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**12 October 2023**

**Project:**

2 Gloucester Mews West  
Westminster  
W2 6DY

## **DESIGN AND ACCESS STATEMENT**

This document has been prepared by Extension Architecture on behalf of the client at 2 Gloucester Mews West, W2 6DY  
in support of the application submitted to Westminster Council.

**Description of Works:**

Part 1, part 2 storey extensions including the addition of a mansard roof extension with associated internal reconfigurations and alterations to the front & rear elevation fenestration.

## 1. Background

This planning application is being submitted on behalf of the property owner of 2 Gloucester Mews West. The proposal encompasses a part 1 and part 2 storey extension, along with a mansard roof addition, involving notable modifications to windows at both front and rear elevations. In alignment with local planning policy, particularly within the Bayswater Conservation Area, this Design and Access statement will comprehensively detail the integration of the proposed design within the surrounding context.

By assessing the site, its constraints, its situation, and context this statement will demonstrate the suitability of the proposal and how it intersects with the local planning authority's policies and development management guidance.

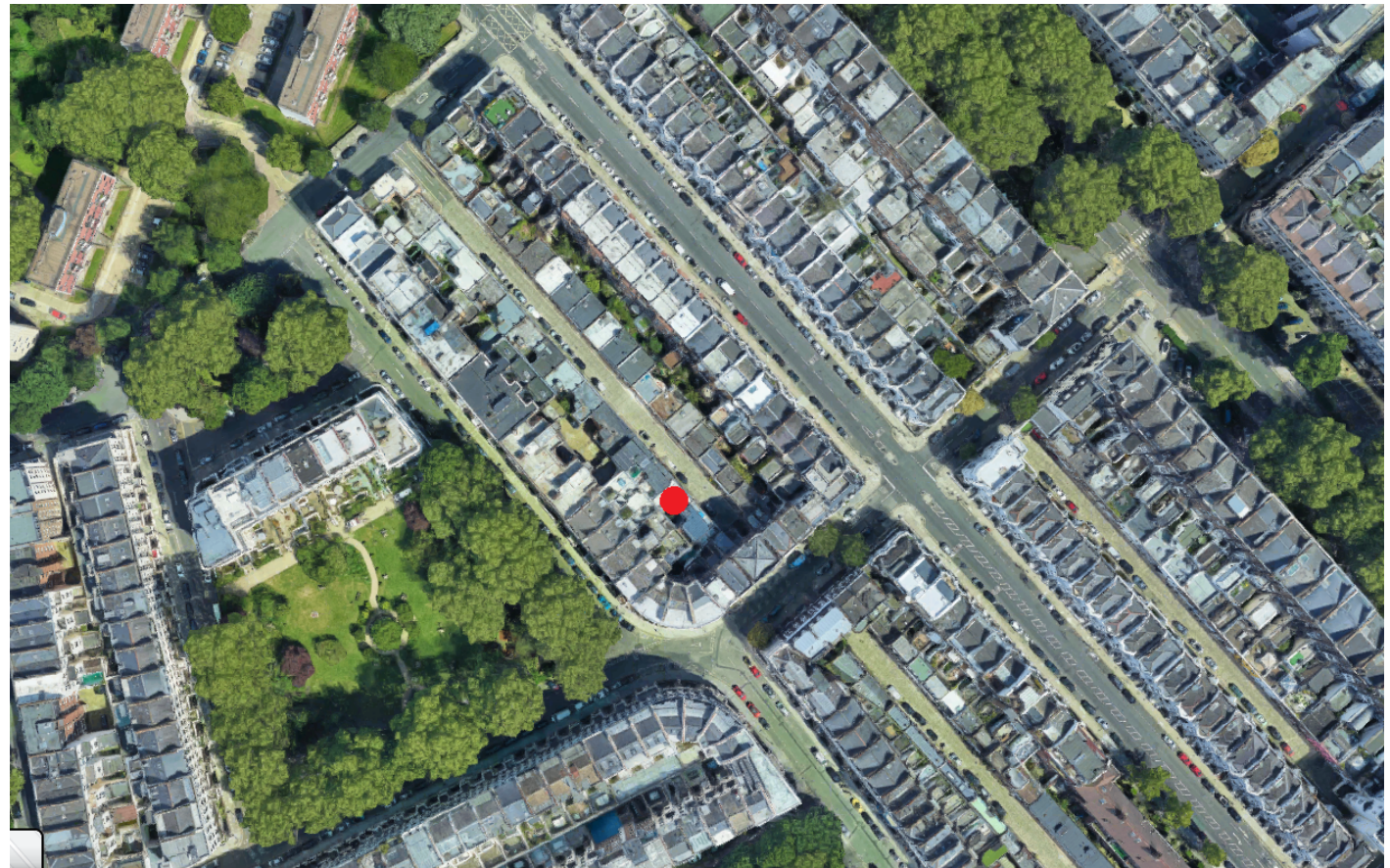
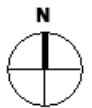


