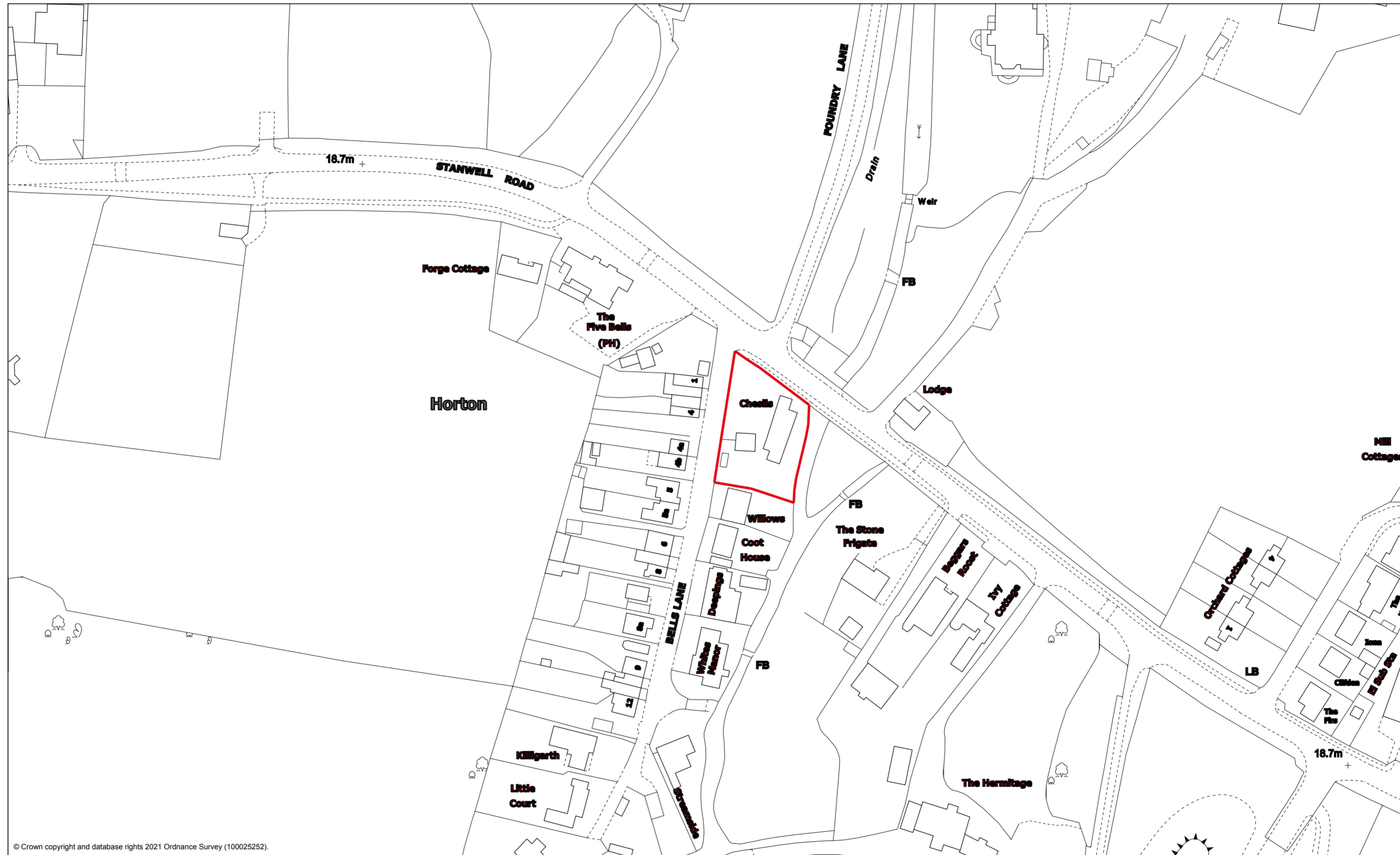
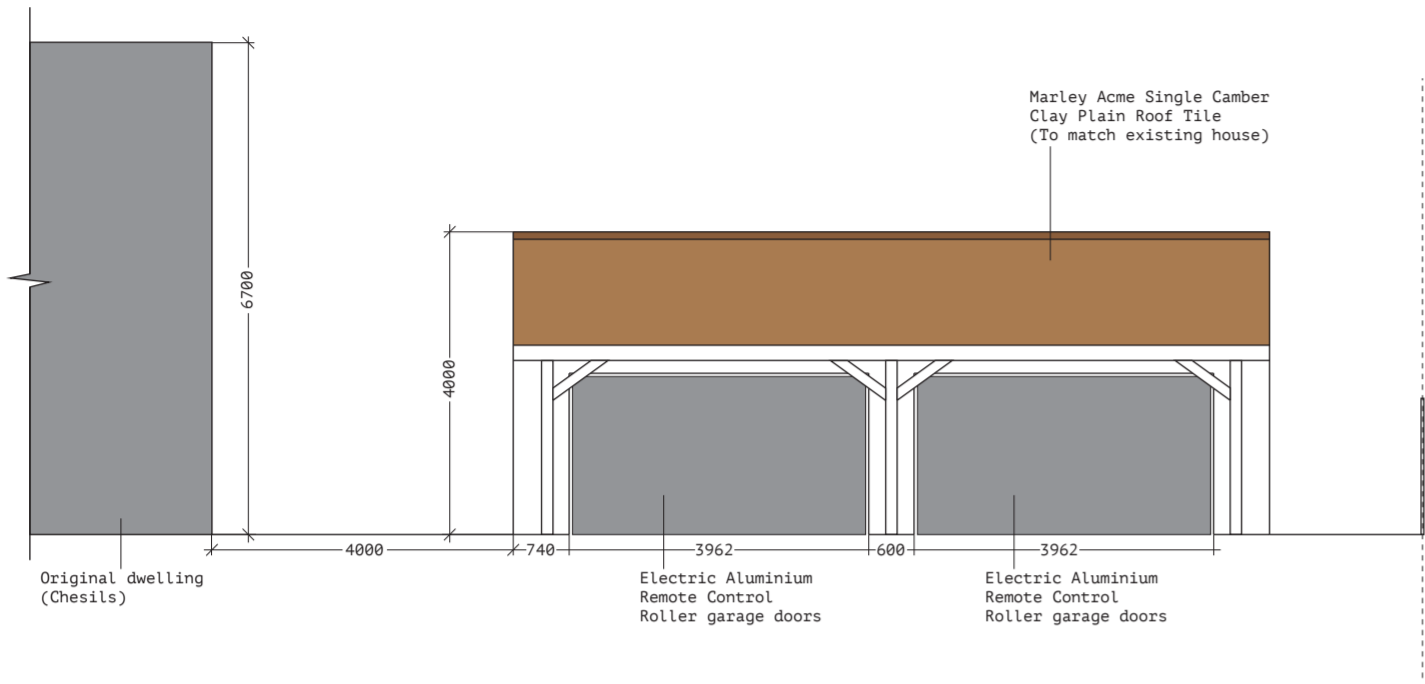
