

## DESIGN & ACCESS STATEMENT

Applicant: Cove Communities  
Project: Proposed Masterplan Enhancement  
Status: Planning  
Location: Medmerry Park, Chichester  
Authority: Chichester District Council

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JULY, 2023

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## 1.0 INTRODUCTION

### 1.1 - Purpose of Report

This statement has been prepared by Inspired Partnership Ltd on behalf of Cove Communities, and in support of discussions with Chichester District Council and other statutory consultees.

### 1.2 – Medmerry Park

Situated a short walk from the Wittering's and the tranquillity they offer, Medmerry Park is a luxury resort offering guests the opportunity to reside in close proximity to Chichester Harbour and the surrounding natural setting, whilst providing a wealth of on-site amenities. The site currently offers 308 units of accommodation in the form of luxury chalets and apartments.

### 1.3 - Executive Summary

The proposals represented by this submission will provide a new enhanced masterplan with high quality luxury accommodation, supported by a host of new amenity offers and on-site facilities for use of guests of the resort and the local community. New development is proposed in a landscaped setting which is consistent with the surrounding area, and are supplemented by the implementation of a series of landscape enhancements which will not only provide biodiversity net-gain, but will also help to homogenise the site and integrate the additions.

The enhancement proposes a selection of new high quality accommodation and amenity offers, whilst affording a suite of new fully accessible facilities and enhancements, to ensure that the development is accessible to a wider range of guests and provides indiscriminative enjoyment.

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#### 1.4 - Description of the Proposed Works

The applicant wishes to enhance the self-contained holiday park, replacing existing poor quality accommodation and amenities in favour of creating new luxury accommodation, and strengthening the site's amenity offer and position within the local community. The full proposal is as follows:

- The removal of 308no. units of accommodation deemed to be unfit for purpose and with limited opportunities for enhancement, and the addition of 308no. new units of luxury accommodation, re-positioned to respond directly to significant site constraints whilst looking to enhance the immediate and local area. New amenity offers will be provided to create interaction with the site and will provide residents with opportunity to dwell on site.
- An enhancement of the existing central amenity hub to provide an area which welcomes guests to the site, and offers the opportunity for a wealth of on-site activities in a location accessible to all.
- The addition of a new self-contained back of house building cluster to serve the development, included with provision for housekeeping, maintenance, groundskeeping and site operations.
- The addition of three new man-made wetland lakes with accommodation to their perimeter, proposed to offer an extension of the surrounding RSPB Medmerry Reserve, and creating an opportunity to provide accommodation with a connection to the local setting.
- The addition of a new man-made activity lake with associated boathouse, providing guests with the opportunity to enjoy open-water activities on-site whilst creating a focal point to the site.
- The enhancement of the existing external pool and facilities to create a improved pool area which can be used in inclement weather, and provides new accessible facilities to provide indiscriminative access.
- The addition of host of new amenity activities throughout the site location, to include a new open-air cinema with associated landscaping, a nature trail with connections to the coast and adjoining reserve, a new locally themed adventure golf, and provision for various onsite sports activities.
- A series of landscape enhancements to assist with the integration of the new building elements and the surrounding landscape. The inclusion of new external seating areas associated with the open-air dining area, and provision for pop-up spaces for variable food and drink offerings.

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## 2.0 THE SITE

### 2.1 - Site Location

Located on the south coast and in close proximity to Chichester Harbour, Medmerry Park is set a short walk from a wealth of wonderful opportunities to integrate within the local setting. The site is bounded on three side by the RSPB Medmerry Reserve, offering guests the opportunity to interact with UK native flora and fauna whilst being a short walk from some of the best beaches that the UK has on offer.

Medmerry Park is located approximately six miles southwest of the centre of Chichester, approximately three miles southeast of Chichester Harbour, and is set within a stone's throw of the Witterings and all the activities they have to offer.

1. Proposed Site Location
2. The Village of Earnley
3. East Wittering and Bracklesham Bay
4. The Town of Selsey
5. RSPB Pagham Harbour Reserve
6. Chichester Harbour



Fig. 1: Medmerry Park Location Plan

## 2.2 - Site Description

The proposed site is an existing holiday resort included with a series of lodges and amenity offers, and positioned in a centralised zone of the self-contained site location. The site is located with existing low-quality landscaping and planting which is proposed as enhanced under the current application, ensuring that the site integrates and enhances the surrounding local area, whilst building on the sites connection to its setting.

Access to the site area will be provided through an existing roadway, with no change to the current arrangements provided under this application.

Proposals are based on detailed topographical survey information.

- |                         |                              |
|-------------------------|------------------------------|
| 1. Existing Site Entry  | 4. The Earnley Beach Centre  |
| 2. The Medmerry Pool    | 5. Medmerry Park Beach Front |
| 3. The Medmerry Village | 6. Existing Amenity Offer    |



Fig. 2: Medmerry Park Site Location Plan

### 2.3 - Site Photos



*Fig. 3: View across the existing mini golf offer to the Medmerry restaurant and amenity hub.*



*Fig. 4: View across the site location from the public right of way (viewed looking in a northerly orientation) which splits the site.*





*Fig. 5: View across the site location from the public right of way (viewed looking in a north-easterly orientation).*



*Fig. 6: View of existing accommodation and landscaping seen throughout the site location – accommodation is seen to be in a poor condition with many units off sale to the public.*



*Fig. 7: View towards the existing Medmerry Hub from the proposed back of house facilities cluster.*



*Fig. 8: View of the entrance to the site viewed in a southerly orientation.*



*Fig. 9: View across to the existing car parking facilities at the centre of the site to the Medmerry Hub.*



*Fig. 10: View of the Medmerry Hub's external amenity area with the reception building on show.*

## 2.4 – Landscape Context

Medmerry Park is an existing holiday resort offering residents the opportunity to reside in a special landscape area defined by its coastal views and surrounding natural setting. ClewsLA, the project Landscape Architects, have provide an assessment of the existing landscape character, and the impact as a result of the implementation of the proposed development. The assessment should be referred to for a detailed evaluation of the features of the site and surrounding area, with the following provided as a summary of the landscape context.

As part of pre-application discussions with the Planning Authority, it was agreed that it would be beneficial to reuse the site labelling from the previous application (shown on the page below) to provide reference when discussing areas within the site boundary. A brief description of each zone follows and identifies the site characteristics, inter-visibility and quality/sensitivity:

### **Field A: Core Development Area (9Ha) – Generally Low Quality**

Falls broadly southwards from 3.25m AOD to circa 2m AOD. Defined as the central core of the site, being densely developed with very low quality single-storey chalets and communal parking areas. Although the area is predominantly single-storey, a large two-storey building is included centrally to the zone.

### **Field B: North Field (2.3Ha) – Medium-High Quality**

Falls broadly southwards from 4m AOD to 3.75m AOD, the zone is defined as an open pasture field linked to the wider arable landscape to the north. Orientated east – west the field is only 90m deep and 260m wide.

### **Field C: North Eastern Field (4.7Ha) – Medium-Poor Quality**

Falls broadly westwards from 3.75m AOD to 2.5m AOD, the open pasture field is linked to the wider arable landscape to the north/ east. Boundaries are defined by the perimeter road/access to the large warehouse facility east of the site and the field is bisected by the access road to the storage/maintenance yard.

### **Field D: Eastern Field (2.5Ha) – High Quality**

Falls broadly westwards from 4.0m AOD to 1.75m AOD and is generally defined as an open pasture field linked to the RSPB sites to the east. The area has an open boundary to the east, with open views to the wild coastal landscape.

### **Field E: Western Field (5.2Ha) – Medium Quality**

Falls broadly southwards from 3.5m AOD to 2.75m AOD and is generally defined as a semi-improved grassland/pasture field with development at the western boundary and an access track cutting across from the gated access off the PROW.

**Field F – L are Outside of the Redline Boundary and do not Form Part of this Assessment.**



*Fig. 11: View Across the Site from RSPB Medmerry at the East of the Site Location*

The following landscape design influences and assumptions have been considered relevant:

- The entire design process has been heavily influenced by the coastal environment and potential for coastal flooding with global warming and sea levels rising. Due to the complex site situation, watercourses and current insufficient sea defences the new lodges have to be elevated above the 1 in a 100yr flood level at 4.43m FFL.
- As the site landform slopes north to south this level difference between the existing landscape and the lodges increases so that access to the accommodation in these areas will be via ramped boardwalks and/ or stepped.
- The material excavated from the lakes/ waterbodies will be used in places to raise the ground to reduce the void, but this is only possible where existing features, such as the rifles, vegetation and external roads/ paths are not present.
- This is an evolving landscape, which may radically alter in the next 100 years. This assessment however considers the present landscape, whilst designing for the future and allowing for the potential risk of rising water levels. This disparity is not part of the assessment, but it must be considered that there is no alternative in re-developing this site.