Figure 1: Location Plan from Google Maps of Gloucester Mews West with no.2 marked in red.





## 2. Site in Context

The property resides in a residential mews where there are visible alterations to the existing context through the erection of extensions and loft conversions. This demonstrates an evident evolution of built form in the prevailing Bayswater Conservation Area. The Mews was originally built post war to provide coach and stable houses. These properties have undergone several updates which are now mainly used for residential purposes varying with family dwellings or flats with small gardens. This adaptive reuse is a testament to the resilience and versatility of these structures, which have transitioned from their historical roles to meet contemporary residential needs.

This context underscores the dynamic nature of the mews and its capacity to adapt and evolve, aligning with the changing requirements of residents while retaining a sense of historical character.



Figure 2: View of Gloucester Mews Cobble Street



Figure 3: Gloucester Mews Arch Entrance



Figure 4: Site Map of no.2 Gloucester Mews West



### 3. Site Photographs



Fig 5: Front Elevation of 2 GMW



Fig 6: Curved Glazing at Rear



Fig 7 & 8: Front Elevation with Views of Neighbours to Left & Right



Fig 9: Rear Patio



Fig 10: WC Window Proposed Change



Fig 11: courtyard Doors

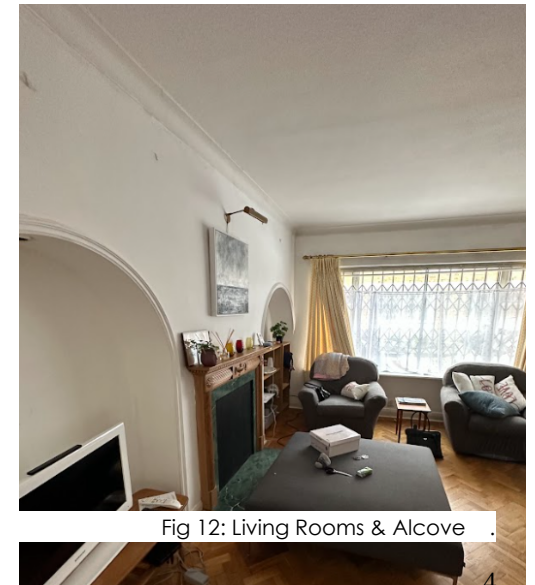


Fig 12: Living Rooms & Alcove



## 4. Heritage & Conservation Considerations

### 4.1 Historical Transformation:

Gloucester Mews West, a cul-de-sac with a cobblestones street, has a rich history and unique urban character. It is accessible through an arched entrance beneath a building on Cleveland Terrace, and has undergone extensive redevelopment over the years. The original Mews properties, once served as stable and coach houses for primary residences on Gloucester Terrace and Cleveland Square, which have subsequently transformed into 34 residential properties.

### 4.2 World War II

During World War II, bombs were released near Cleveland Square, in close proximity to Gloucester Mews West, bearing witness to the area's historical significance during a turbulent era. At the time of the London Poverty Maps publication, the region was known for its socio-economic diversity, some with comfortable living standards, others with not.