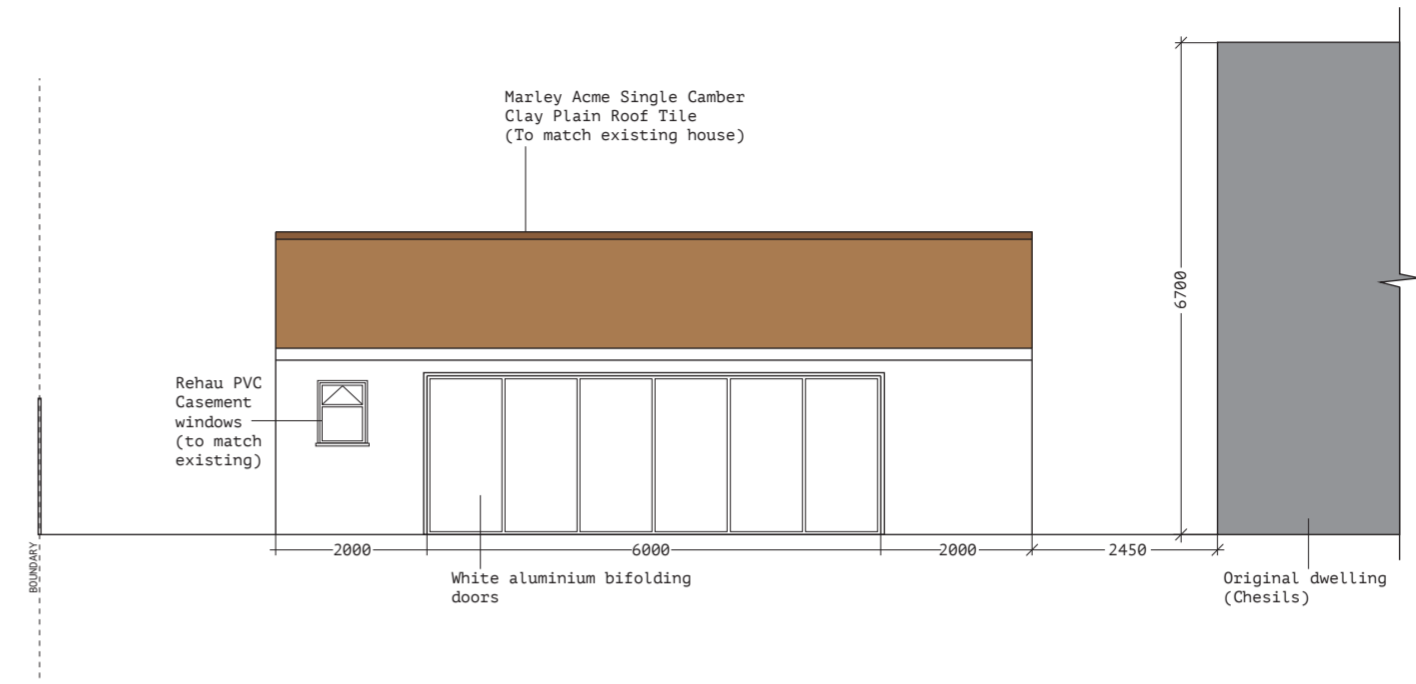


