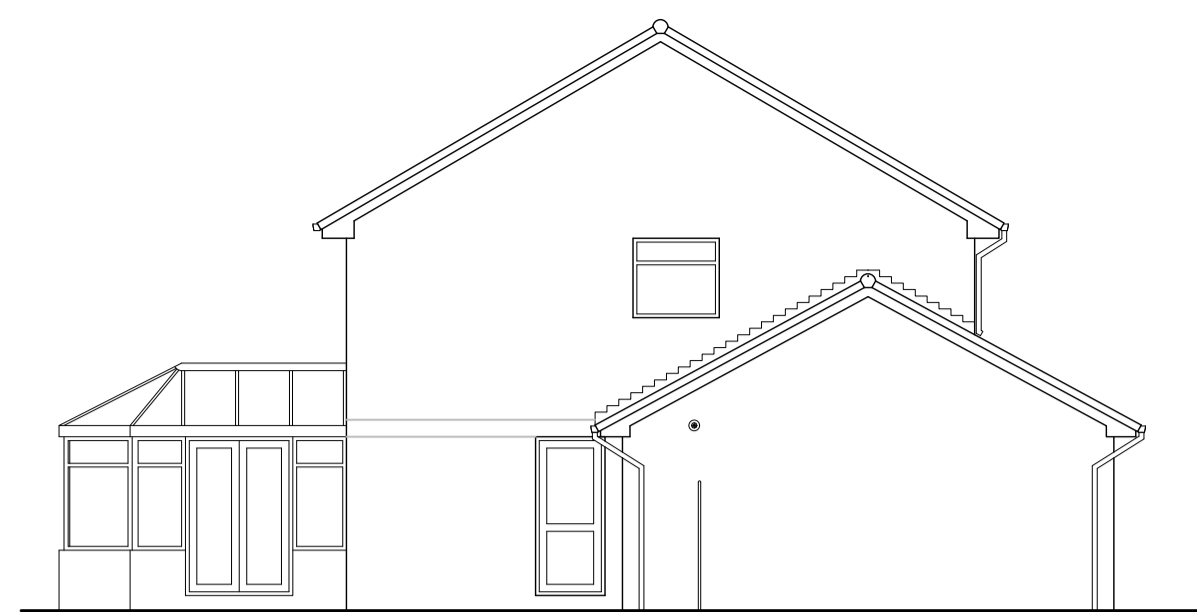




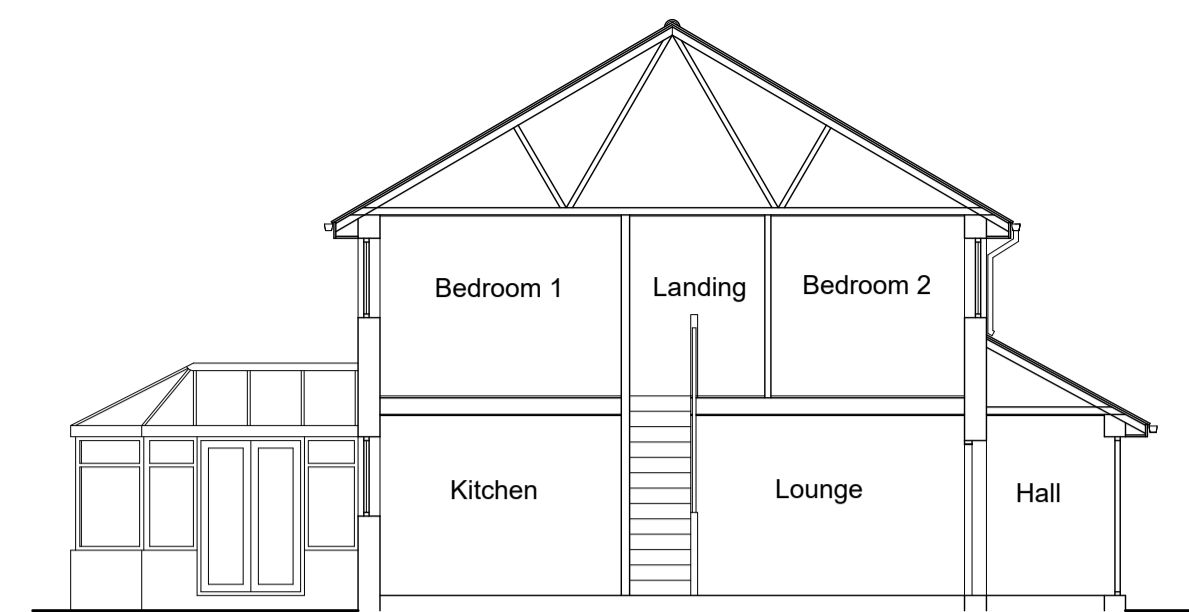
Existing Front Elevation
Scale: 1/100



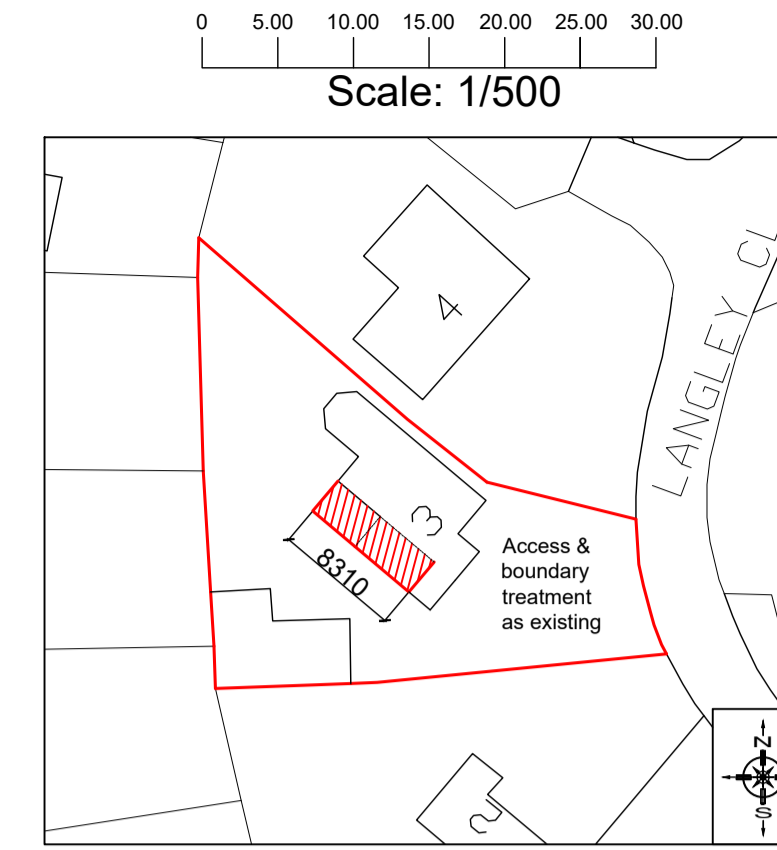
Existing Side Elevation
Scale: 1/100



