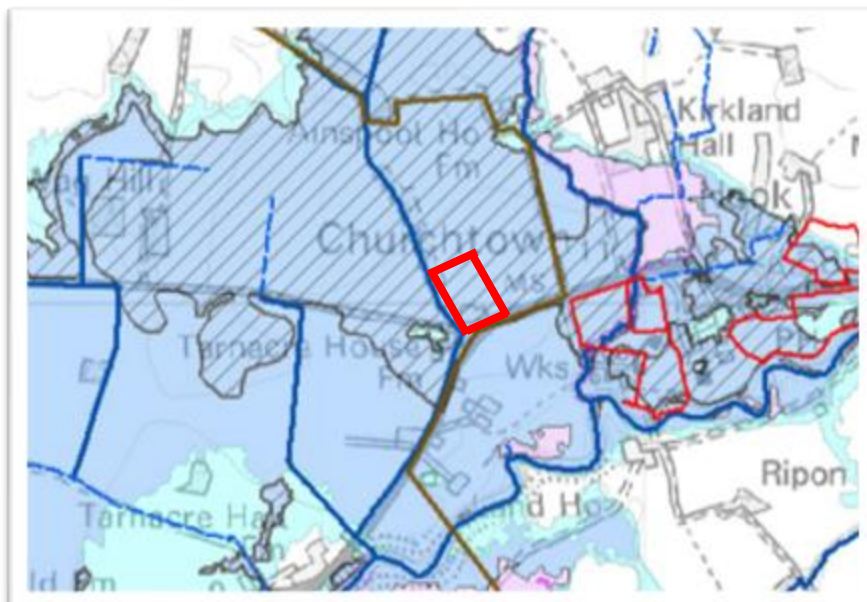
**Customer and Engagement Officer**

**Cumbria and Lancashire**

# Wyre Council Strategic Flood Risk Assessment



The wider general area including the site is included on the flood maps in Figure to 1.5.



Excerpt from figure 1.5 shows that the built core of the site falls within flood zone 3, but also indicates defences, which is not reflected in the flood map for planning. The River Wyre and its embankments are to the south of the site.

## Surface Water Flooding



The extent of surface water flooding in this location is considered to be very low.

### Safe access and egress

The site is in an area benefitting from the Environment Agency's flood warning service and is registered to receive free flood warnings when flooding is expected to enable the evacuation of people for a range of flooding events up to and including the extreme event.

## CONCLUSIONS & RECOMMENDATIONS

The site lies within Flood Zone 3 and benefits from flood defences, the source of flood risk in the area is Tidal.

The risk of flooding from canals, reservoirs and other sources is low.

The flood risk from surface-water and pluvial runoff is very low.

To protect the development the following mitigation measures are to be implemented:

- Flood resilience measures as an overall water exclusion strategy employing building methods detailed in Chapter 6 Guidance on flood resilient design and construction contained in the Flood resilient design guide published by the Communities Secretary.
- The building owners are to be registered to receive free flood warnings when flooding is expected to enable the evacuation of people for a range of flooding events up to and including the extreme event. An evacuation plan is included at Appendix 1.