### Location Plan

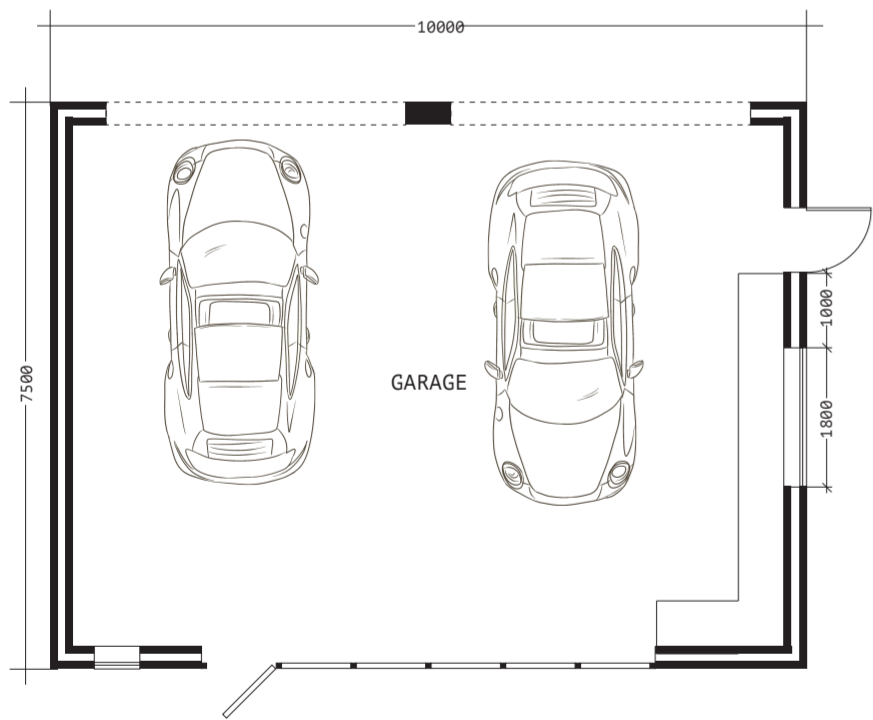




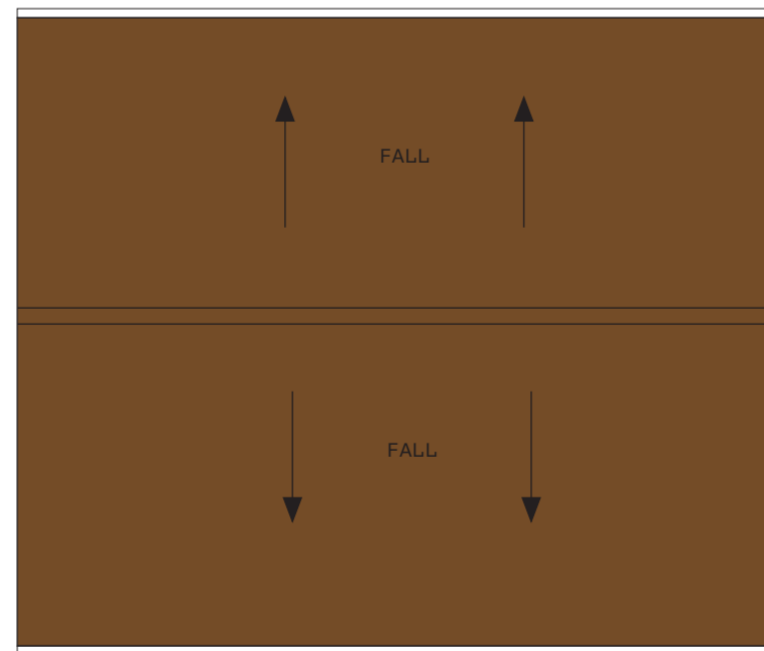
PROPOSED FRONT ELEVATION



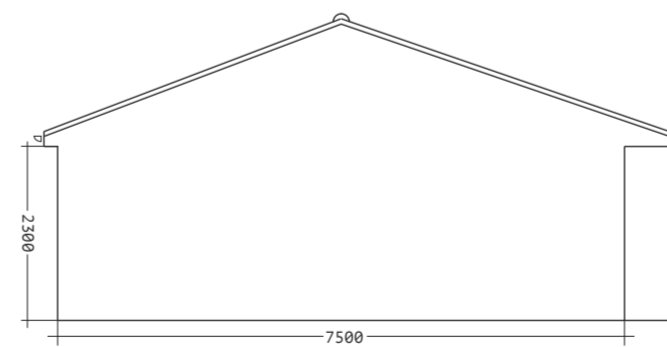
PROPOSED FRONT ELEVATION



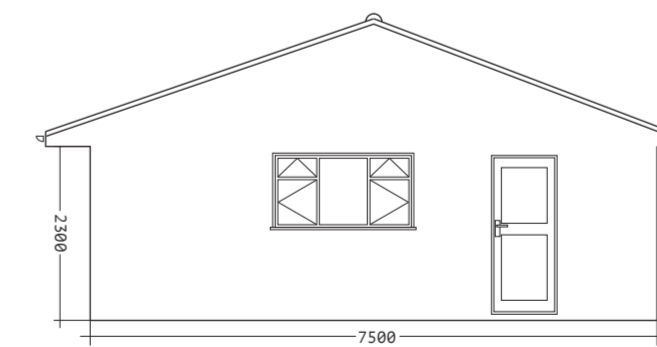
PROPOSED GROUND FLOOR PLAN



PROPOSED ROOF PLAN



PROPOSED SIDE ELEVATION



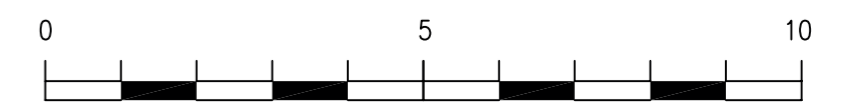
PROPOSED SIDE ELEVATION

Drawing No: JB002  
 Client: JAGDEEP BHACHU  
 Project: CHESILS  
 STANWELL ROAD  
 SL3 9PE  
 Drawing: PROPOSED DRAWINGS  
 Scale: 1:100 @ A2  
 Date: August 2022  
 Drawing by: V S Rayat  
 (Studio One  
 Architecture)