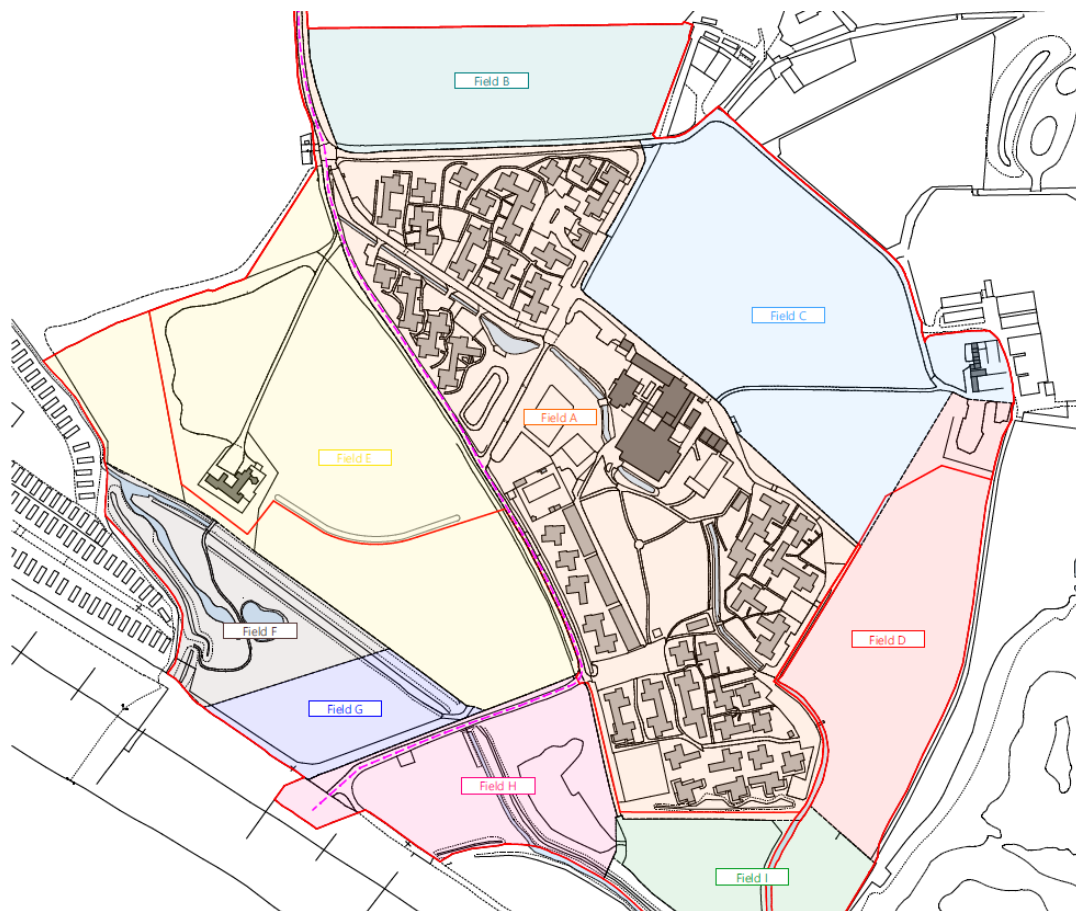


Fig. 12: Site Designation to Aid Discussions – *Not to scale*

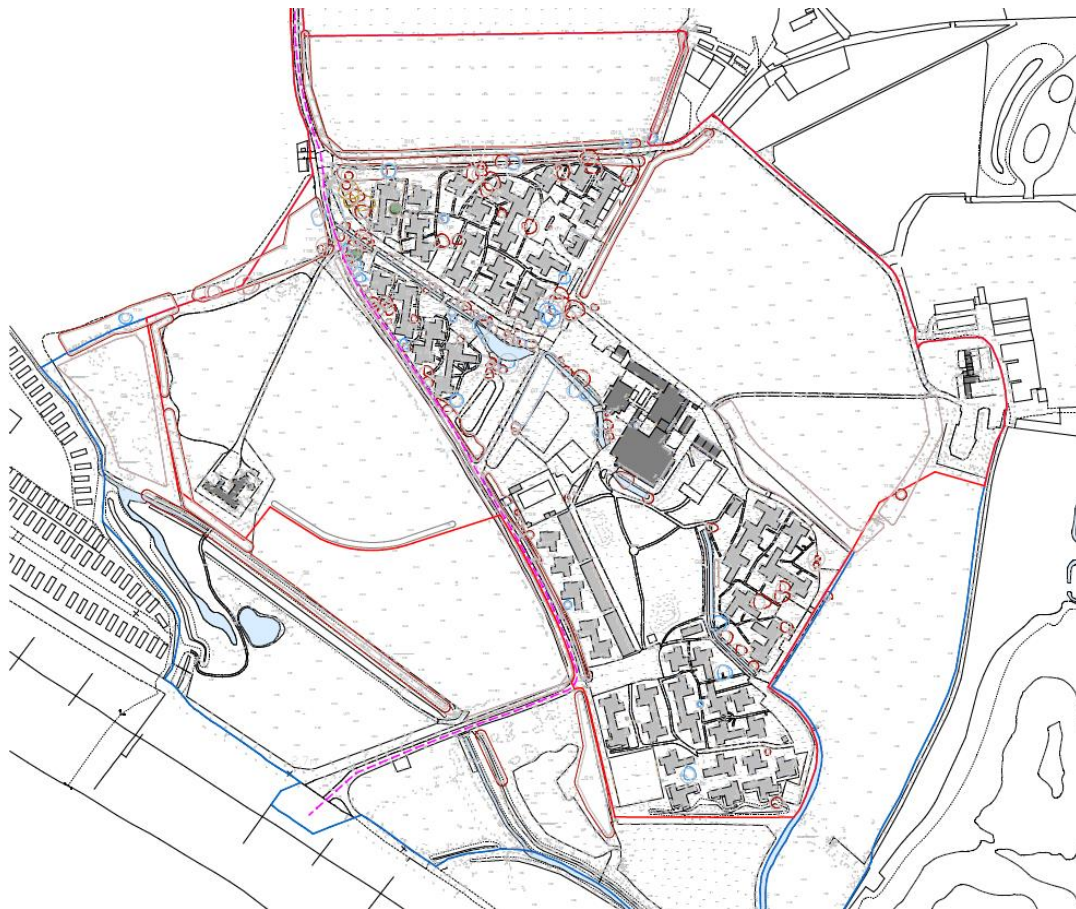
## 2.5 – Trees

The application is accompanied by a full arboricultural impact assessment (in accordance with BS5837:2012 – Trees in relation to design, demolition, and construction) and tree survey report provided by RPS.

To construct the proposed development 96 individual trees and 6 tree groups must be removed; including 1no. category A tree (high quality and value), 18no. individual trees and 1 group of category B trees (moderate quality and value), 74no. individual trees and 5 groups of category C trees (moderate quality and value), and 3no. individual trees in poor condition (category U), in various locations and groups throughout the site. Associated root protection areas (RPA's) have been used to inform the design and locations. The loss of these trees will be compensated by extensive new tree planting throughout the site which will be designed to complement the new site layout.

The assessment has determined that although 96 individual tree, six tree groups and 8 scrub and hedgerow areas will need to be removed, only one Category A (High Quality) tree is to be removed with the majority being of Category C (Low Quality). The assessment concluded that, with the adoption of documented measures, there would be a moderate impact but not significant effect upon trees, as none of the trees are classified as special.

For further information, please refer to the accompanying tree survey, removal plan, and arboricultural impact assessment submitted with this application.



*Fig. 13: Existing Site Plan with Tree RPAs Shown, Leading the Evolution of the Design – Not to scale*

## 2.6 – Wildlife, Ecology, & Biodiversity

The landscape within and surrounding Medmerry Park includes a range of diverse habitats which benefit a number of local, native, and protected species. An ecological evaluation based on detailed surveys throughout the site and surrounding area has been prepared by RSK in support of the application and proposal. These ecological surveys have been used to support the evolution of the masterplan, providing significant opportunity for the enhancement of on-site bio-diversity, and creation of a diverse range of habitats throughout the site. The following key features are noted by way of overview:

- There are no international and national designated sites within the site, however, due to the proximity and potential connectivity of the site to surrounding designated sites, a Habitat Regulations Assessment (HSA) has been deemed necessary in order to ensure significant impact are not imposed from the proposed development that undermine the conservation objectives of such designated sites.
- From the early stages of the project evolution, a constraints-led design was employed, making allowances based on extensive habitat surveys throughout and surrounding the site location. Surveys identified that the site is likely to be used by Amphibians, Badgers, Bats, Breeding Birds, Invertebrates, Reptiles, Water Voles, and other mammals. The identification of the water vole population within the site has led to the retainment of all watercourses and has enacted developmental changes in order to avoid construction relation impacts and safeguard the population.
- The avoidance of likely impacts of ecological features was a contributing factor in the selection of development areas within the site, with the selected areas generally comprising relatively low suitability for protected habitats and species populations.
- The proposal has substantial potential to deliver enhancements for biodiversity which will benefit a number of local, native, and protected species which use the site location, in addition to providing a development which integrates within its environment and encourages residents to appreciate the importance of the site and surroundings.

For further information, please refer to the accompanying ecological assessment submitted with this application.



*Fig. 14: View Across Field H at the South of the Site Location*



Fig. 15: RSK's Proposed Enhancements Map – Not to scale



## 2.7 – Flood Risk

The application is supported by Herrington Consultants who have provided a detailed Flood Risk Assessment (FRA) to demonstrate that the proposal can be successfully implemented with no adverse effect to the risk of flooding both on and around the site location. The following are noted by way of summary:

- The site is defined as being at ‘high risk’ of flooding from the sea by the Environmental Agency’s Flood Risk Map, with the majority of the site located within Flood Zone 3 – consequently, a more detailed numerical modelling exercise has been undertaken to determine the true risk of flooding from this source, contained within the submitted FRA under *section 5*.
- The site is defined as being at ‘high risk’ of flooding from rivers, ordinary and man-made watercourses by the Environmental Agency’s Risk Map, with the mapping identifying that the site is located within Flood Zone 3 of the adjacent Earnley Rife.
- Water levels below the ground rise during winter months, and fall again in summer as water flows out into rivers, therefore consideration has been made for the impact of elevated ground water levels – it is concluded that the risk of ground flooding due to groundwater emergence is considered to be low.
- The risk of flooding from sewers, reservoirs, canals, and other artificial sources is considered to be low.
- Global sea levels will continue to rise, depending on greenhouse gas emissions and the sensitivity of the climate system. The Environmental Agency specifies allowances for different regions throughout the UK, in this location the extreme sea level can be seen to change with time, and as such, a 1 in 200 year extreme sea level has been calculated. The extreme sea level is taken as 4.44m AODN or 4.81m AODN in the ‘Upper End’ scenario.

For further information, please refer to the accompanying Flood Risk Assessment submitted with this application.