Existing Rear Elevation
Scale: 1/100



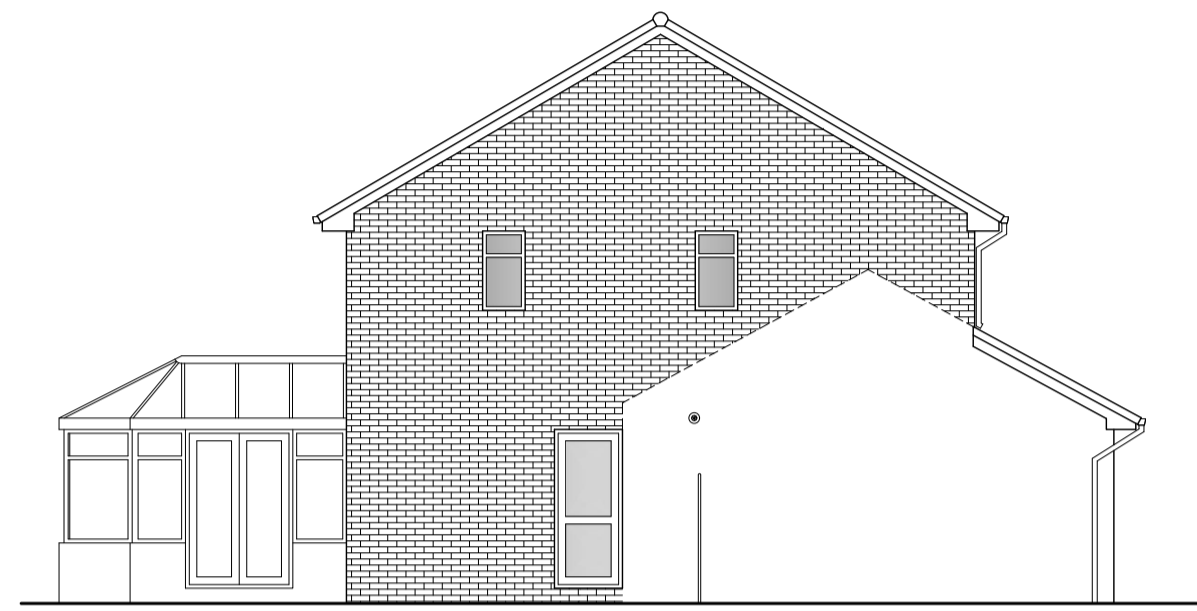
Existing Section
Scale: 1/100



Proposed Site & Block Plan



Proposed Front Elevation
Scale: 1/100