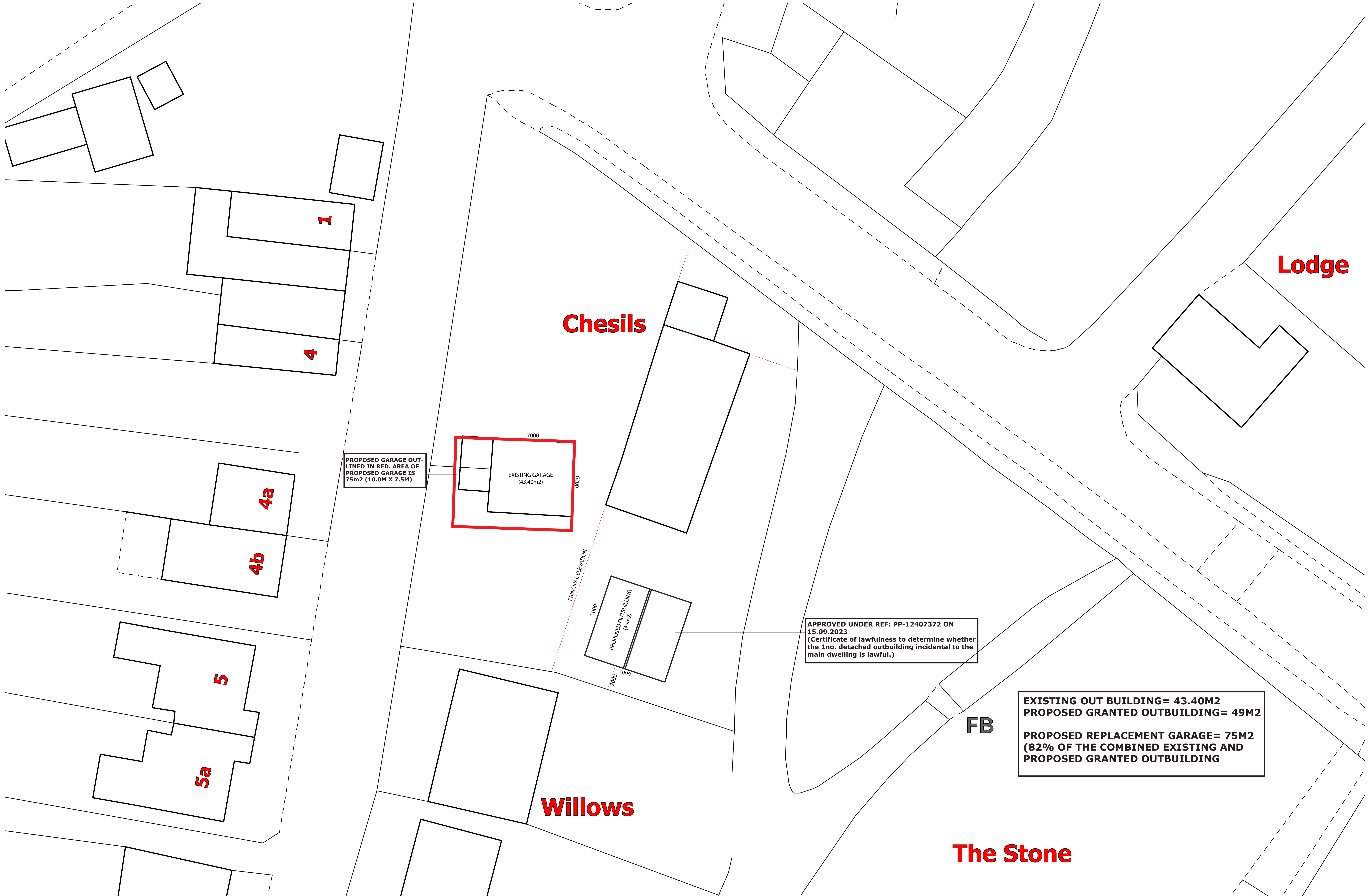
These drawings should be approved by local Authority before works commence on site.

No dimensions to be scaled from this drawing. All dimensions to be checked on site. This drawing is copyright and should not be reproduced without the permission of the Architects.