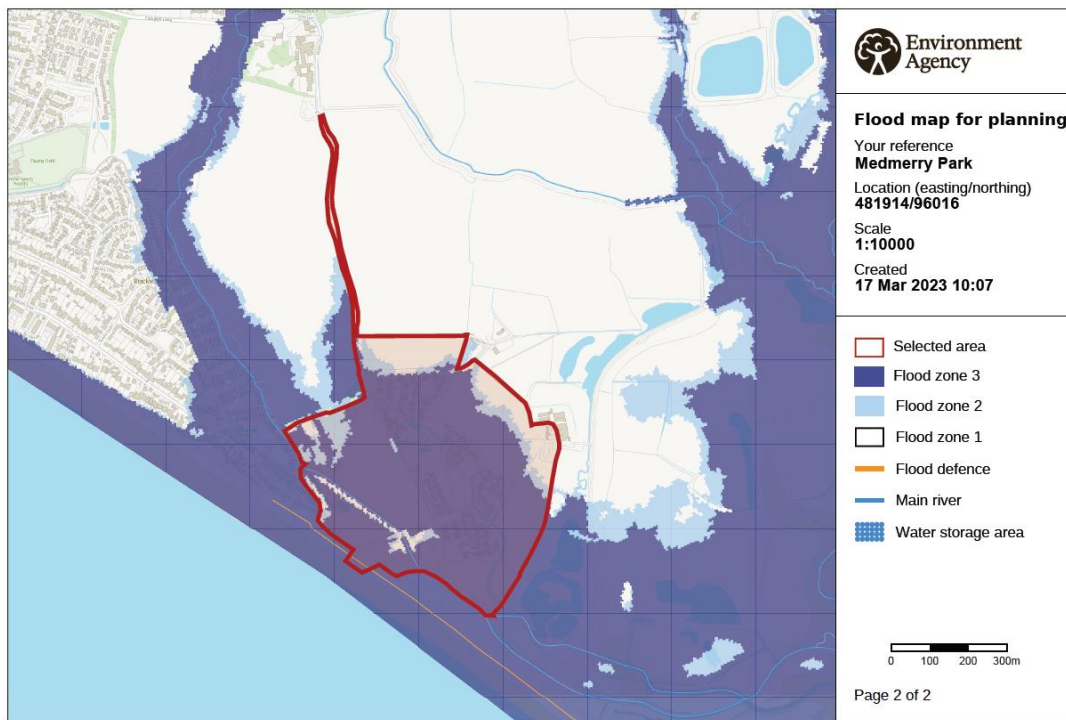


Fig. 16: Environment Agency Flood Mapping

## 3.0 DESIGN DEVELOPMENT

### 3.1 – Design Development



Fig. 17: Preliminary Masterplan Layout – REV 02 (SUPERSEDED) – Not to scale

Design proposals were developed through 2022 and produced in collaboration with heritage and landscape, ecology, and tree consultants to arrive at a preliminary masterplan with considerations for key site constraints and opportunities. The following was noted by way of overview post-engagement with the specialist consultants:

- Layouts should avoid being overly regular and should seek to reflect the informal/irregular nature of the immediate and local landscape.
- Any inclusion of new built form included at the south of the site should be of special architectural character, enhancing views from key viewpoints. Due to the need to raise all accommodation to +4.44m AOD, new built form may be more visible in the landscape and as such, any inclusion should be carefully considered as to not detract.
- Where possible, the majority of new development should be included at the north of the site, positioned away from areas of significant ecological, flood, and visual constraints – the large expanses of wetland included in the current revision, whilst providing significant amenity enhancement, absorb large areas of land reducing the ability to include accommodation,
- Proposals should include ecology improvements to meet Biodiversity Net Gain (BNG) requirements of national planning policy. These should seek to maximise connections to or value of existing habitats.



Fig. 18: Preliminary Masterplan Layout – REV 05 (SUPERSEDED) – *Not to scale*

Following engagement with project specialists, the masterplan evolved into a closer reflection of the current submission; proposed with three new smaller lakes with accommodation to their perimeters, and clusters of self-contained accommodation in areas of the site which have been identified as having less significant constraints. The scheme was based on a range of baseline surveys undertaken to inform proposals. These included:

- A full topographical survey of the site and its perimeters.
- A heritage and landscape character report.
- An desktop archaeological report.
- Full and detailed tree surveys.
- Wildlife and ecology surveys.

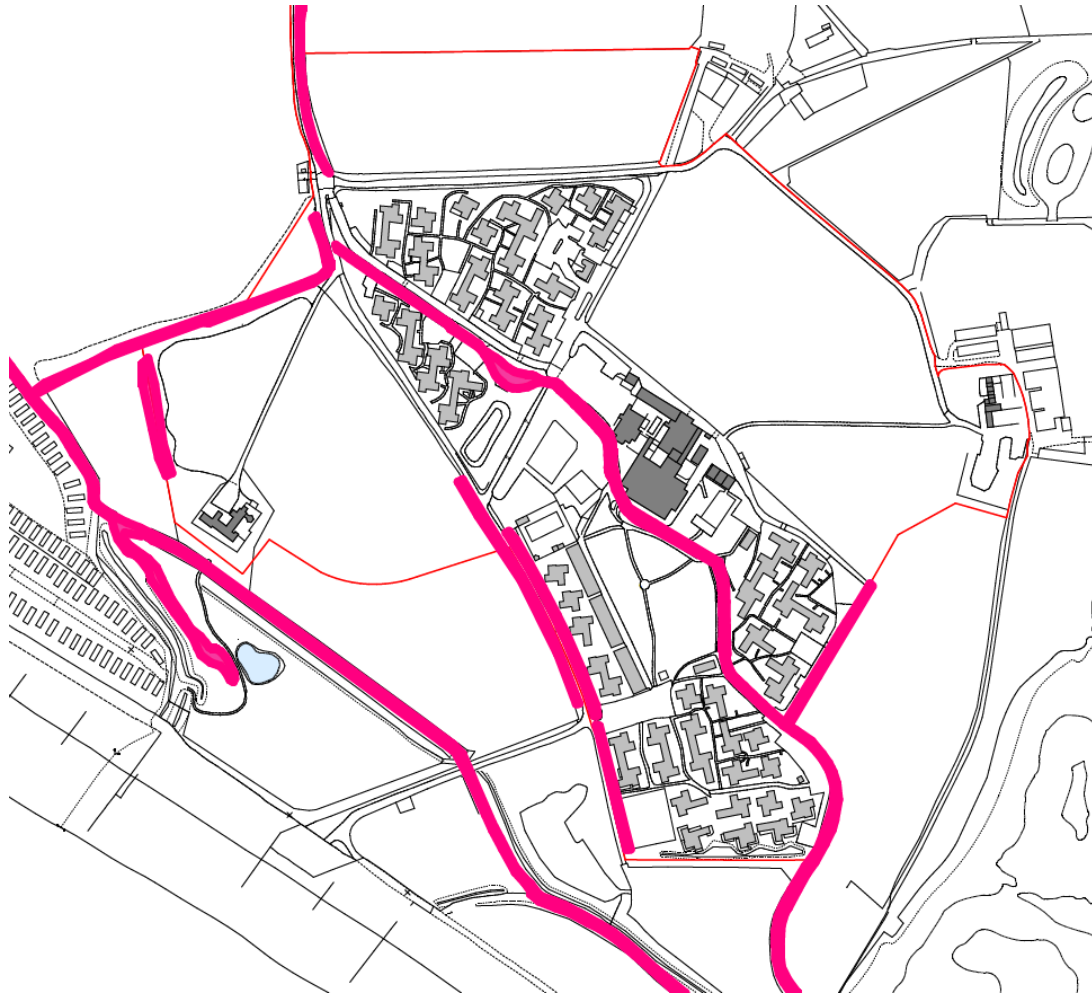
Although the above masterplan revision provided significant enhancement over earlier iterations, the Landscape Architect raised concerns in relation to particular areas of the proposal, which when raised to +4.44m AOD, would provide potential for harm to key views from around the site. These considerations were acknowledged and suitably catered for in later iterations of the masterplan proposal, included with adaptations to areas which were previously identified with particularly significant site constraints.



Fig. 19: Developed Masterplan Layout – REV 08 (SUPERSEDED) – *Not to scale*

Later nuances of the masterplan layout, considered further the characteristics of the site, and adapted the placement of built form and landscape to respond to critical constraints identified by the project team. To further enhance the resorts placement within its surroundings, it was critical that views from outside of the redline boundary were considered further, and where possible, enhanced through the removal of uncharacteristic built form which is seen throughout the site today. Adaptions to the masterplan were prepared in close consultation with the landscape advisor, providing a scheme which demonstrated a betterment to the existing site layout, and reduced the visibility of uncharacteristic development which would harm the setting of the adjoining reserve and coast to the south.

Through further consolidating built form to northern and central areas of the resort, new landscape buffers have been introduced along the north and eastern perimeter to assist with the proposals integration within the site. The landscape buffers, included with planted bunds, provide natural screening of built form and help to create a natural backdrop to the outskirts of the adjoining landscape, whilst the consolidation of units to central locations within the site help to open-up views across to the coast and Isle of Wight.



*Fig. 20: Route of Existing Broad Rife (Shown in Pink) – Not to scale*

Whilst the masterplan has been significantly adapted throughout its development, the presence of lakes/wetlands, which are reminiscent of the surrounding context of the site, has been a constant design proposal and is maintained as a key feature of the masterplan enhancement. Earlier versions of the masterplan development looked to incorporate the Broad Rife into the new wetland areas as an extension of the existing waterways, and embracing the presence of water within the site. This provides potential for enhanced habitat as well as visual amenity. These earlier schemes would demonstrate radical adaptations to the route of the existing rife, redirecting much of the existing route, and integrating its main body into new wetland areas.

Fig. 20, seen above, demonstrates the network of water bodies (seen in pink) which pass through the site. Recent extensive habitat surveys carried out throughout the site area and along the rife, have identified a dense population of Water Voles which are seen to occupy selected areas of the network of water courses, and which pass through and around the site location. Whilst the existing water courses first looked to provide limited ecological potential, the presence of Water Voles provided tangible proof of their significance, and demonstrated their ability to provide suitable habitat to local and native wildlife – a key driver in the masterplan’s development.

Subsequent to the identification of their ecological potential, it was apparent that the masterplan would need to be significantly adapted to ensure the retention and protection of all existing routes of the rife which would provide habitat for local wildlife, in addition to providing enhancements to encourage the population of Water Voles to flourish. The updates to the masterplan follow:

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## 4.0 THE PROPOSALS

### 4.1 – Proposed Site Layout

The following, noted by way of overview, details the proposals:

- The removal of 308no. units of accommodation deemed to be unfit for purpose and with limited opportunities for enhancement, and the addition of 308no. new units of luxury accommodation, re-positioned to respond directly to significant site constraints whilst looking to enhance the immediate and local area. New amenity offers will be provided to create interaction with the site and will provide residents with opportunity to dwell on site.
- The retention and protection of the existing route of the Broad Rife which is seen to pass through and around the site location - included with new enhancements to the water courses to encourage use by local wildlife whilst enhancing their habitat, where possible.
- An enhancement of the existing central amenity hub to provide an area which welcomes guests to the site and offers the opportunity for a wealth of on-site activities, provided in a location accessible to all.
- The addition of a new self-contained back of house building cluster to serve the development, included with provision for housekeeping, maintenance, groundskeeping and site operations.
- The addition of new man-made wetland lakes, proposed to offer an extension of the surrounding RSPB Medmerry Reserve, and creating tangible connections to the surrounding context of the site.
- The addition of a new man-made activity lake with associated boathouse, providing guests with the opportunity to enjoy open-water activities on-site whilst creating a focal point for the enjoyment of residents.
- The enhancement of the existing external pool and facilities to create an improved pool area which can be used in inclement weather, and provides new accessible facilities to provide indiscriminate access and use.
- The addition of several new amenity activities and facilities throughout the site location, to include a new open-air cinema with associated landscaping, a nature trail with connections to the coast and adjoining reserve, a new locally themed adventure golf, and provision for various on-site sports activities.
- A series of landscape enhancements to assist with the integration of the new building elements and the surrounding landscape. The inclusion of new external seating areas associated with the open-air dining area, and provision for pop-up spaces for variable food and drink offerings.