Fig 14: Old Maps (London First Edition c1850)

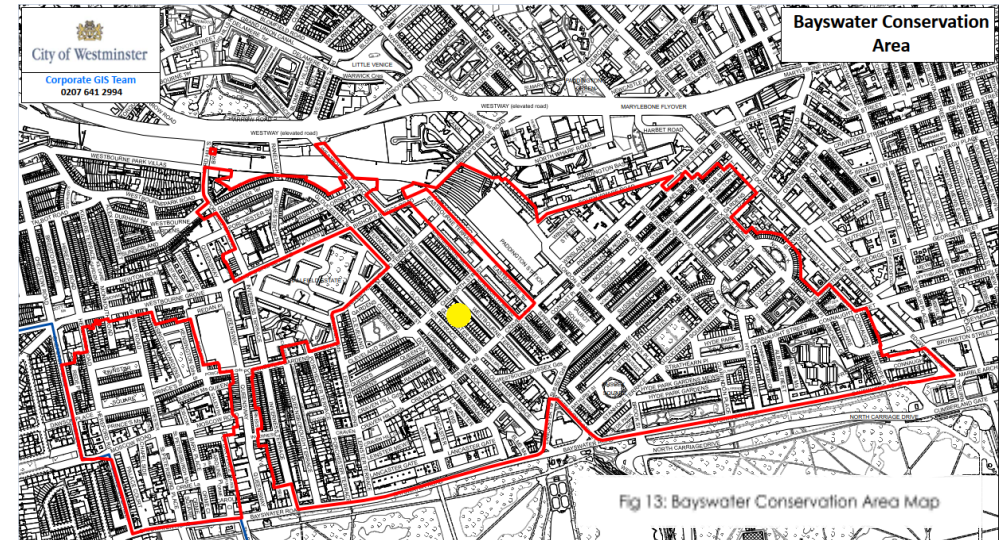


Fig 13: Bayswater Conservation Area Map

### 4.3 Conservation Area Status:

Today, Gloucester Mews West falls within the Bayswater Conservation Area, a testament to its architectural and historical significance. The townscape of this locale, developed over approximately seven decades and maintains a cohesive appearance, featuring an Italianate design style that includes a network of streets and squares. A distinctive feature of this area is the presence of numerous Mews, ranging from intimate to expansive, contributing to the overall character of the locale.

### 4.4 Architectural Characteristics:

The Mews' two-story buildings exhibit a blend of plain and painted brickwork, with roofs concealed behind parapet walls. Notably, the original garages have remained intact, and the Mews retains its charming cobbled road surface.



#### 4.5 Impact on Heritage Aspects:

The proposed alterations at 2 Gloucester Mews West will minimally affect its heritage significance. By adhering to approved precedents in the area, particularly with minimal changes to front fenestrations and the proportional addition of a mansard, the proposal respects established street patterns and scale. The introduction of ground floor, first-floor, and second-floor extensions enhances residential functionality while preserving the Mews' architectural character. These alterations maintain the historical integrity of the Mews, ensuring a positive contribution to the Bayswater Conservation Area.

#### 4.6 Justification for Impact on Heritage Aspects:

The impact is justified by the careful consideration given to preserving the heritage asset. The ground floor extension addresses practical concerns such as dampness and inadequate natural light, enhancing overall living conditions without compromising the Mews' historical context. Importantly, the first-floor extension preserves the integrity of original external fenestrations, while the second-floor mansard loft addition is purposefully designed to improve property usability while integrating privacy measures.

Moreover, the use of materials consistent with the original design ensures a seamless blend with the existing aesthetic. Given that the majority of alterations will be confined to the rear of Gloucester Mews West, the impact on the street scene is anticipated to be minimal, preserving the visual

Images of 1 and 90 Gloucester Mews West

Throughout the design process, alternative solutions have been thoroughly explored, with the proposed changes thoughtfully aligning with a balanced approach. This approach seeks to uphold the historical significance of the Mews while accommodating contemporary living standards. The justification presented encompasses both the minimal nature of the impact and the positive contributions to the heritage asset and its broader setting.