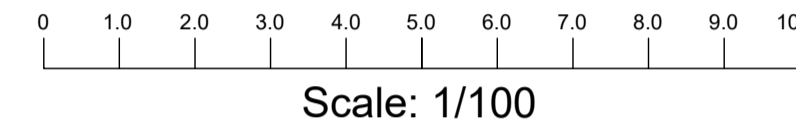


Proposed Side Elevation
Scale: 1/100

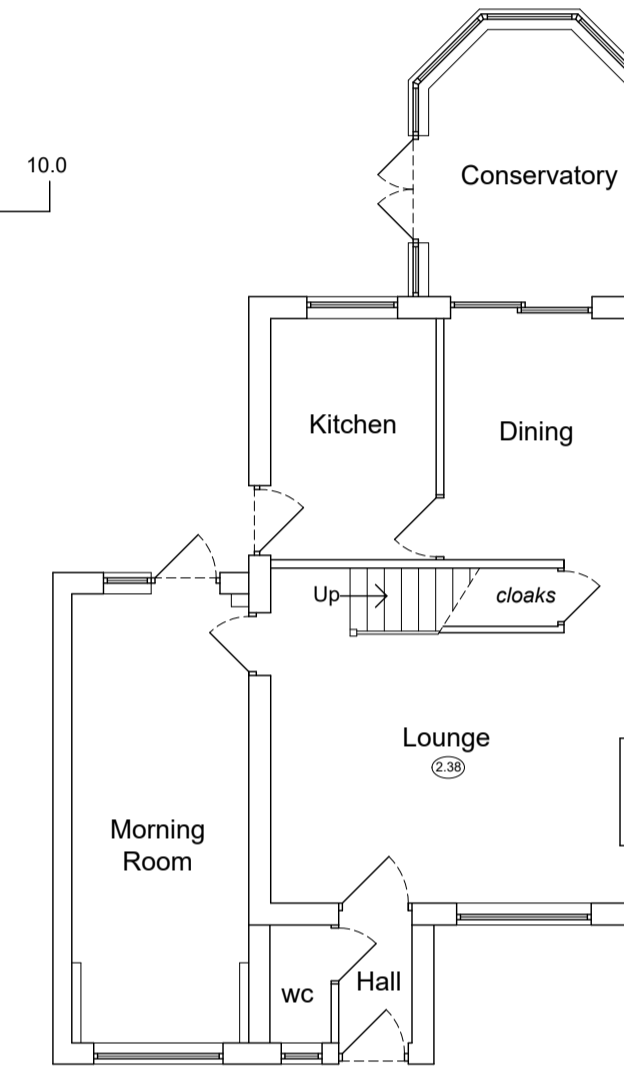


Proposed Rear Elevation
Scale: 1/100

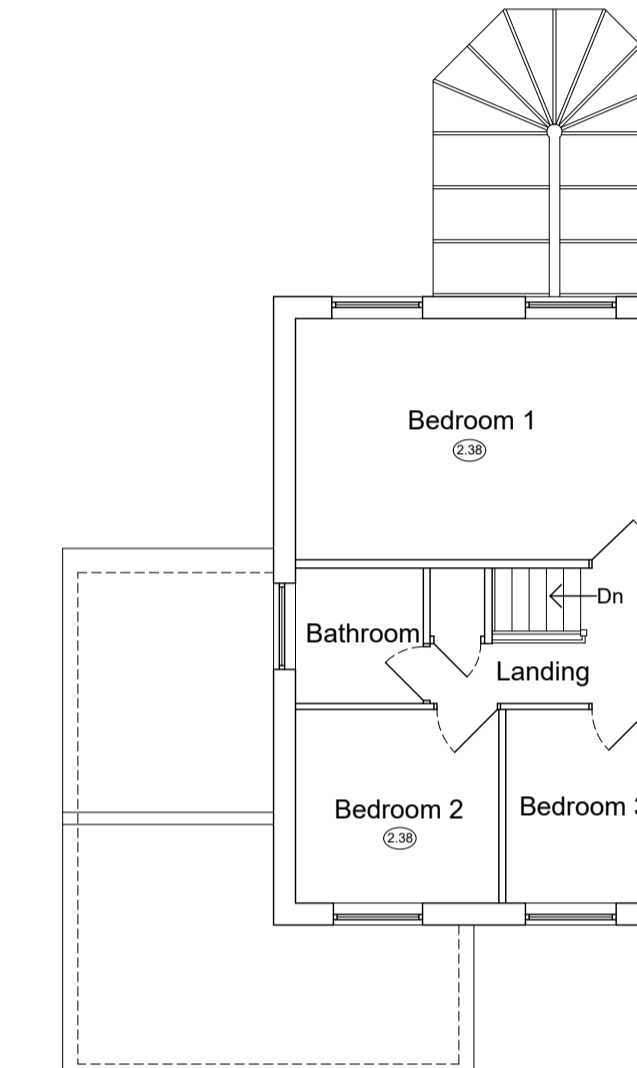
- Brickwork to match existing.
- Upvc windows to match existing.
- Roof tiles to match existing.
- Obscured glazing to first floor bathroom side elevation window with a top opener above 1.7m from first floor level.