The masterplan concept has been developed to respond to the local environment, providing accommodation and facilities in an existing sustainable location away from the town centre, and with short connections to a wealth of local facilities and amenity offerings. The masterplan for the site is included below and shall be identified individually within this report, where necessary.



Fig. 21: Proposed masterplan layout – REV 10 – Not to scale

#### 4.2 – Reserved Matters Overview

The below diagram demonstrates the areas of the masterplan proposal to be developed and submitted as part of the outline application, with selected accommodation and facilities developed in detail (please refer to page 29). The proposals hereby submitted for outline permission include:

- 1- Orchard Accommodation: Residences
- 2- Wetlands & Rife Accommodation: Residences
- 3- Woodland Accommodation: Residences

Please refer to the following statements which include detail on each development contained within the outline application.

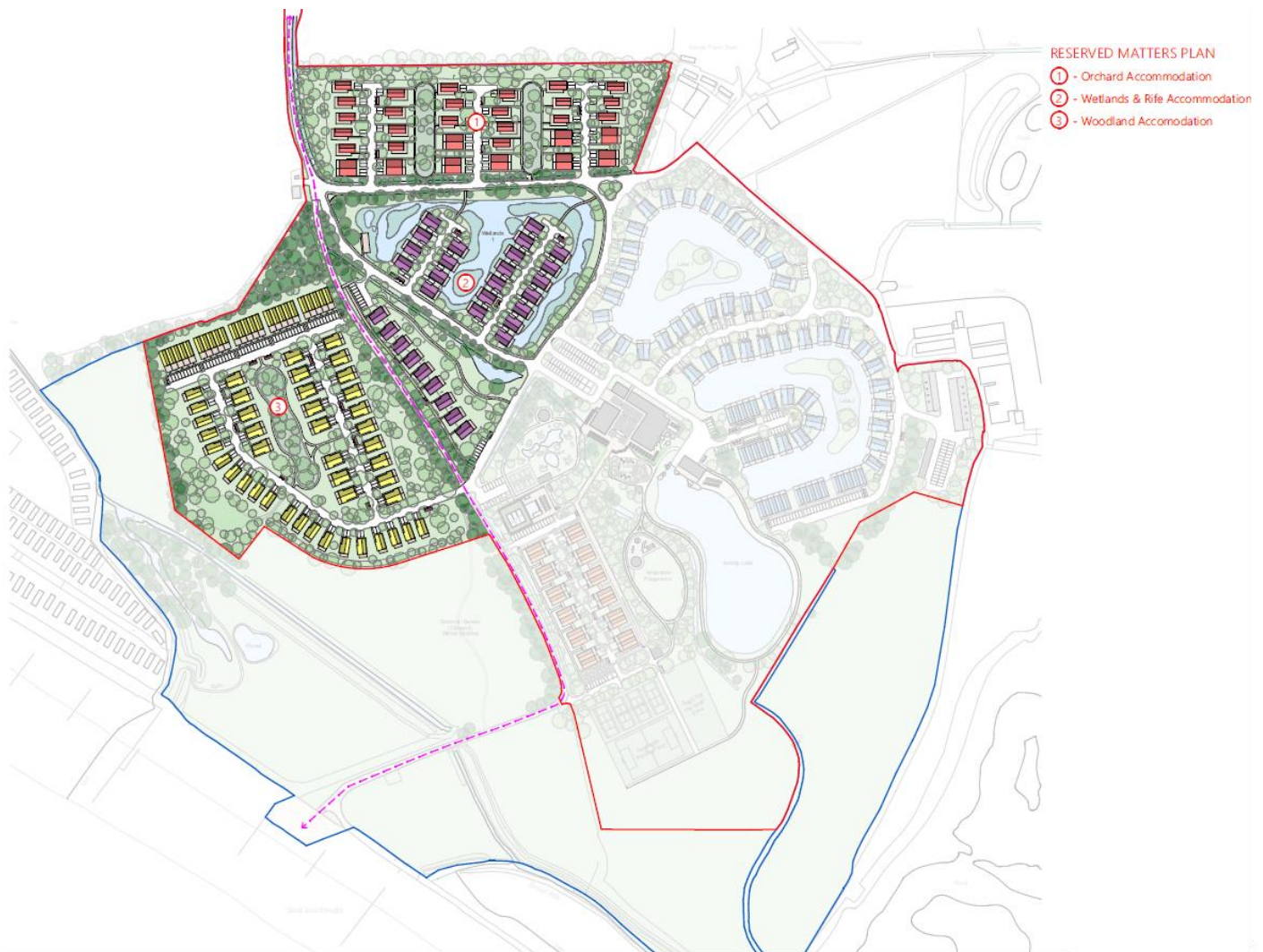


Fig. 22: Reserved Matters Plan – *Not to scale*



### 1 - Orchard Accommodation (Reserved Matters)

The Orchard Accommodation proposal is to be located on a self-contained parcel of land at the northern extent of the site location, extending the current footprint of built-form to the north, and away from the significant constraints which are apparent within the lower areas of the site.

The vision for the proposal is to create a vibrant and natural cluster of accommodation with 40no. units of new accommodation, and with units integrated into an area of fruit bearing trees such as apple, pear and plum trees. Each lodge will be offered with the opportunity to enjoy the landscaped area surrounding lodges, created with dwell areas in between rows of built form to act as an extension to individual units of accommodation, and to provide an area in which guests can socialise throughout the warmer months.

The following design rationale and appearances are proposed, to be further developed for detailed submission:

- The visual impact of new development viewed from the north is reduced through the introduction of new tree planting and landscape bunds, to provide screening in key areas of the proposal.
- The visual impact of new development viewed from the adjacent farm property is reduced through providing a visual buffer in the form of new mature planting, to be introduced along the perimeter of the site. New units are proposed with natural timber cladding which is proposed to silver over time and blend with the surrounding planting, further reducing impact as a result of new development.
- Each lodge will be provided with 2no. parking bays to ensure that guests do not park on circulation routes throughout the site.
- New units will be provided within a new orchard area included with fruit bearing trees and dwell areas for guests to enjoy throughout the warmer months.
- All units will be included as single storey blocks of self-contained accommodation.
- All highways, parking bays and pedestrian pathways will be permeable to allow surface water to dissipate naturally, and ensuring that the development does not facilitate increases to flooding.



*Fig. 23: Orchard Accommodation Site Location*

## 2 – Wetlands & Rife Accommodation (Reserved Matters)

The first cluster of accommodation to be viewed when entering the site, the Wetlands & Rife Accommodation, provides 31 no. new units of luxury accommodation, proposed to span the perimeter of a section of the existing rife and a new manmade wetland area. Accommodation will be included with external terraces which cantilever out over the water's edge. The area is proposed as an extension of the surrounding landscape, and offers guests the opportunity to reside in an area which enjoys glimpses of the local flora and fauna which use the site.

The proposed site is set at the existing entrance to the resort, currently seen with an existing highway splitting two clusters of accommodation. As this area is passed when entering and exiting the resort, the proposal seeks to create a visual focal point by including high-quality landscaping and built-form, providing a glimpse of the enhanced resort, and paying tribute to the high quality environment which surrounds the site.

Units are to be included as single storey detached dwellings, proposed in materials which reflect the local vernacular, and placed within a landscape which is proposed as a continuation of the immediate natural surroundings. The proposal seeks to consolidate new premium accommodation at the north of the site boundary, providing visual and ecological benefits in addition to creating a new focal point for the resort.

The following design rationale and appearances are proposed, to be further developed for detailed submission:

- The visual impact of new development viewed from outside of the site is low due to its location in an isolated position away from neighbouring developments, and it's fully contained nature with existing mature trees and hedgerows, proposed as enhanced under the current application.
- Parking will be provided immediately adjacent to each unit, and will be included with new planting to provide suitable screening, where required.
- New development will be located outside of root protection areas (RPAs) of existing trees and vegetation, and will be provided with significant benefits to site landscaping in the form of new planting and diverse habitat creation.
- Accommodation is proposed in natural materials which reflect the local vernacular to assist with their integration within the landscape.



Fig. 24: Wetlands & Rife Accommodation Site Location



*Fig. 25: Visual Representation of Wetlands & Rife Accommodation*

### 3 - Woodland Accommodation (Reserved Matters)

The Woodland Accommodation proposal is to be located in an area at the western extent of the site boundary, and on a parcel of land which is currently undeveloped and included as managed grassland with limited ecological potential. The site is relatively self-contained, bounded on three sides by existing mature vegetation, and lies adjacent to the route of an existing public right of way (PROW) which runs north to south. As this area is identified as having limited external impact, the bulk of new accommodation will be relocated here providing an additional 113no. units of accommodation in a self-contained area of the resort.

The new cluster of accommodation will assist with the shift away from areas of the site with significant visual, ecological, and flooding constraints, and are proposed to provide considered high-quality accommodation in areas which have opportunities to reduce impact on the surrounding landscape. Although a form for these units is yet to be determined, it is proposed that new built form will reflect other accommodation on site, and will be provided using natural materials which pay tribute to the surrounding local vernacular.

The following design rationale and appearances are proposed, to be further developed for detailed submission:

- The visual impact of new development in this area is negligible due to the site's location in a contained area of the resort, bounded by mature trees and vegetation which are to be enhanced under the current application.
- Accommodation in this area is proposed to be centred around areas of open amenity which will be heavily planted to create a woodland feel.
- Each unit in this area will be provided with 2no. parking bays and an external deck for inclusion of a dining table and hot-tub.
- Accommodation is proposed to reflect other units of accommodation on site, and will be provided with natural materials to assist with integration into the surrounding landscape.



Fig. 26: Woodland Accommodation Site Location

### 4.3 – Phase 1 Overview

The following buildings, facilities and landscaping are hereby submitted for detailed planning approval:

- 1- Lakeside Accommodation (100no. Units)
- 2- Back of House Facilities
- 3- The Medmerry Village
- 4- Padel Board & Adventure Golf
- 5- The Medmerry Pool
- 6- The Activity Lake & Boathouse
- 7- The Secret Garden Lodges (24no. Units)
- 8- Medmerry Amenity Area

The following is noted by way of design rationale. Each zone of the site is considered separately.



