

# Rye House, Ickniel Way, HP23 4JU

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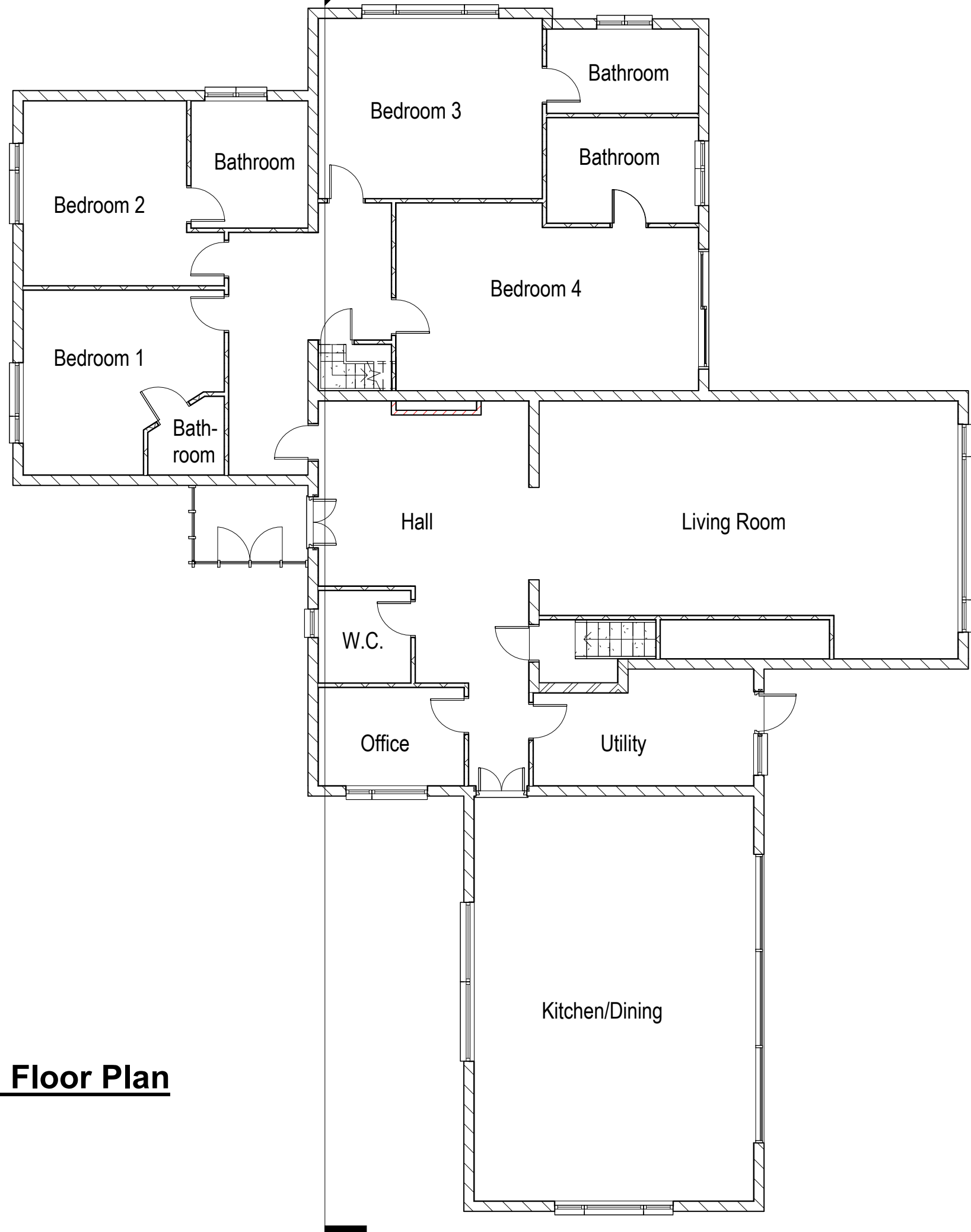


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PROJECT	Rye House, Ickniel Way, HP23 4JU	
SHEET	Contents	

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Date	Scale (@ A3)	
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Drawn by	Drawing No.	Revision
MG		