Images of 1 and 90 Gloucester Mews West



Images of 12 and 13 Gloucester Mews West



## **5. Planning History & Development Policy Considerations**

Originally Gloucester Mews was created to serve the surrounding primary residences and is now mainly used for C3 residential purposes. Over the years, several planning applications have been submitted along the street, often involving internal modifications and basement excavations. Recently in 2020, approval has been granted for the construction of mansards at properties 1-4 Gloucester Mews West. This marks a significant development milestone in the area's ongoing evolution.

<b>Application Reference</b>	<b>Address</b>	<b>Description</b>	<b>Decision</b>	<b>Date</b>
20/05042/FULL	1-4 Gloucester Mews, London, W2 6DY	Variation of condition 12 of planning permission granted on appeal dated 12 April 2019 (RN's: 18/04329/FULL and APP/X5990/W/18/3217919) for the: Erection of a roof extension to Nos.1-4 Gloucester Mews West to enlarge four existing dwellinghouses. NAMELY, to allow the substitution of revised drawings to reflect the as built design of the rear elevation of the roof extension to no.4 Gloucester Mews West.	Application Permitted	27 Nov 2020

### **Policies S25 and S28 - Westminster's City Plan (2016)**


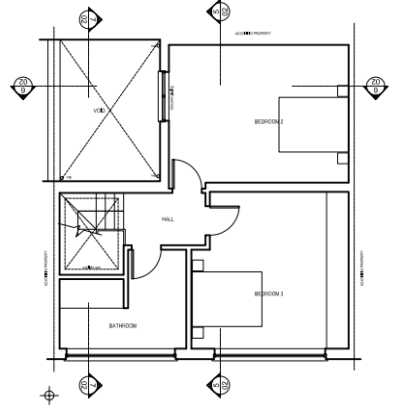
These policies, as outlined in the Unitary Development Plan (2007), stress the significance of upholding high-quality design, architectural preservation, and the conservation of the built environment. While the plan provides a fundamental framework, the assessment of each application should take into account both the plan's policies and pertinent factors. This approach allows for flexibility and the potential for exceptions when proposed developments deviate from standard policy considerations.

### **Policies DES 1, DES 6, DES 9, and DES 10(D) - Unitary Development Plan (2007)**

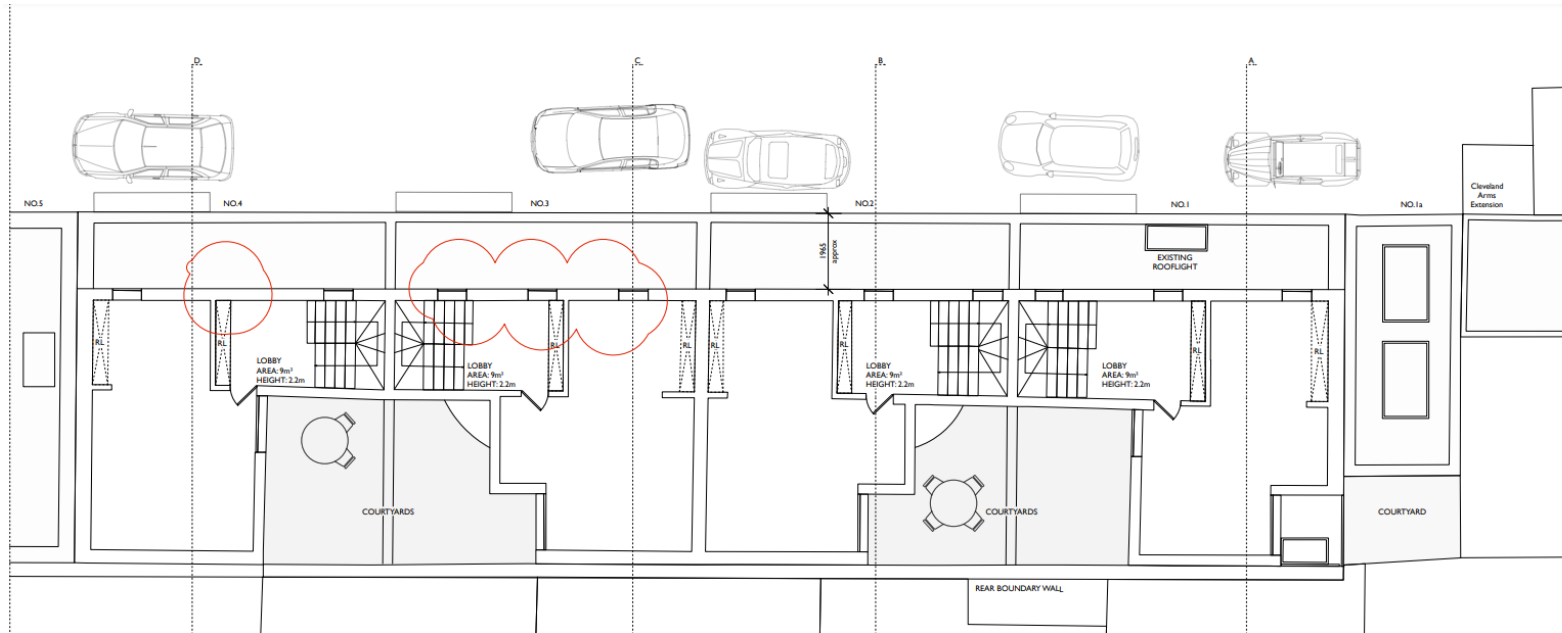
Policies S25 and S28 within Westminster's City Plan (2016) concentrate on preserving historical environments, architectural character, and local distinctiveness. These policies aim to prevent adverse impacts on the unity and character of existing structures. While adherence to these policies is encouraged, the planning process permits individual evaluation of each application and the possibility of exceptions when proposed developments do not align with the typical policy considerations.