Fig. 27: Detailed Submission Plan – *Not to scale*

### 1 - Lakeside Accommodation

The proposal contained under the Lakeside Accommodation development will provide 100no. units of new two and three bed high-quality accommodation, centred around two new man-made lakes, and proposed as an extension of the wetlands which surround the site location. The accommodation proposed under the development will provide luxury lodges, each positioned facing the lakes, and included with external terraces enjoying direct views over the adjacent bodies of water.

The new development area is proposed at the eastern extent of the site, on an area of managed grassland with limited ecological potential and habitat. Whilst the area of the site is visible from key viewpoints positioned outside of the site, views are limited to the northerly lake which is seen to be positioned above the adjoining storage yard, lying adjacent to the site boundary. Following engagement with the project landscape advisor, a new landscape buffer has been introduced against the eastern perimeter to assist with reducing visual harm, screening new built form in the landscape, and helping to create strong visual barrier between the site and surrounding areas.



Fig. 28: Lakeside Accommodation Site Plan – *Not to scale*

The following design rationale and appearances have been considered in the formation of the detailed submission:

- The visual impact of new development when viewed from the east is reduced through the introduction of a new landscape buffer, and provision for new landscape bunds and the dense planting of trees and vegetation of local species.
- Although accommodation is proposed as single storey throughout the development area, the need to provide finished floor levels of +4.44m AOD requires certain lodges to be raised above the existing ground level, with stepped/ramped access. A selection of units will be provided with level access to assist with accommodating a wider range of users.
- Units will utilise a natural material palette which is reflective of the surrounding site context, helping to ground new form within its setting, and creating a homogenised development.
- New tree planting and enhancements to site vegetation will look to build on the existing habitats which border the site, providing additional opportunities for local fauna, and increasing the ecological potential of the site location.

The proposal seeks to consolidate new accommodation in a location identified to be sustainable for siting new development; creating two new man-made lakes with diverse habitats surrounding them, and creating a host of opportunities at the south of the site for additional ecological enhancement and biodiversity net-gain.

Large open lakes will create a highlight of the site. Centred by illuminated fountains, the decks of surrounding units will benefit from private views across the lake to the central islands, which will be mounded and planted to add drama and focus to the water bodies. The lake edges will be protected and enhanced with marginal planted coir rolls, creating a soft look with grasses and reeds rising up to 1.5m, in and around the decks.



Fig. 29: Typical Lakeside Lodge Elevations – *Not to scale*



*Fig. 30: Visual Representation of Lakeside Accommodation*



## 2 – Back of House Facilities

The existing provision for back of house facilities at Medmerry Park is spread throughout the resort, whilst being housed within buildings which are not currently suitable for the activities which function within them. The proposal, as contained within this application, seeks to consolidate all back of house functions within a self-contained compound, set outside of the centre of the resort. The proposal will relocate all associated facilities to an area at the eastern perimeter of the site, positioned adjoining an existing storage development (outside of the site boundary and applicant's ownership), in order to cluster the new structures and remove the necessity for unnecessary journeys between buildings.

The new back of house building cluster is proposed to accommodate a range of facilities required in the operation of a holiday resort, and will include operations such as:

- Staff welfare and break-out facilities.
- Office spaces for the operations team, in addition to adaptable work spaces.
- A 'production line' housekeeping channel to allow swift change-over.
- Laundry storage for off-site collection/delivery.
- Maintenance facilities.
- Grounds facilities.
- Storage.
- Electric vehicle charging for site buggies and vehicles, in addition to parking provision for staff vehicles.

The above functions are proposed as housed within two building forms, offering spaces which are tailored to their function, and provided in close proximity to associated site operations. The grouping of facilities will provide a reduction in vehicular movements throughout the resort in addition to reducing interruption to residents.



*Fig. 31: Back of House Facilities Site Plan – Not to scale*

The form of new buildings in this location are proposed to follow the function of internal operations, provided within simplistic agricultural style structures which are seen throughout the immediate area. Dark green composite cladding is proposed to assist with the integration with the surrounding landscape, whilst helping to reduce visual interruption. In addition, new landscaping is provided with enhancements to the existing vegetation which contains the site, helping to screen new elements when viewed from outside of the immediate area.



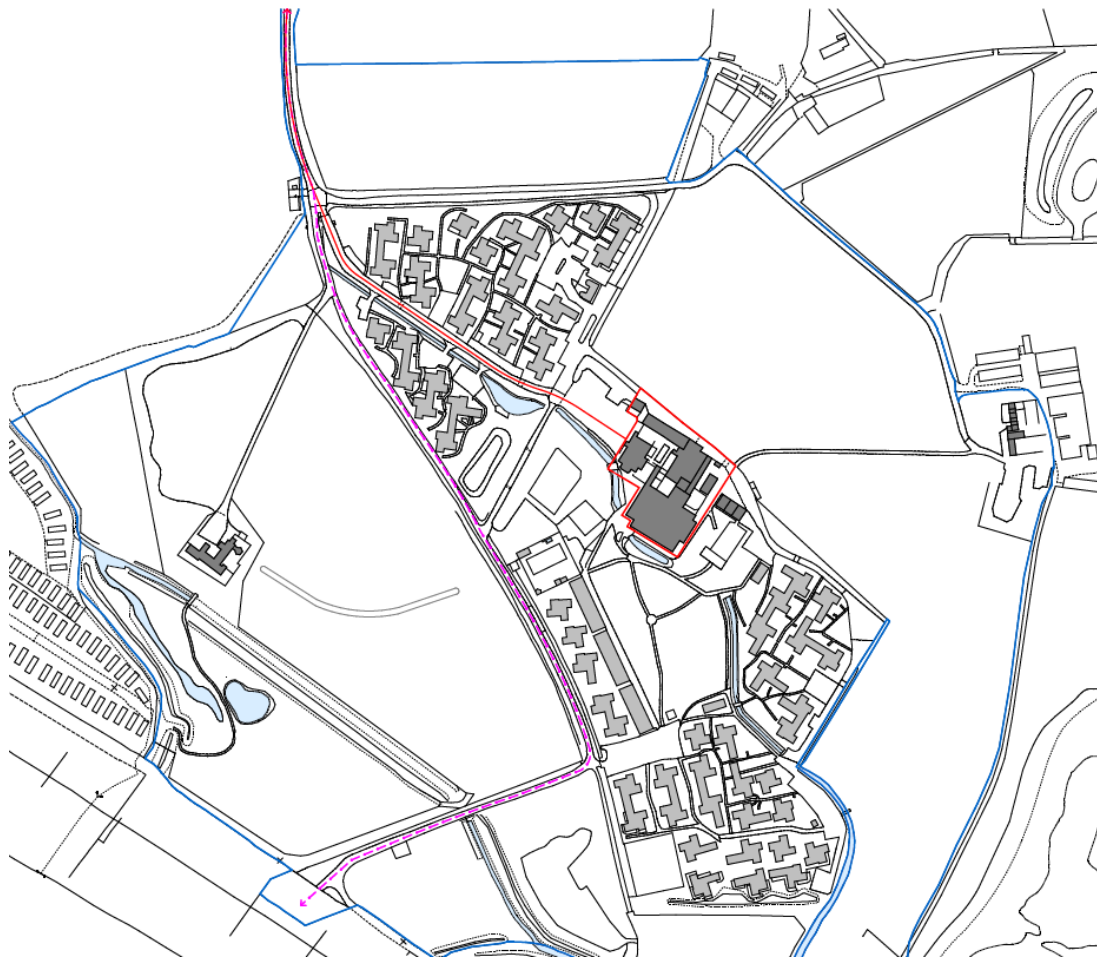
Fig. 32: Back of House Facilities Elevations– *Not to scale*

### 3 – The Medmerry Village

In line with the additional holiday accommodation to be provided within the enhanced resort, there is a need to update and enhance the amount of leisure facilities and amenities available to residents and locals. The existing Medmerry Village is currently occupied by a mix of back of house operations and guest amenities, provided in an existing building cluster at the heart of the site. As all existing back of house functions are proposed as relocated to the new facilities cluster at the east of the site, the existing village has been identified as an area where a new central amenity hub may be created, offering a centralised space for the enjoyment of guests. The proposals include:

- A new enhanced reception and welcoming area.
- A convenience store offer providing small goods and local produce.
- A new day spa with treatment rooms, external relaxation area with lakewater pool, sauna and steam rooms, and associated changing facilities.
- A new fitness suite and adaptable fitness studio.
- A new lounge area with beverage offer, cocktail school, an external terrace, and external star gazing pods.
- An enhanced food and beverage offer contained within the Medmerry Arms.
- New landscaping throughout the site area to provide external dining and dwell areas.

It is proposed that existing building forms are retained and enhanced to assist with their adaption, creating a homogenised theme to all built form contained within the central zone. The existing building cluster currently spans the perimeter of a centralised courtyard space, under-utilised, and provided with no real function. As part of the proposal, buildings will be provided with new openings in such a way to define a number of outdoor functions, with ability to spill internal amenities into external areas to create new interaction with the setting.



*Fig. 33: The Medmerry Village Site Plan – Not to scale*

On arrival to the new amenity hub, a new entranceway leads into the landscaped courtyard area with access leading directly to defined internal functions. The new external courtyard is proposed as an area for guests to occupy throughout the year, and will provide significant enhancement over the existing.