**Ground Floor Plan**

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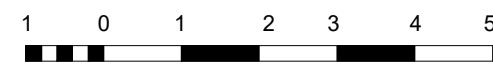
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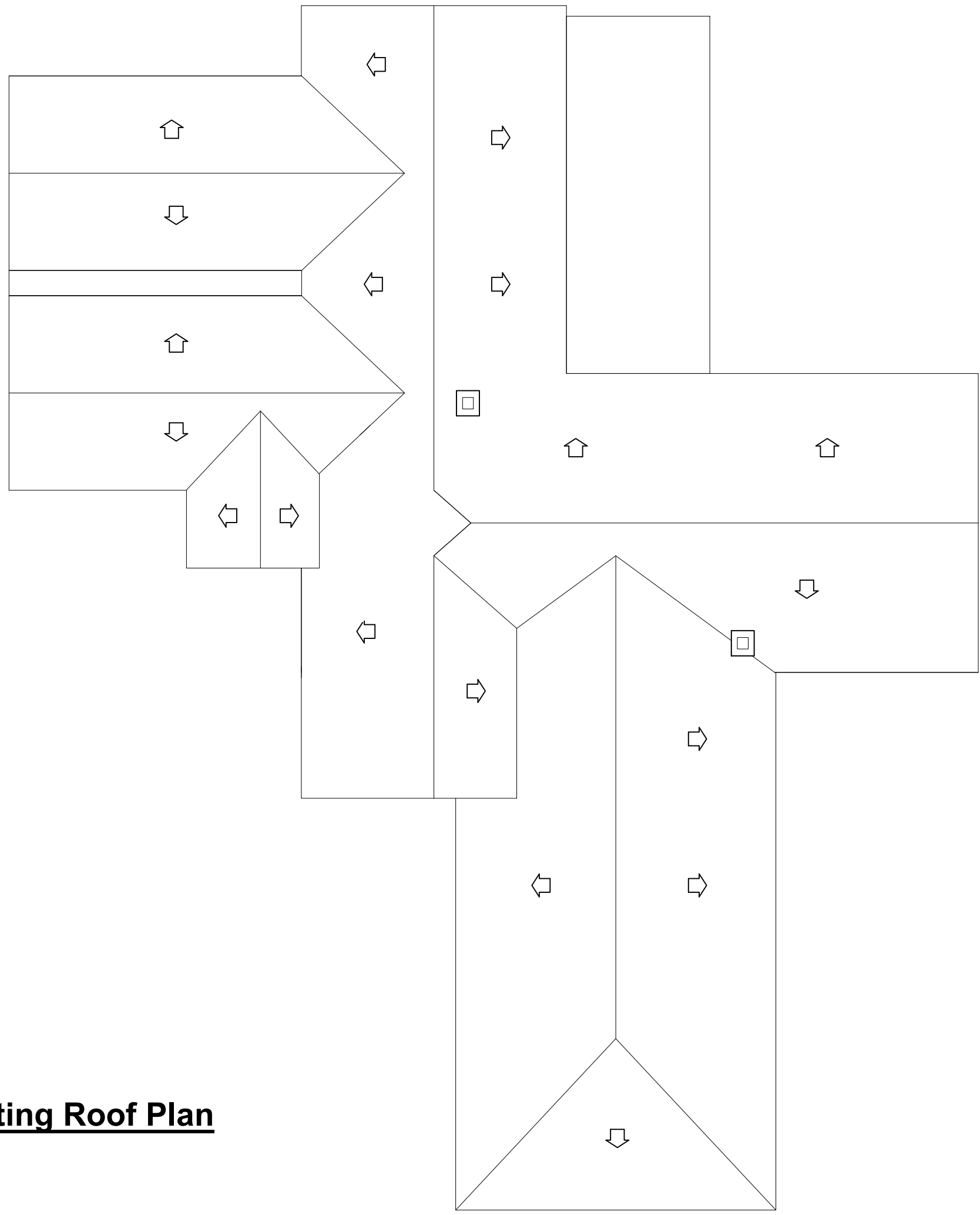
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**Ivan Carter**

SHEET  
**Existing Ground  
 Floor Plan**

Date 24/11/2023	Scale (@ A3) 1 : 100
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Drawn by MG	Drawing No. 1001	Revision
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**Existing Roof Plan**

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SHEET  
**Existing Roof  
 Plan**

Date	Scale (@ A3)
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Drawn by	Drawing No.	Revision
MG	1002	