## 6. Planning Precedents

Image	Application Reference	Address	Description	Decision
 <p>Proposed First Floor</p>	09/05999/FULL	13 Gloucester Mews West London W2 6DY	Rear ground floor extension, new rooflights, recladding of tank housing and air conditioning units on roof top.	Approve 2009
	10/07784/FULL	4 Gloucester Mews West London W2 6DY	Construction of a new basement under the entire ground floor curtilage of the building, rear first floor infill extension and new doors and windows.	Approve 2010

Application Reference	Address	Description	Decision
18/04045/FULL	3 Gloucester Mews West London W2 6DY	Erection of a double storey infill extension and removal of unused water tower.	Approve 2018
20/04839/FULL	1 Gloucester Mews West London W2 6DY	Variation of condition 12 of planning permission dated 12th April 2019 (RN 18/04329/FULL) granted on appeal for the erection of a roof extension to Nos.1-4 Gloucester Mews West to enlarge four existing dwellinghouses. NAMELY, to allow the substitution of revised drawings to reflect the as built design of the front elevation of the roof extension to 3 and 4 Gloucester Mews West, namely a window to the front elevation on no.4 has been omitted and the cladding panels and window dimensions are different on no.3.	Approve 2020





## **7. Design**

### **7.1 Contextual Understanding**

In terms of privacy and overlooking, the rear wall of Gloucester Mews West stands at 6 metres in height, effectively blocking any direct sightlines from neighbouring properties to the rear. The neighbouring properties on either side of 2 Gloucester Mews have also constructed mansard extensions. Specifically, one neighbour at 1 Gloucester Mews has a rear terrace, and another neighbour at No. 3 has a party wall, which further mitigates any potential privacy concerns.

### **7.2 Design Rational**

- **Ground Floor Extension:**

The ground floor extension into the courtyard area is necessary to introduce additional natural light into the living spaces. To address the issues of dampness and leakage from the current conservatory, a more robust and weather-resistant design will be implemented. This will improve ventilation and fenestration to ensure better thermal performance, making the space more comfortable and energy-efficient. The internal reconfigurations will create an open-plan living layout, optimising the transfer of natural light within the house. This redesign will result in a more family-oriented living space, promoting a sense of openness.