*Fig. 34: The Medmerry Village as Existing*



*Fig. 35: Visual Representation of The Medmerry Village Enhancement 1*



*Fig. 36: Visual Representation of The Medmerry Fitness Suite*

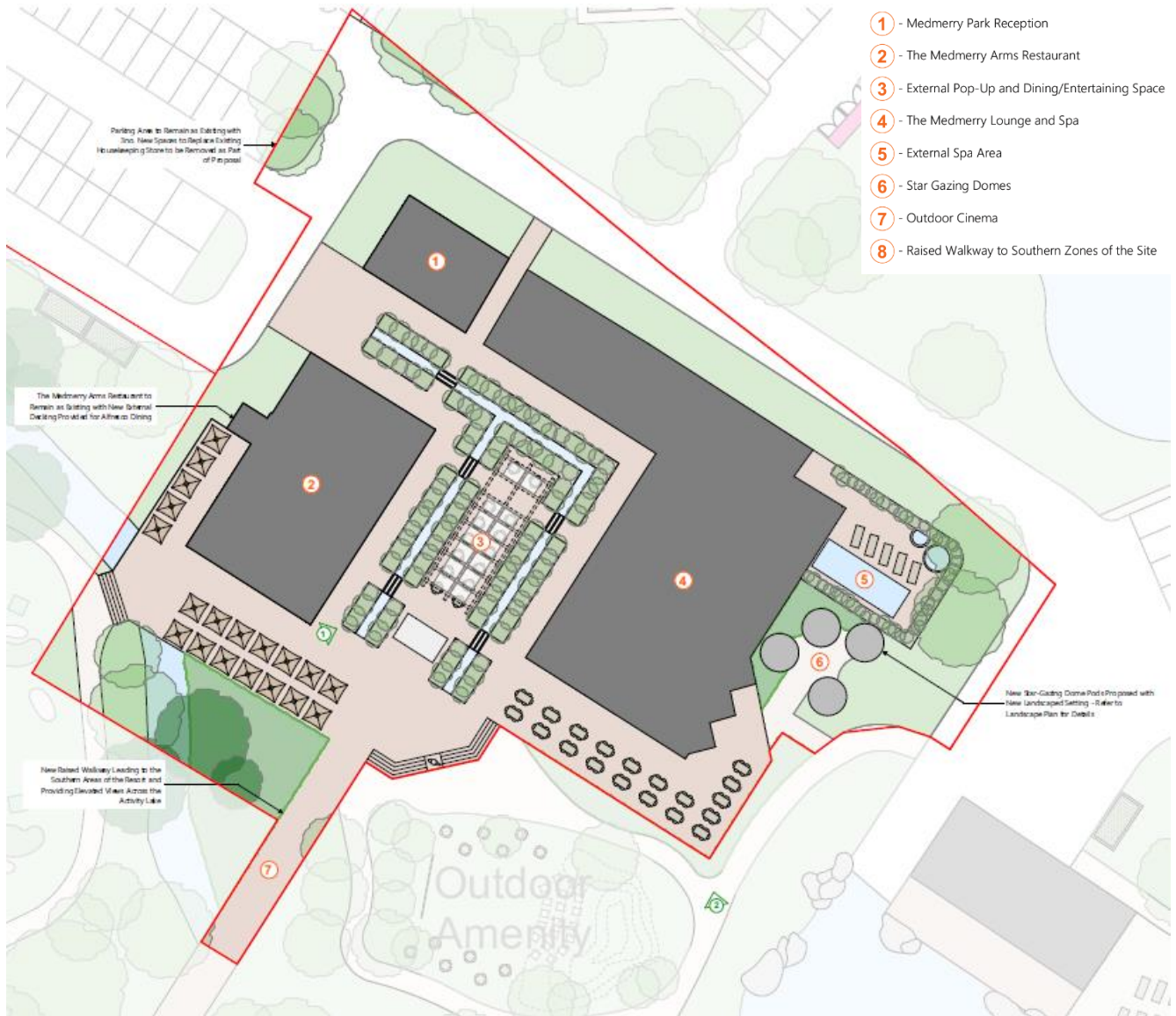


Fig. 37: Medmerry Village Proposed Site Plan – *Not to scale*

In addition to the enhancement and adaption of internal space, creating revitalised functions, new external opportunities and activities are proposed which would create an revitalised hub which if full of activity. The area is proposed with new high-quality landscaping and dwell areas to promote social interaction and provide adaptable areas which are available for the use of visitors. The new landscaping will be fully accessible and will allow the areas to be used by a wider range of users. Figure 37. above, demonstrates the main designations of the site and provides an overview of the function of each space.



*Fig. 38: Visual Representation of The Medmerry Village Enhancement 2*

#### 4 – Padel Board & Adventure Golf

The new padel board & adventure golf offer is approached via the resort's central amenity hub, accessed via a route of existing raised walkway which extends over the broad rife. The site area is presently under-utilised, occupied by a low-quality children's play park and crazy golf offer, proposed to be replaced as part of the site's redevelopment.

There is an apparent need to improve the amount of high-quality leisure amenities on site, to be provided concurrently to the revitalisation of accommodation. The redevelopment will provide an enhanced range of activities which would allow guests of all ages to enjoy new opportunities and leisure activities on site. The vision is to create a vibrant space with a connection to the surrounding site context, providing amenities within areas of enhanced landscaping, and allowing residents to enjoy a host of activities within walking distance of their accommodation.



*Fig. 39: View of Existing Childrens Play Park and Crazy Golf Offer*

The proposed use for this area of the site will create two new high-quality amenity offers in the form of a new adventure golf course; proposed to reflect the context surrounding the site using wetlands and informal planting, and a new padel board offer in the form of two new playing courts with associated equipment store. Due to the centralised location of the site, it is imagined that the area will merge with the central hub to create a wider area of outdoor amenity, extending the occupied areas of the resort.

The existing site location is currently provided with little notable character and is generally characterised by its surrounding low-quality open grassland and flat topography. As part of this phase of works, extensive landscaping is proposed, providing a revitalisation of the central amenity space, in addition to creating diverse habitats in areas surrounding new amenity offers.

#### 5 – The Medmerry Pool

The existing pool at Medmerry Park is currently offered to residents in a poor condition, and with little associated facilities which would provide indiscriminative use. The pool area is currently accessed via a notably steep ramp which would provide a challenge to any residents with reduced mobility. The general rule of the proposed development will be to upgrade on-site facilities to provide all residents with the opportunity to enjoy their time on the resort. In addition to the ramped access, the existing external pool is currently offered for guest use throughout the year, however, due to its unprotected nature, is rarely used outside of the warmer months, with residents choosing not to use the pool when the English weather is not at its best.





*Fig. 40: View of Existing External Pool*

The proposal contained under this application would seek to revitalise the existing pool area providing a new roof canopy to allow use of facilities during inclement weather, whilst providing upgrades to allow indiscriminate access to the area, and to ensure that facilities cater for the needs of a wider range of residents. The enhanced pool area will be provided with level access via a new raised timber walkway, leading from the central areas of the site, and with suitably ramped access (to Approved Document M) when approaching from elsewhere on the site. Upon arrival, new hard surfacing throughout the area will not only provide even ground for wheelchair users, but will also be provided in a visually contrasting palette to provide clear visual wayfinding. In addition to the above, the enhancement will provide an overhaul of existing facilities, providing new changing rooms, showers, and WCs which will accommodate a wider range of users, and will allow residents to dwell in the space for longer periods.

The new roof covering will be provided with a flat wildflower roof, and is an appropriate scale for its proposed use as an escape from the rain or sun. The use of local materials will also help to create a form which is appropriate to its setting whilst providing visually appealing facades.

#### 6 – The Activity Lake & Boathouse

The existing site location of the new Activity Lake proposal is generally characterised as an under-utilised area with limited visual, landscape, and ecological value. The site is currently occupied by a large expanse of open managed grassland, included with occasional bench seating at intervals along pathways and irregular bunding. Due to the sparse nature and managed use of the site location, there is limited ecological value and significant arguments in the revitalisation of the area.



*Fig. 41: View of Amenity Area with Pink Flamingo Building Centred*

The site location is read in the backdrop of the Pink Flamingo – a former performance and entertainment space which is now closed to residents, and which offers considerable impact to the landscape character of the site; being of a scale which is prominently visible from all corners of the site. Although the building holds potential for re-use as an enhanced amenity offer, and provides a sustainable solution to amenity generation; an evaluation of the re-use of this building determines that there is significant merit in its removal and replacement with a more sympathetic structure/landscape.

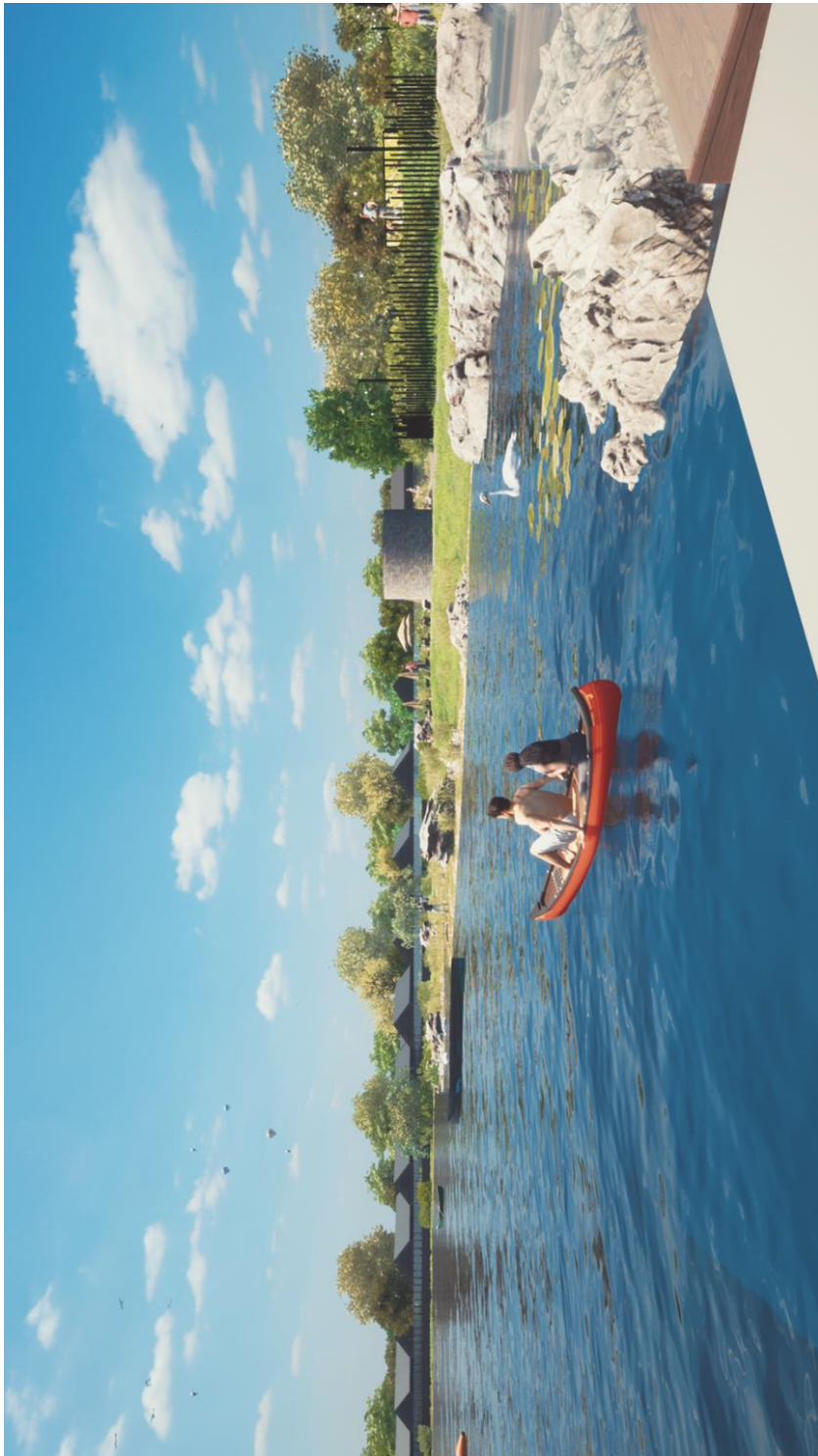
The proposal contained under this application would look to remove the two storey Pink Flamingo and managed grassland, replacing the former footprint with a new outdoor amenity space and prioritising the enhancement of the existing Broad Rife. The creation of a new amenity lake with on-water activities and associated boathouse will act as the main amenity feature of the site. The new activity lake footprint will be provided with new informal landscaping to its perimeter, creating foraging and habitat opportunities for local fauna, whilst providing visual enhancement to the site. A nature walk will be provided to its perimeter to provide residents with the opportunity to interact with the local setting, whilst providing a tangible connection to the site location.