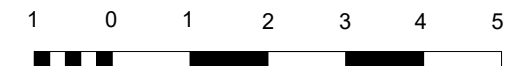




**Front Elevation**



**Side Elevation**

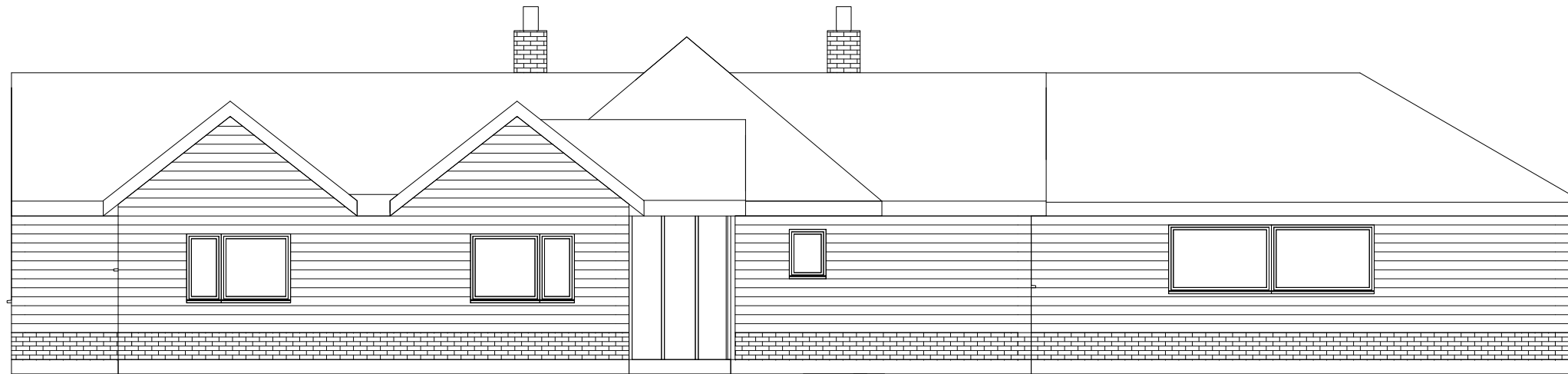


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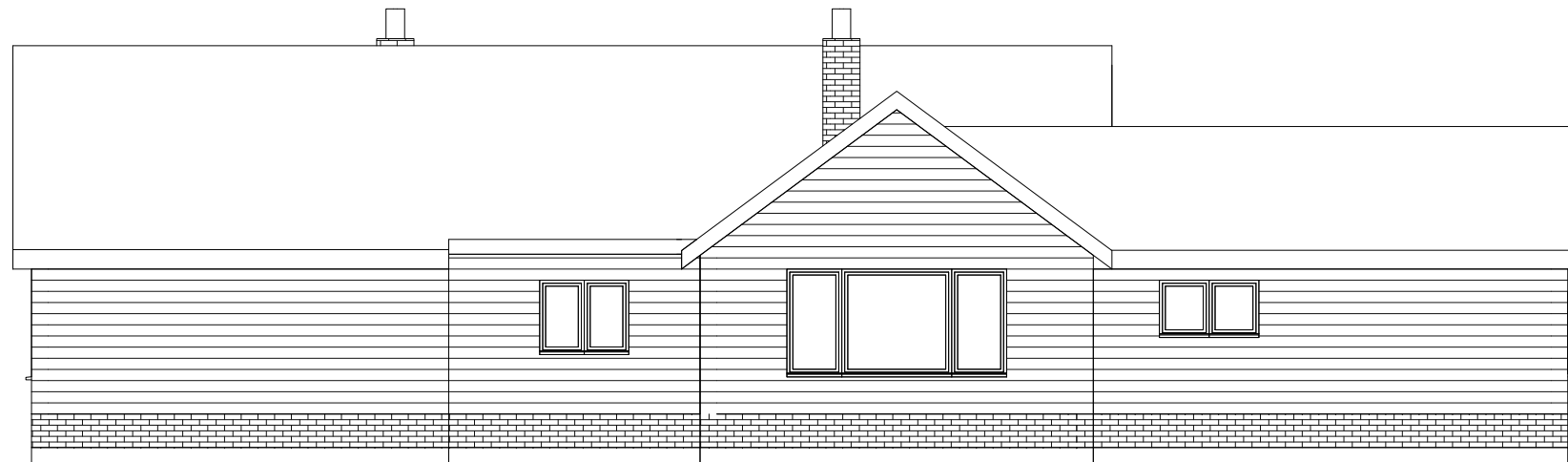


PROJECT **Rye House, Icknield Way, HP23 4JU**  
 SHEET **Existing Elevations**

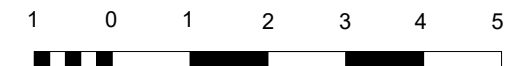
CLIENT <b>Ivan Carter</b>		
Date 24/11/2023	Scale (@ A3) 1 : 100	
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**Side - Elevation**