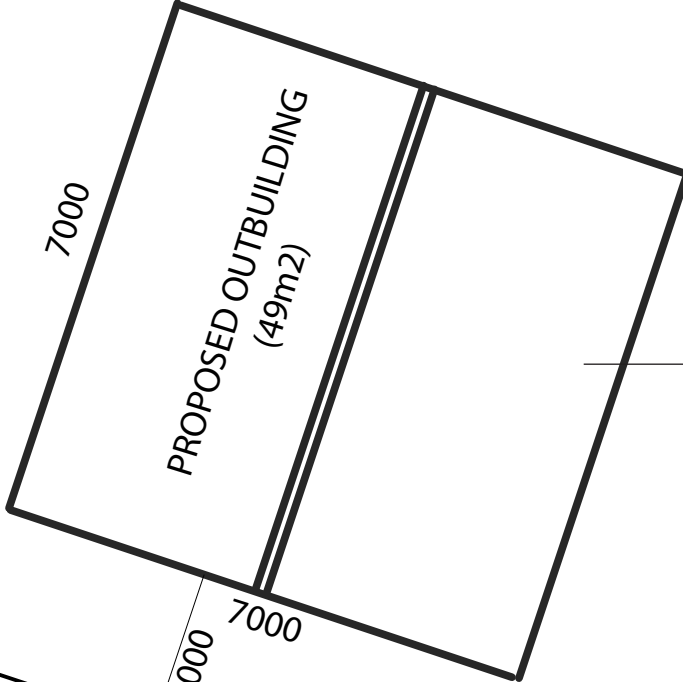
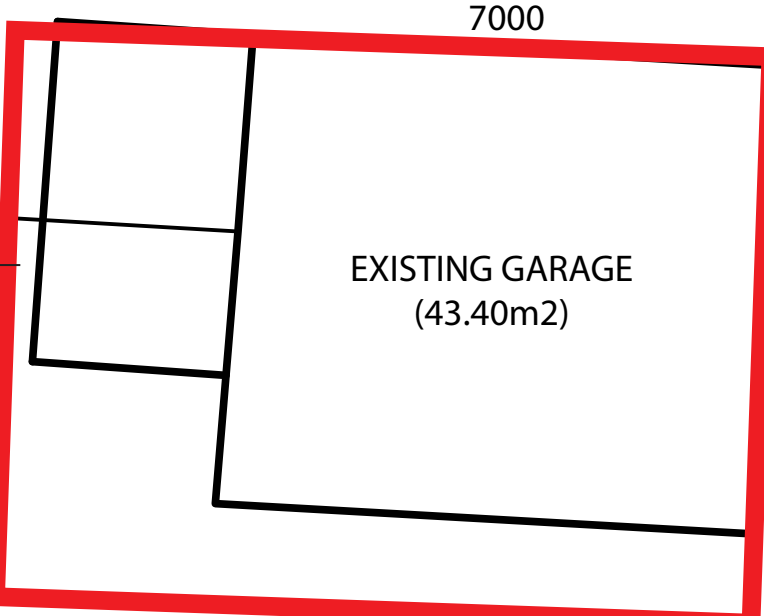
Tel: +44 7939 948 331  
 Web: www.studio1architecture.com  
 Email: design@studio1architecture.com



Millimetres Scale 1 to 100



PROPOSED GARAGE OUT-  
LINED IN RED. AREA OF  
PROPOSED GARAGE IS  
75m<sup>2</sup> (10.0M X 7.5M)



APPROVED UNDER REF: PP-12407372 ON  
15.09.2023  
(Certificate of lawfulness to determine whether  
the 1no. detached outbuilding incidental to the  
main dwelling is lawful.)

EXISTING OUT BUILDING= 43.40M<sup>2</sup>  
PROPOSED GRANTED OUTBUILDING= 49M<sup>2</sup>  
PROPOSED REPLACEMENT GARAGE= 75M<sup>2</sup>  
(82% OF THE COMBINED EXISTING AND  
PROPOSED GRANTED OUTBUILDING)

Scale 1:100



Projection: British National Grid  
01 September 2023 2144