A new boathouse structure is proposed at the north-eastern perimeter of the new activity lake, offering residents with training and equipment for use on the activity lake. Lake and lakeside activities will include:

- Paddleboarding
- Kayaking
- Canoeing
- Lakewater Swimming
- Nature Trails with Information Boards
- An Adaptable Picnic Space
- An Open Air Cinema
- A New Adventure Playground



Fig. 42: Activity Lake Site Plan – *Not to scale*



*Fig. 43: Visual Representation of the Activity Lake*



Fig. 44: Visual Representation of the Activity Lake and Boat House

## 7 – The Secret Garden Lodges (24no. Units)

The new Secret Garden accommodation proposal will provide 24no. units of premium accommodation in two-bedroom layouts, and centred around an area of formalised landscaping. Taking inspiration from the premise of a walled garden, the development will look to create accommodation with a strong blur on the inside/outside boundary. Each lodge will be orientated to overlook a central garden area, and will be included with direct access to the new formalised space offering opportunities such as horticultural and cooking classes.

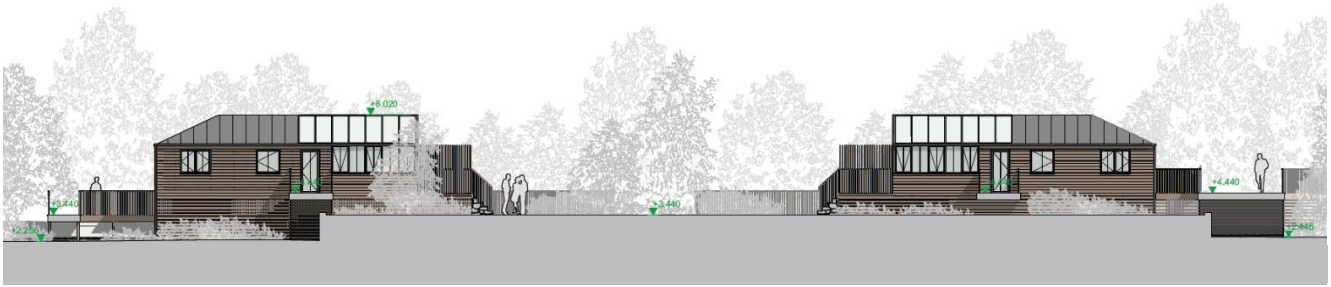
The new development is proposed to replace a cluster of existing accommodation which is seen to be in very poor condition, and occupies a particularly sensitive area of the site which is affected by constraints such as flooding, ecology, and visual character. The existing properties, predominantly single storey and of masonry construction, are all included as one and two bedroom units with extremely small footprints, and unsatisfactory facilities. Proposals under this application will provide a significant enhancement to the site through consideration of wider constraints.



*Fig. 45: Existing Accommodation Blocks*

The new Secret Garden Lodges are proposed in semi-detached blocks, accessed via a new raised walkway which provides level access to half of the included 24no. lodges – the additional twelve will be provided with stepped access. Each lodge will be included with sleeping accommodation at the rear of the unit within a traditional formed building, and with living areas at the front, housed within glazed structures which are proposed to take the form of a potting shed or greenhouse, reinforcing the walled garden setting. Brise Soliel will reduce solar gain whilst high quality glazing will assist with providing comfort to residents.

Due to the site's existing topography and its position at one of the lowest points of the site, the risk of flooding to any accommodation sited in this area is at its highest. New lodges, following the principles of all new accommodation on site, will be raised to +4.44m AOD (above ordnance datum) to provide new high-quality accommodation which is provided for generations to come, and embraces the issue of potential future flooding of the site. Although the requirement to raise lodges will mean a more prominent position within the landscape, the proposal will provide a significant enhancement through breaking up existing long linear forms in favour of providing semi-detached blocks with new dense planting to its perimeter, screening new lodges from areas with significant views across the site location.



*Fig. 46: Proposed Site Section– Not to scale*

Located between two densely planted areas this inwards facing development, despite its elevated position, will be well enclosed by vegetation. The central area will be a shared formal allotment garden zone, with raised beds, espalier fruit trees and a range of floral herbs and perennial planting.

New lodges are proposed with a material palette which is seen in new additions proposed throughout the masterplan enhancement; creating a homogenised development, whilst aligning units with the surrounding context of the site by implementing a natural material palette which is derived from surrounding built form. Natural timber will make up the main form of the lodges with local natural stone used to provide feature elements, and a GRP roof system with standing seam profile to reflect more traditional zinc roofs seen surrounding the site.

This proposal seeks to provide new high-quality accommodation in a location identified as the most attractive area for development; creating two new rows of accommodation with diverse habitats surrounding them, and the creation of a host of opportunities at the south of the site for additional ecological enhancement and biodiversity net-gain.



*Fig. 47: Precedence for the Secret Garden Development*



*Fig. 48. Visual Representation of the Secret Garden Lodges*

## 8 – Medmerry Amenity Areas

The retreat of built form to pull away from areas of the site with significant ecological, visual, and flooding constraints, results in a greatly reduced footprint on the site with expanses of diverse habitat at the south. Included as the masterplan’s most southerly development, set outside of the area of ecological enhancement; a new amenity area is proposed with the following inclusions:

- 4no. New Tennis Courts.
- An Adaptable Playing Field with Provision for Football, Hockey, and other Sports.
- An Enclosed Dogs ‘Off the Lead’ Zone
- An Adaptable Events Space for Activities such as Archery, Fencing, and other Activities which Require Adaptable Spaces.

This area of the site represents a consolidation of amenity activities which would be used throughout daylight hours only. External lighting will be included for wayfinding to main routes through the area, with no provision for flood lighting included which would facilitate after-hours activities. The site is proposed as enclosed by new diverse habitat with no public access, and as such, new defensive/mature planting will be included to the perimeter of the development to restrict pedestrian access.

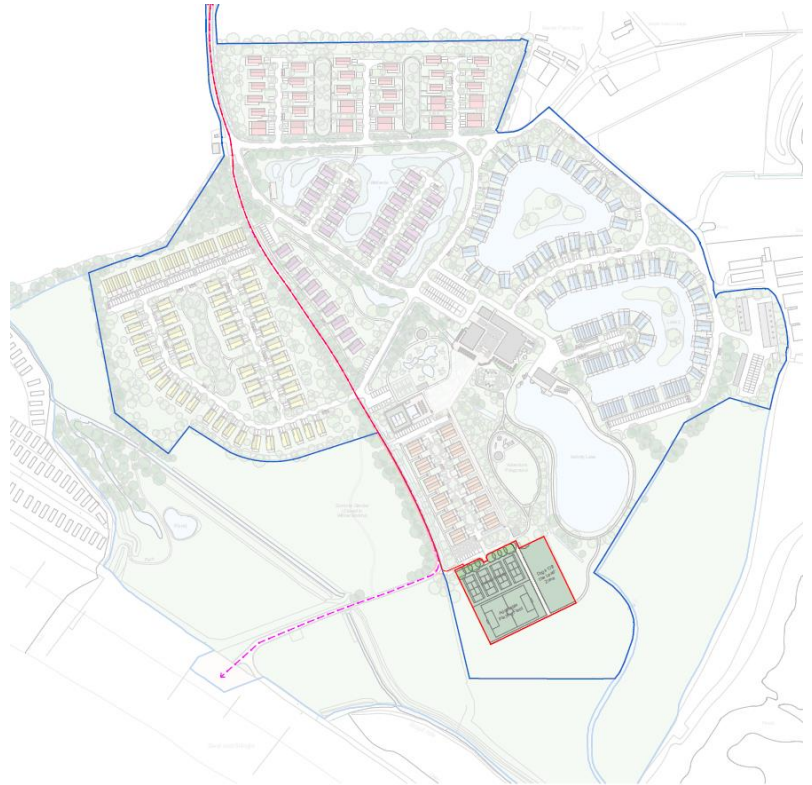


Fig. 49: Medmerry Amenity Site Plan – *Not to scale*



Fig. 50: Playing Field Precedence



#### 4.4 – Public Spine and Raised Walkways

The public spine consists of the retention and enhancement of the existing Broad Rife which spans across the site. As existing, the majority of the rife is included as an unattractive body of water with limited ecological and aesthetic value; under this proposal, the importance of the linear body water is to be highlighted with inclusion of a new nature walk which follows the rife’s route through the site, providing a public spine which links all developments and amenities. The new public spine will act as a key wayfinding device, encouraging guests to walk or cycle between areas of the resort rather than travelling by other means. The permeable gravel pathway which follows the route will be provided exclusively for pedestrians and bicycles, with no access for vehicles.

The proposal will see enhancements to the length of the rife, included with new planting to create diverse habitat, in addition to information boards which highlight opportunities for sightings of flora and fauna which are seen throughout the site location. The route is proposed as a space for social interactions and connectivity to the context of the site, and will be included with new dwell/seating areas at regular intervals to facilitate the enjoyment of the corridor.



Fig. 51: Precedence for Raised Walkways



Fig. 52: Resort Public Spine– *Not to scale*

Whilst the route of the rife will provide a new public spine linking areas of the site from north to south, a new raised walkway will provide a link between the Medmerry Village, at the heart of the site, with the Medmerry Pool and Amenity Area; also offering level access to the Secret Garden Lodges and linking to the Public Right of Way. The raised walkway is offered to connect leisure facilities throughout the resort and will consist of a natural timber deck with stepped and ramped accesses in each instance.