**Rear Elevation**

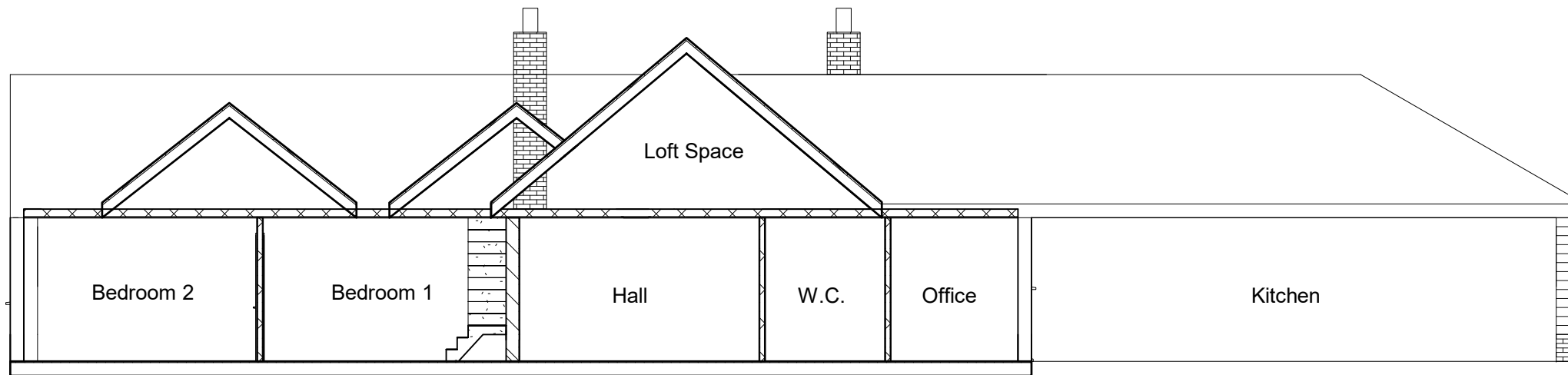


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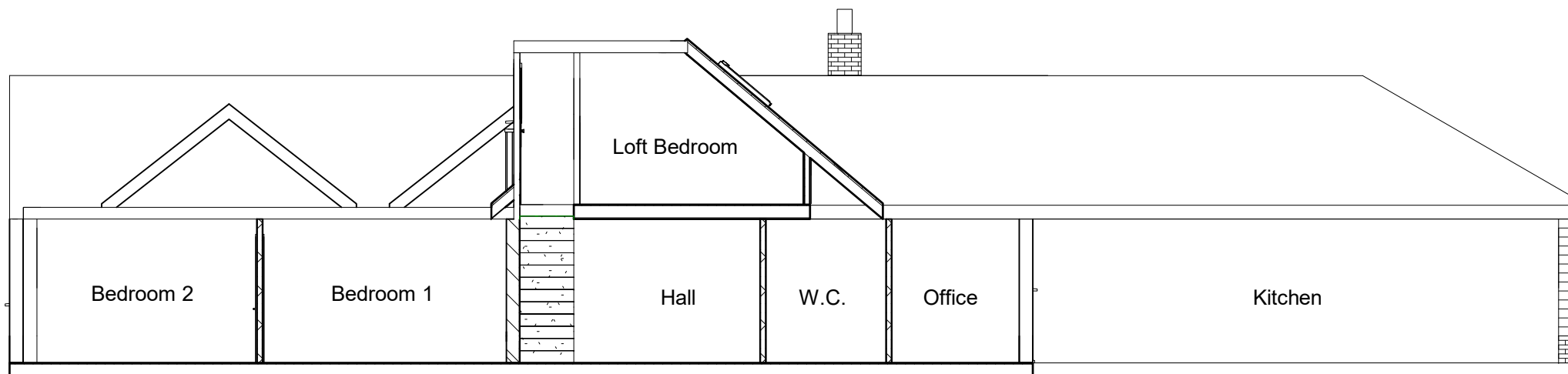


PROJECT **Rye House, Icknield Way, HP23 4JU**  
 SHEET **Existing Elevations**

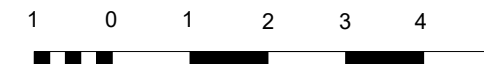
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**Existing Section**



**Proposed Section**



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PROJECT Rye House, Icknield Way, HP23 4JU