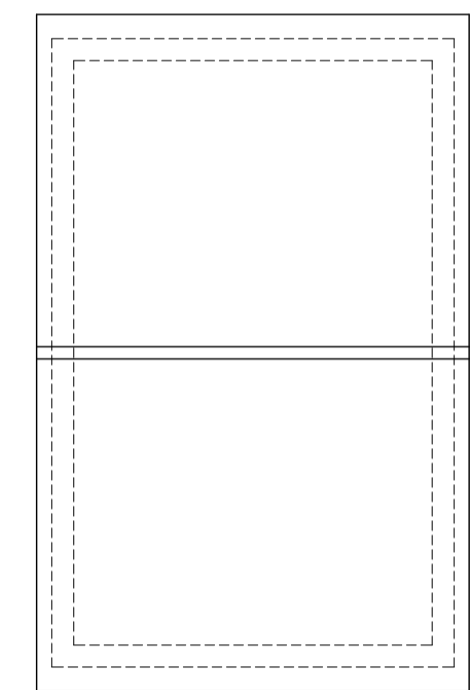
Scale: 1/100



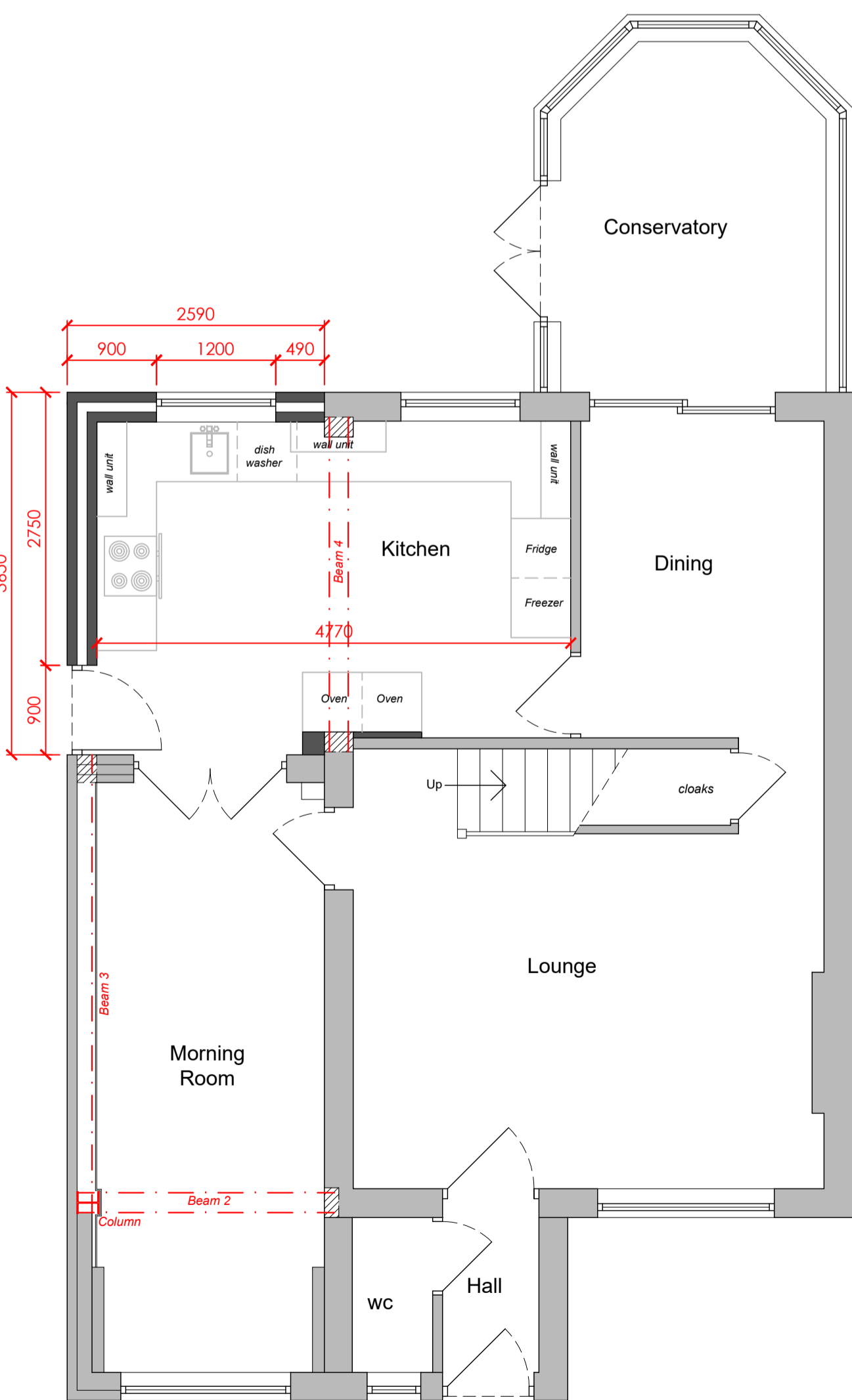
Existing Ground Floor Plan
Scale: 1/100



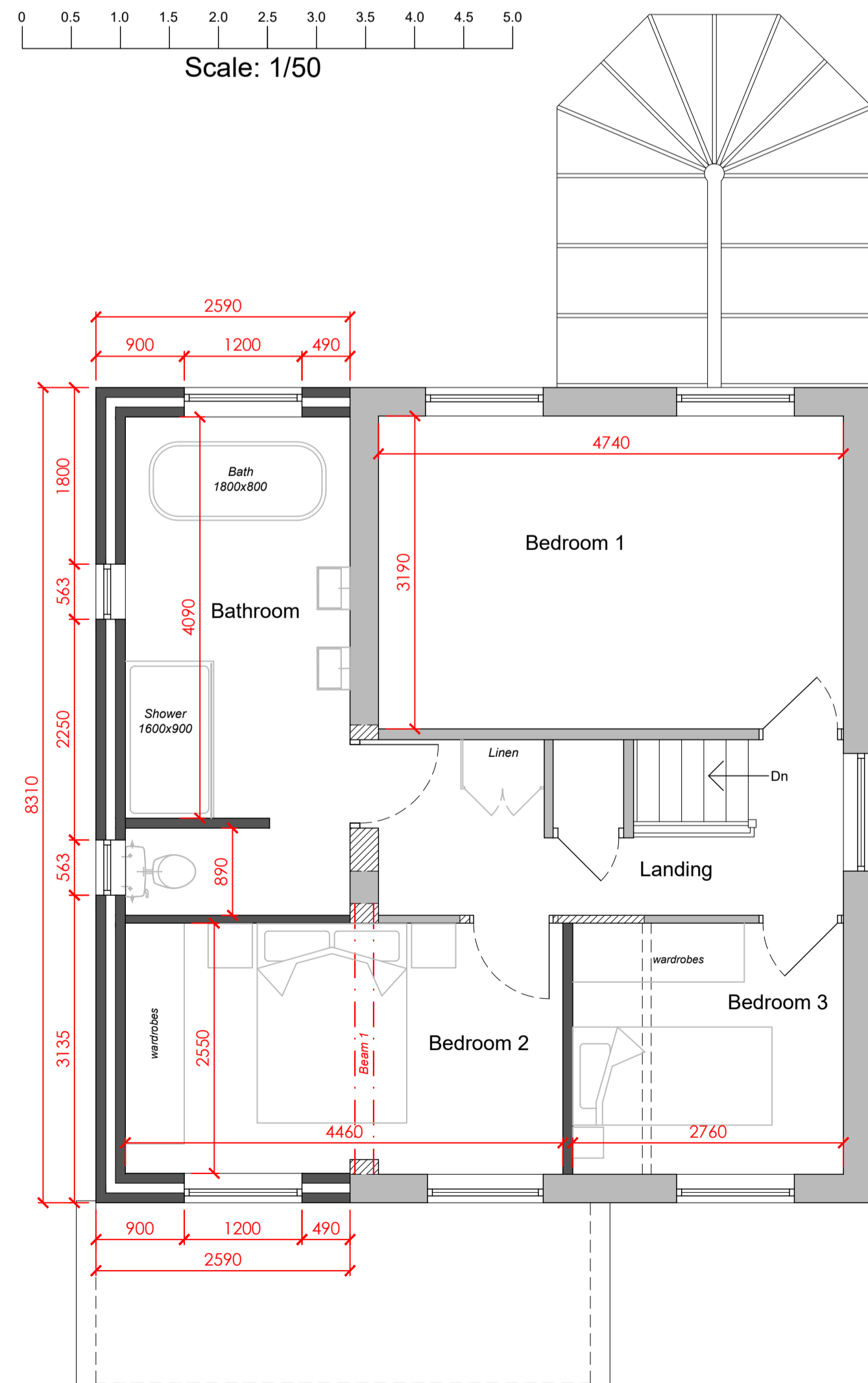
Existing First Floor Plan
Scale: 1/100



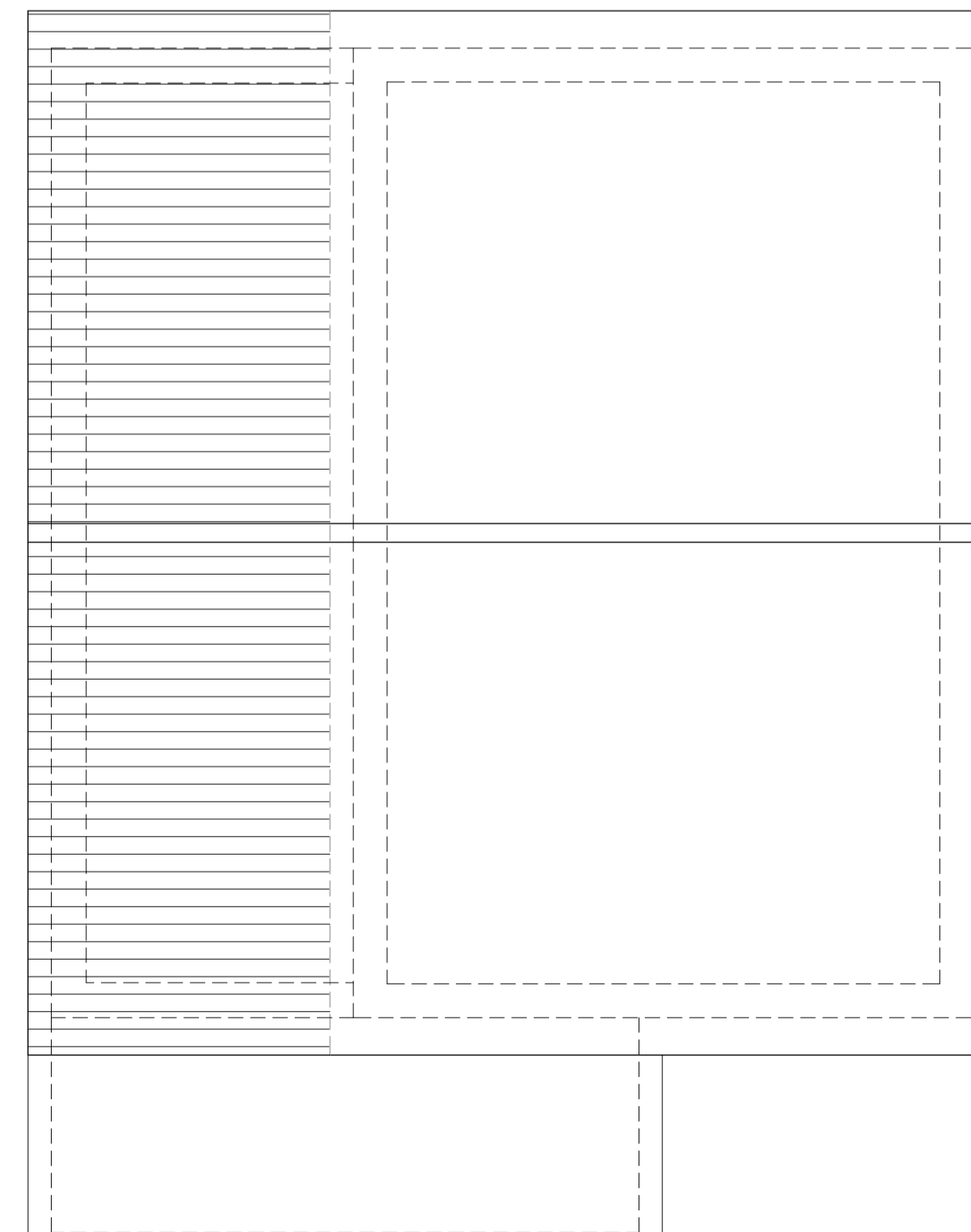
Existing Roof Plan
Scale: 1/100



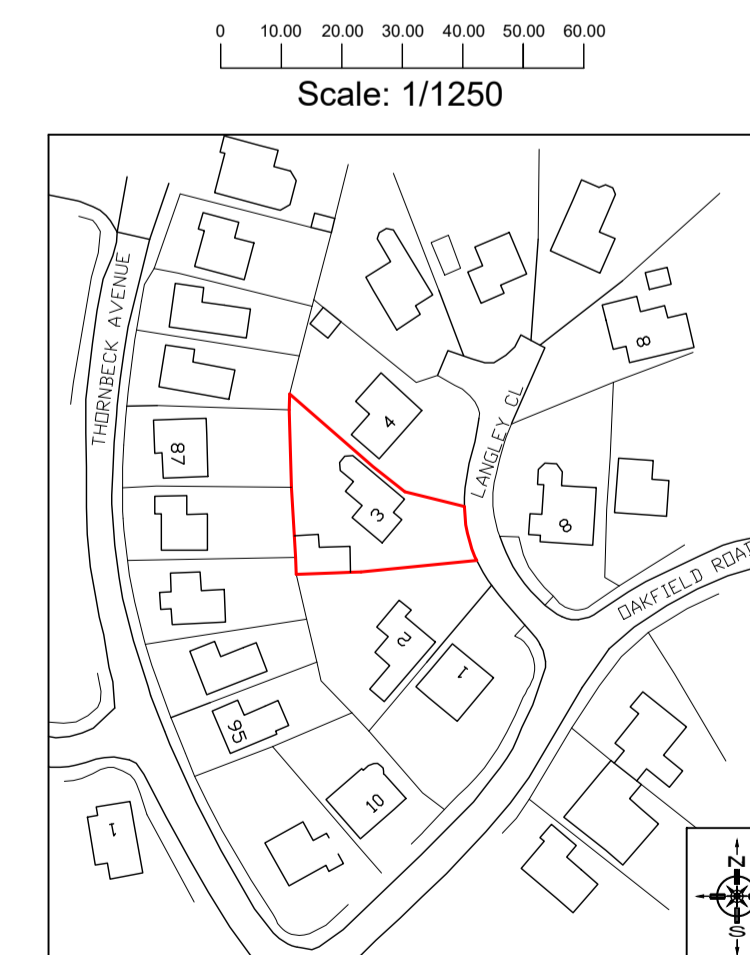
Proposed Ground Floor Plan
Scale: 1/50



Proposed First Floor Plan
Scale: 1/50



Proposed Roof Plan
Scale: 1/50



Location Plan
3 Langley Close, Hightown, L38 9GG.

PLANNING ISSUE ONLY

PARTY WALL ACT: The owner has a duty to serve a party structure notice to any adjoining owner if works are to be carried out to a party wall, structure, or line of junction, or if works involve excavations lower than the foundations of a neighbouring building within 3m, or excavations cut through a 45° line from the foundations of a neighbouring building within 6m. A party wall agreement should be formalised before the commencement of the works.

This drawing is to be read in conjunction with all other issued drawings and specifications.
All dimensions must be verified on site by the contractor before commencing work.
Do not scale off this drawing.
Refer to written dimensions only.
All dimensions are in millimetres unless otherwise stated.
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Client: Mr & Mrs Ellis
3 Langley Close,
Hightown, L38 9GG.

Scheme: Proposed double storey extension
to the side elevation.

Subject: Existing & Proposed Plans

Scale:	Drawing Number	Rev.
1/1250, 1/500 1/100 & 1/50 @ A1	1557 - 01	
Drawn: PAW		
Date: Dec. 2023		