- **First Floor Extension:**

The first-floor extension aims to accommodate a larger bedroom while preserving the existing external fenestrations. This addition is in keeping with the original design's aesthetics and maintains the building's overall character.

- **Second Floor Mansard Loft:**

The second-floor mansard loft is proposed to provide an additional master bedroom and ensuite, improving the usability and value of the property. The inclusion of a terrace enclosed by a 1.7m frosted balustrade ensures privacy and minimises any potential overlooking concerns. The extension of the curved glazing element further enhances the introduction of natural light, contributing to a more spacious and well-lit interior.

### **7.3 Material Selection:**

All external materials for the original building will consist of painted white brick, providing a durable and aesthetically pleasing finish. All windows will be framed in white to match the existing design, ensuring a cohesive and harmonious appearance.

### **7.4 Access Strategy**

There are no planned alterations to the original access points, preserving the building's historical integrity and accessibility.

The design focuses on improving circulation for fire safety and evacuation. Enclosed corridors with fire-rated doors have been included to enhance fire safety compliance, ensuring the safety of the building's occupants.

## **8. Sustainable Design Statement**

This Sustainable Design Statement outlines the environmentally conscious principles incorporated into the proposed alterations at 2 Gloucester Mews West, in alignment with Policy 38D of the City Plan 2019-2040. The statement aims to demonstrate how the design positively addresses sustainable design principles, taking into account Policy 34B (urban greening), Policy 36 (Energy), and Policy 39 (Heritage).

### **8.1 Energy Efficiency and Policy 36 Compliance:**

The design prioritises energy efficiency in accordance with Policy 36. By implementing measures such as improved insulation, energy-efficient double glazing, and sustainable building materials, the alterations aim to exceed the energy hierarchy standards set by the policy. We are fully committed to achieving improved energy efficiency through the installation of double-glazed windows. This will result in a significantly enhanced U-Value, reducing energy demand and lowering the building's carbon footprint. Additionally, the design maximises the use of natural light to reduce reliance on artificial lighting and incorporates energy-efficient fixtures and appliances.

### **8.2 Urban Greening and Policy 34B:**

In adherence to Policy 34B, the proposal integrates urban greening strategies to enhance biodiversity and contribute to the overall green infrastructure of the area. The design includes the incorporation of a terrace and planting areas, and sustainable landscaping, promoting a symbiotic relationship between the built environment and nature.

### **8.3 Heritage Considerations and Policy 39:**

In addressing Policy 39, the sustainable design takes into account the heritage significance of Gloucester Mews West, as outlined in the Heritage Statement. The alterations are carefully planned to preserve the historical character of the Mews while meeting contemporary living standards. Materials consistent with the original design are used, ensuring a cohesive and sustainable approach to heritage conservation.

### **8.4 Demolition Considerations and Policy 38:**

The proposal acknowledges the importance of retaining and improving existing buildings, as advocated by Policy 38. Demolition is carefully considered, and the decision to proceed is justified based on specific constraints.

In summary, the sustainable design principles incorporated into the proposed alterations at 2 Gloucester Mews West align with City Plan policies and demonstrate a commitment to environmentally responsible practices. The design aims to enhance energy efficiency, promote urban greening, and preserve heritage assets, contributing positively to the sustainability goals outlined in Westminster's planning policies.



## 9. Conclusion

This Design and Access Statement provides a comprehensive overview of the proposed extensions and modifications at 2 Gloucester Mews West.

The proposed design, including a part 1 and part 2 storey extension, a mansard roof addition, and alterations to the front and rear elevations have been designed in accordance with Policies S25 and S28 - Westminster's City Plan (2016).

The historical transformation of Gloucester Mews West, its status as part of the Bayswater Conservation Area, and its architectural characteristics highlight the importance of preserving its unique character. The proposed design respects these historical and architectural attributes while accommodating the changing needs of contemporary residents.

The contextual understanding reveals that privacy and overlooking concerns have been thoughtfully addressed, with the surrounding structures serving to mitigate any potential issues.