SHEET Sections

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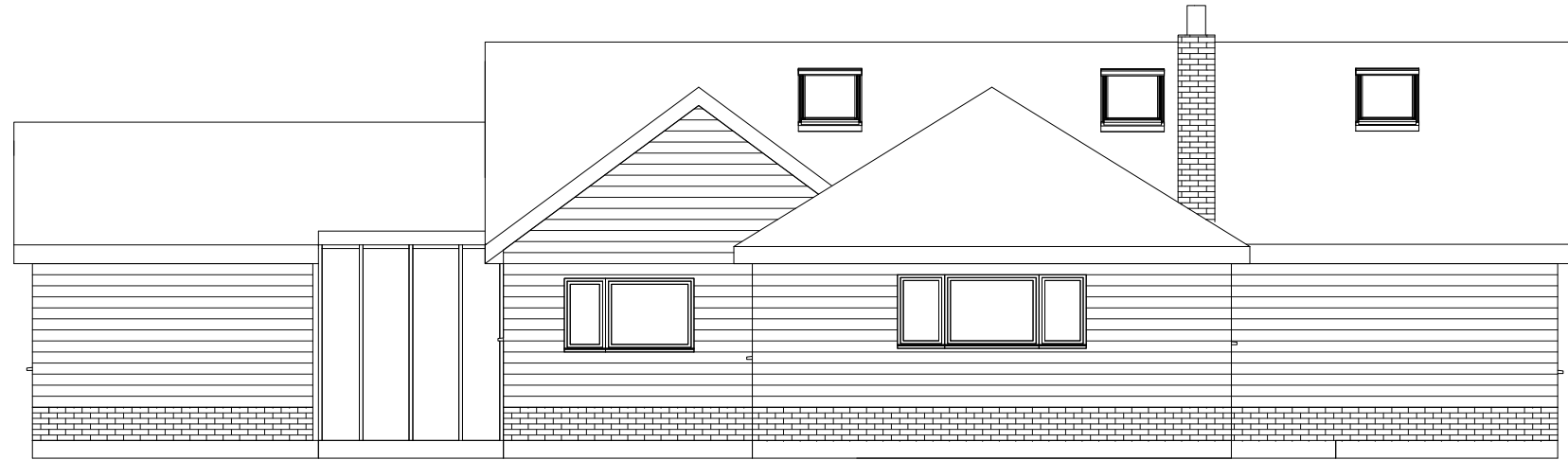
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Drawing No. 1005

Revision



**Front Elevation**



**Side Elevation**

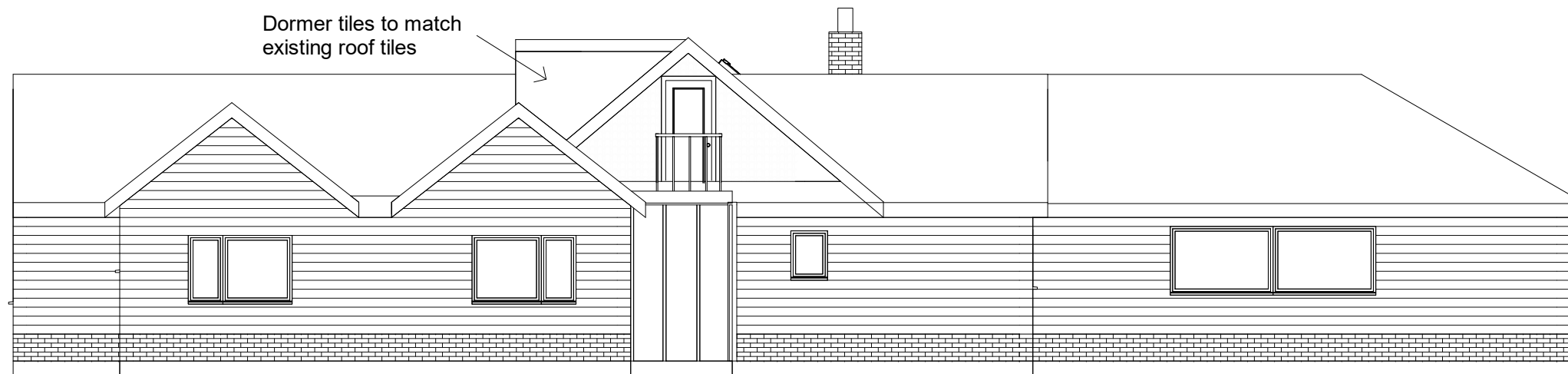


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PROJECT **Rye House, Icknield Way, HP23 4JU**  
 SHEET **Proposed Elevations**

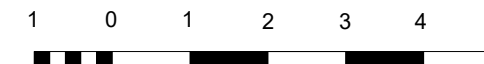
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**Side - Elevation**



**Rear Elevation**



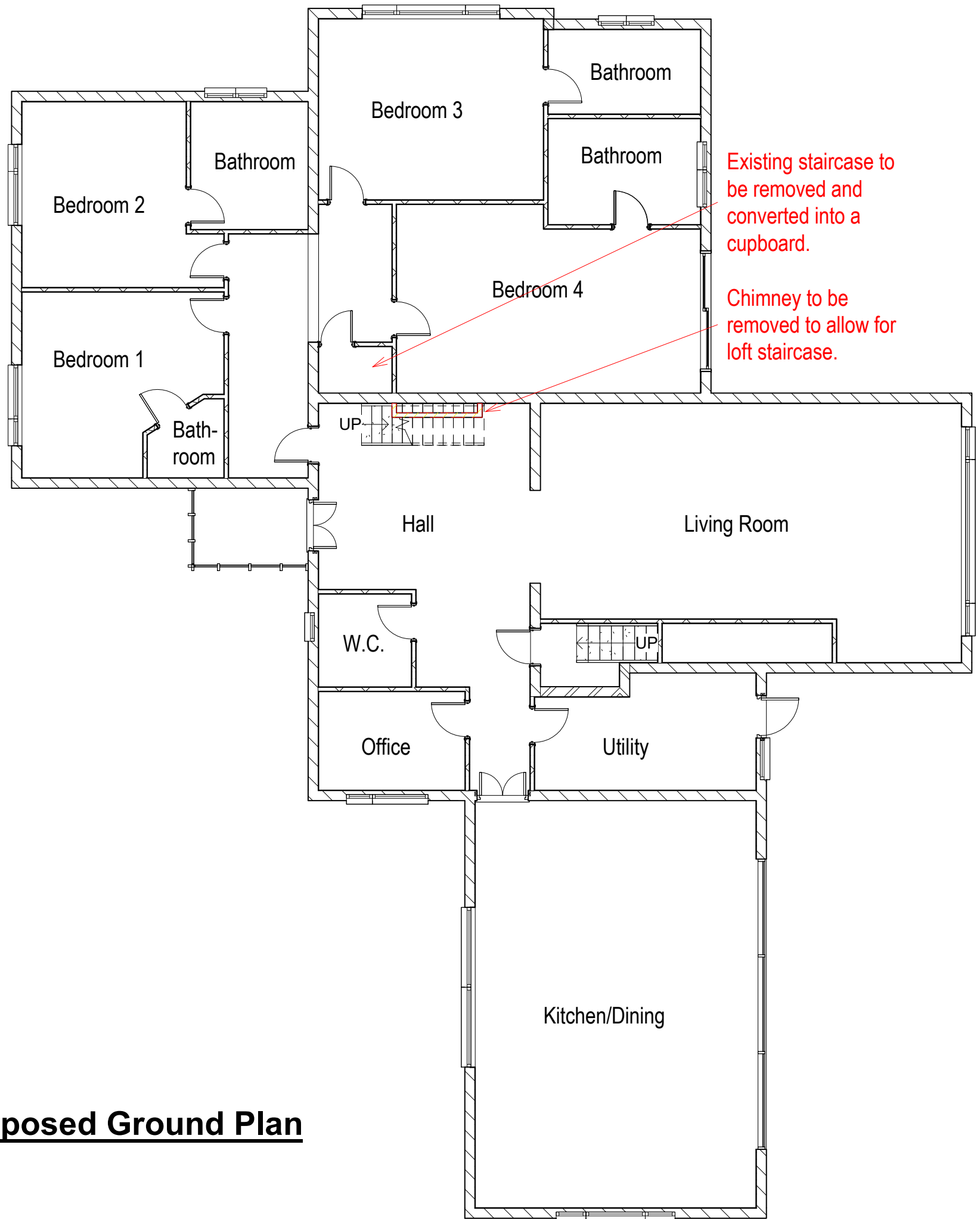
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 SHEET **Proposed Elevations**