The proposal is consistent with approved precedents in the area and will have a minimal impact on the historical integrity of the building and the overall streetscape. Therefore, it is our firm belief that the design is well-suited to its context, will contribute positively to the character of Gloucester Mews West, and merits approval from Westminster Council.

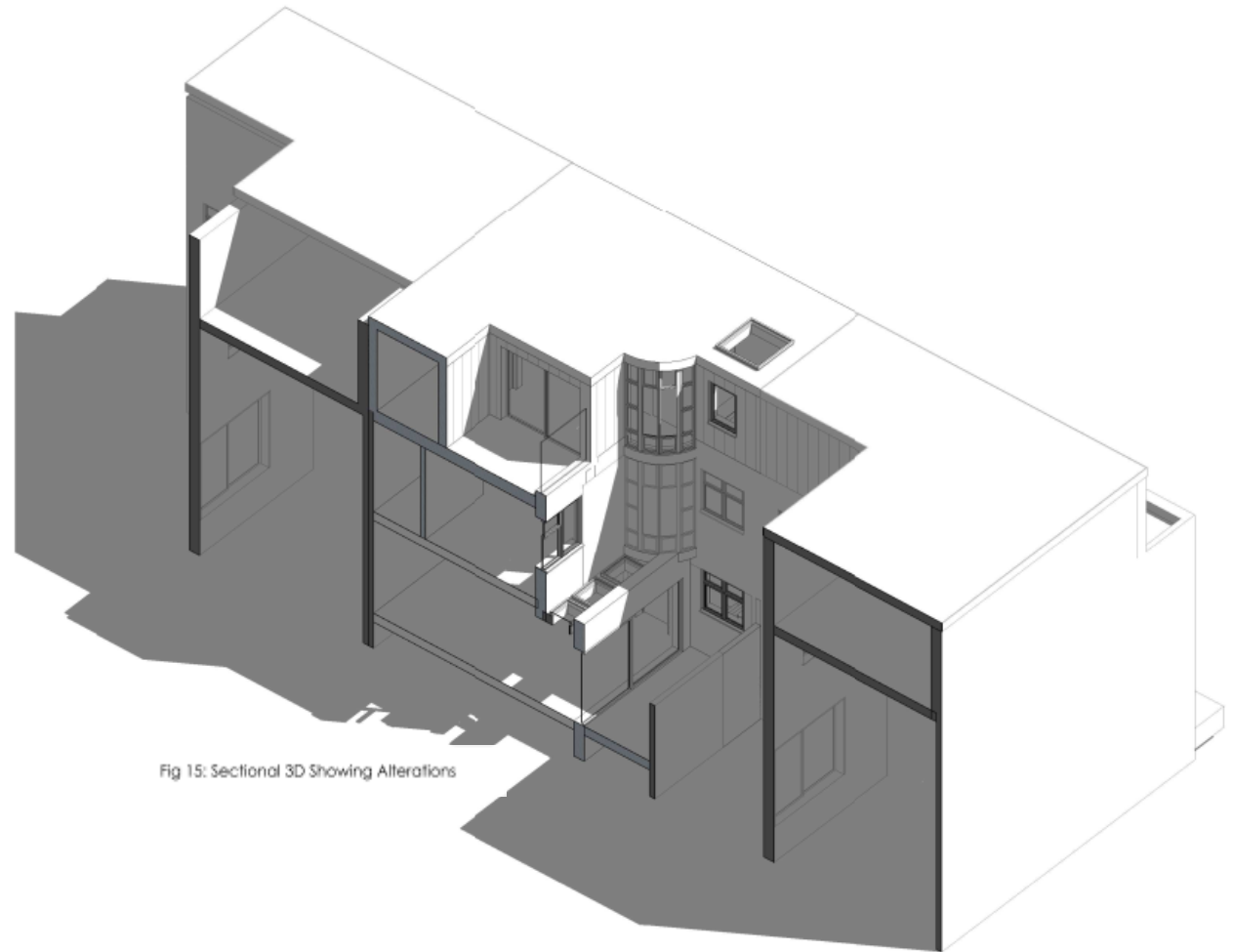


Fig 15: Sectional 3D Showing Alterations