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**Proposed Ground Plan**

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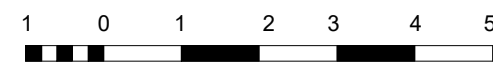
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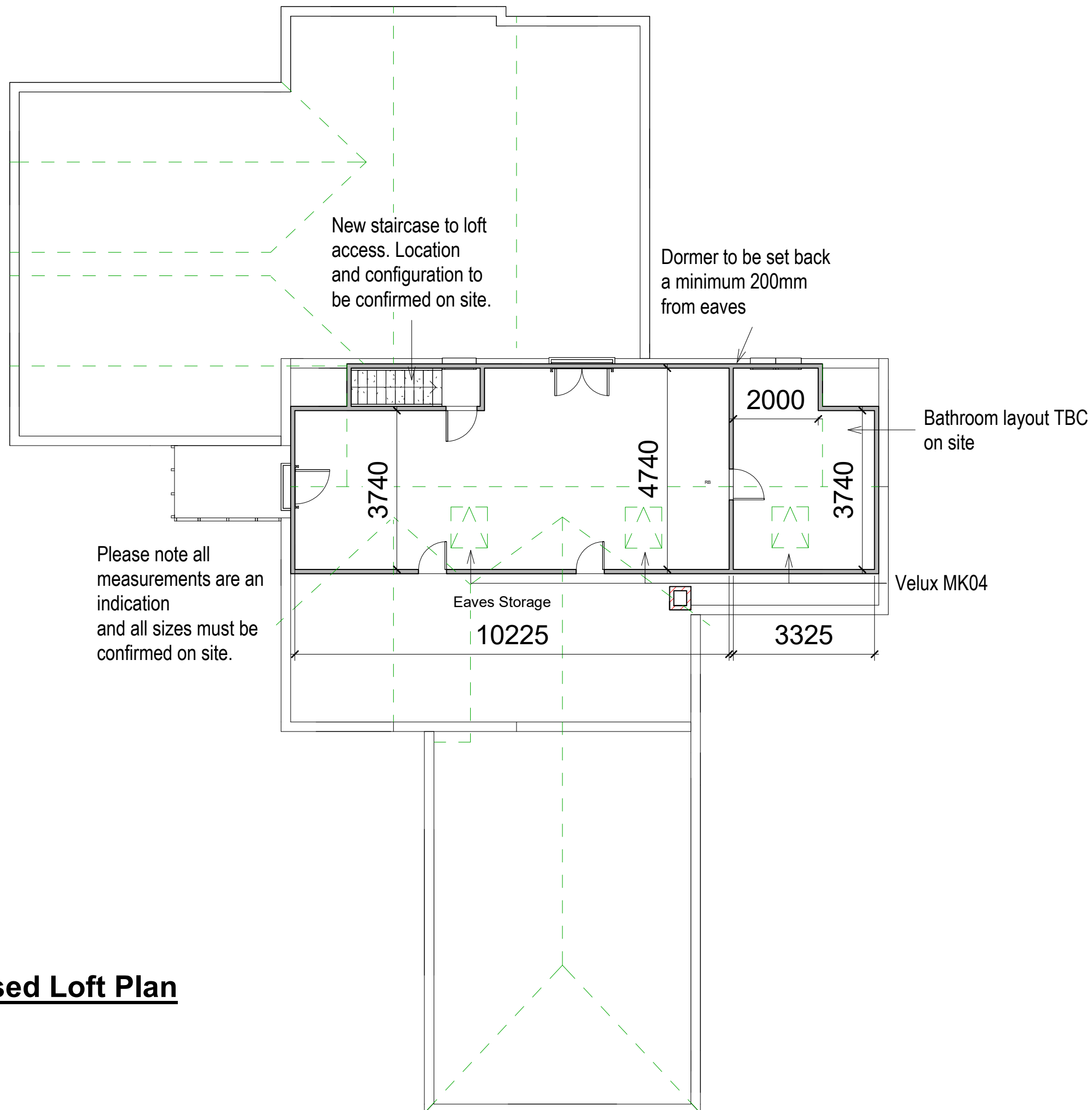
SHEET  
 Proposed Ground  
 Floor

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Drawn by MG	Drawing No. 1008	Revision
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# Proposed Loft Plan



Please note all measurements are an indication and all sizes must be confirmed on site.

New staircase to loft access. Location and configuration to be confirmed on site.

Dormer to be set back a minimum 200mm from eaves

Bathroom layout TBC on site

Velux MK04

Eaves Storage

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Proposed Loft  
 Plan

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**Dormer calculation:** permitted development 50m<sup>3</sup>

**Dormer:**

$$\frac{11.2 \times 2.9 \times 2.4}{2} = 38.98\text{m}^3$$

**Hip to Gable**

$$\left( \frac{6.53 \times 2.7}{2} \right) \times 3.7 = 10.87\text{m}^3$$

**Total:** = 49.85m<sup>3</sup>

**Chimney's**

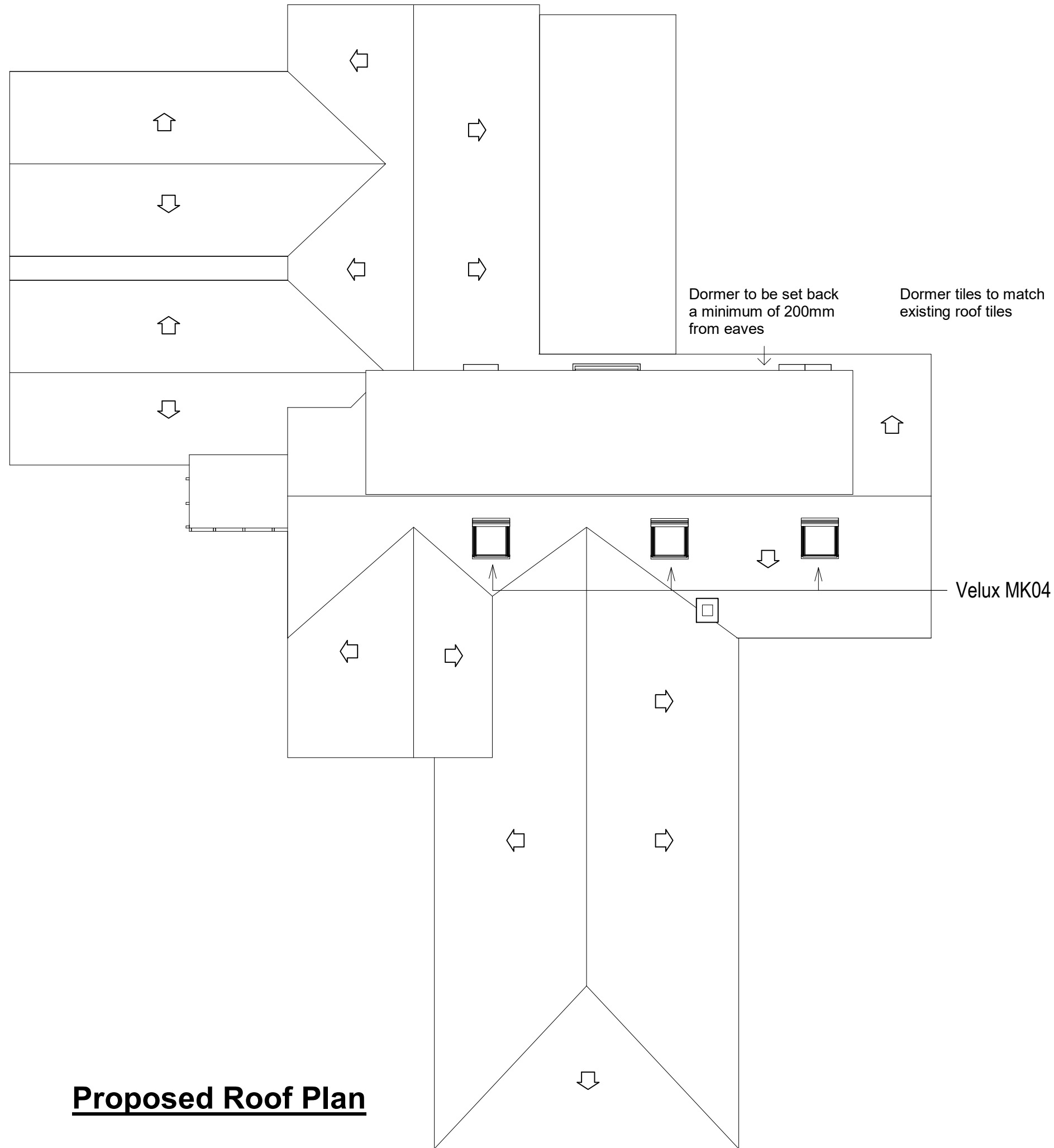
Raising or removing chimney's are subject to party wall agreements & extra costs. This is required to be agreed prior to commencement on site.

**Party Wall ETC ACT**

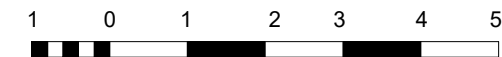
The building owner is responsible for serving all notices and obtaining any written consent which may be required under the above legislation before work commences.

**Restrictive Covenants**

The building owner is responsible for informing Central Lofts in writing whether there are any restrictive covenants on this property. If so, the property owner may need further permission to develop the property/land. In such instances covenant approval is required prior to works commencing on site. Adherence to covenants is the responsibility of the property owner.



**Proposed Roof Plan**



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Proposed Roof  
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