#### 4.5 – Resort Circulation and Walking Routes

The Medmerry Park resort provides holiday accommodation within the context of a managed natural landscape. Vehicular movements within the site are to be kept to a minimum, with a focus on promoting walking and cycling throughout the resort with the introduction of new circulation routes to encourage pedestrian priority.

Figure 53. demonstrates the extensive pedestrian only routes within the resort, in addition to shared roadways which are included with shared surfaces, areas of planting, and features to encourage the use of the street, such as seating.



Fig. 53: Route Designation– *Not to scale*

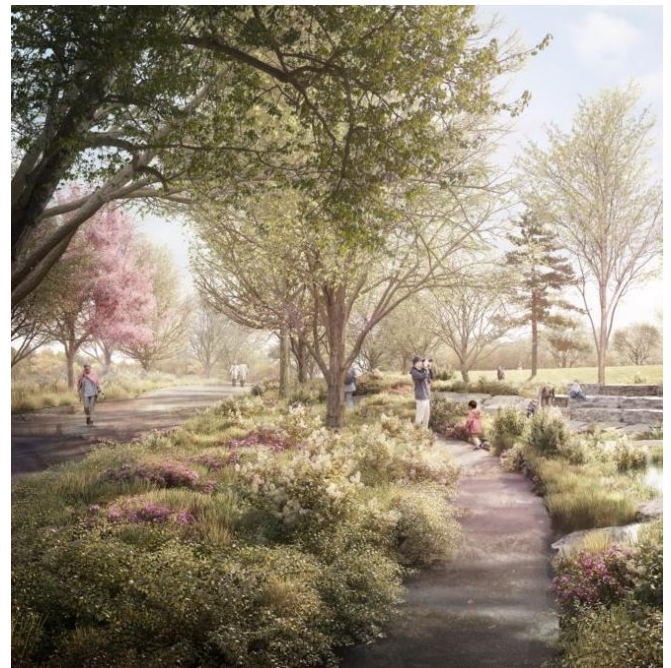


Fig. 54: Precedence for Site Circulation

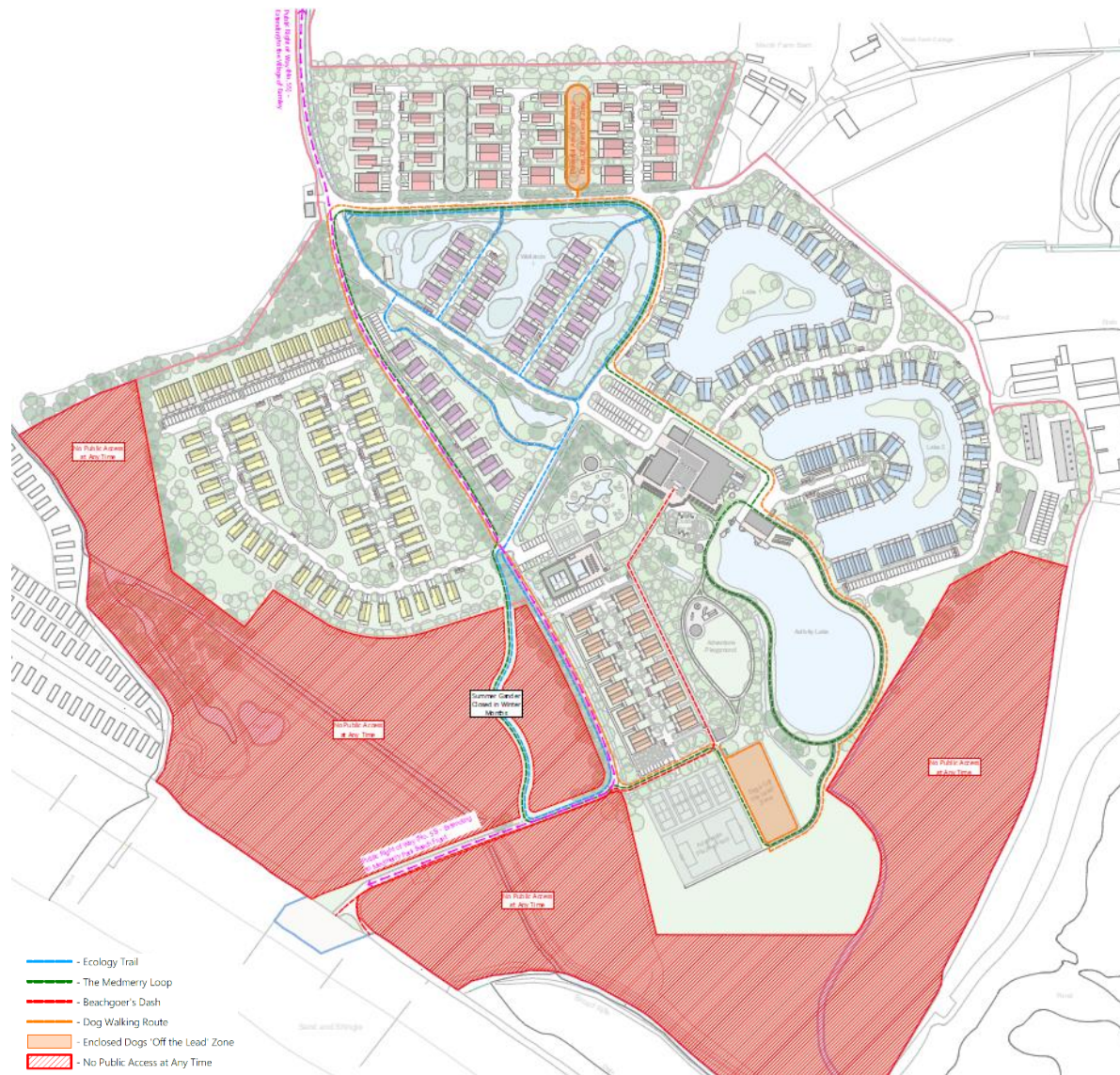


Fig. 55: Walking Routes – *Not to scale*

A series of new amenity routes have been identified for the enjoyment of residents, each included with varying landscapes, opportunities, and interaction points. The defined routes offer an opportunity for residents to dwell on site, providing a series of amenable walking, running, and cycling routes, in addition to dog walks and nature trails which are located within the boundary of the resort.

In addition to the routes demonstrated above, there are a wealth of additional routes which lie adjacent to the site, and can be enjoyed by residents with all interests. Connection to the Wittering Beaches can be easily navigated by following the 'Beachgoer's Dash', and the 'Medmerry Loop' and 'Ecology Trail' can be extended to enjoy the beautiful RSPB Medmerry Reserve, which is sited immediately adjacent to the resort.

Residents are encouraged to enjoy the setting of the resort, and through the use of amenable routes defined above, are able to access all areas of the site without the need for vehicles. It is noted, however, that as part of the redevelopment, a number of zones have been designated for ecological enhancement and will not be accessible to the public.

#### 4.6 – Finished Floor Levels and Flooding

Due to the potential for future flooding of the site in extreme weather events, all new accommodation and back of house facilities will be provided with finished floor levels of +4.44m AOD (above ordnance datum); ensuring the longevity of the resort, and the future welfare of residents. As noted in the Flood Risk Assessment which accompanies this application; the proposed enhancement of the masterplan accommodates two hundred years of extreme weather events, and one hundred years of climate change. It is based on the worst-case scenario in which the current flood defences fail.



Fig. 56: View Across Southern Flood Defence

The decision to raise all accommodation has been a prominent strategy in the development of the masterplan, being considered as one of the key drivers in the retreat away from southern areas of the site where landscape views are most sensitive. The requirement to provide a general raise in finished floor levels has helped to shape the proposal, providing a scheme which has considered constraints from the outset and provides a sustainable development which adapts to the future risk of flooding in this area.

The proposed development will provide an overall betterment over the existing situation by proposing to locate new lodges further away from the coastline, and placing them on existing higher ground within the site. As a result of the relocation, even at the existing site levels, new lodges in their proposed locations would experience a shallower depth of flooding over existing. As the development is to replace 308no. units with 308no. new lodges, there is no requirement for mitigation measures required for proposals to be acceptable, however, in the interest of the residents and promoting best practice, the decision to raise levels across the site was adopted.

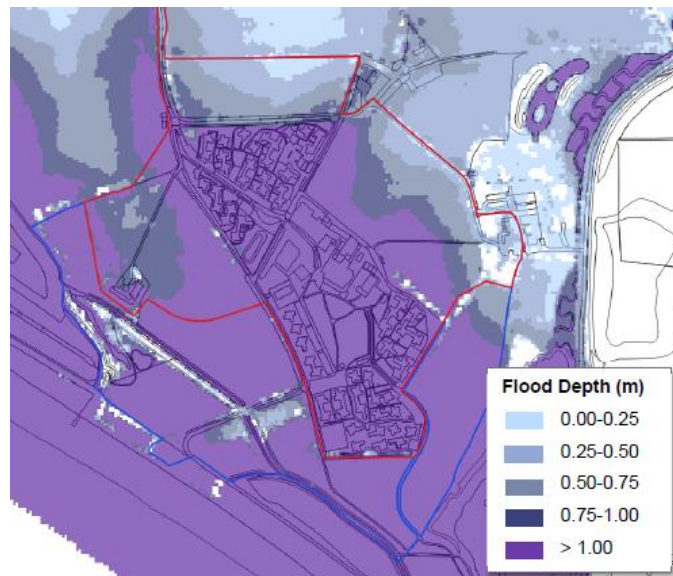


Fig. 57: Flooding in a 1 in 200 Year Event with the Existing Defences Breached

#### 4.7 – Landscape and Visual Impact

The landscape design for the new park has been based on three key principles;

- Conserving and improving the valuable habitats on site.
- Rearranging the development on site to mitigate visual impact.
- Enhancing both the visual and physical relationship with the landscape setting.

It is envisaged that the new built form will have negligible effect on the surrounding landscape, with the redevelopment of the site and retreat away from the southern extremities of the resort, providing a significant benefit to landscape character.

The proposed site location does not lie within an area of any special landscape designation; however, the Chichester Harbour Area of Outstanding Natural Beauty (AONB) is located to the west. Due to the distance separating the two, and intervening topography and development, there would be negligible impact on the character of the AONB. Similarly, the masterplan evolution has been considered carefully as to not negatively impact on the character of the Medmerry RSBP Reserve to the east, with the new proposals shaped considering views across to the site, and included with new selected landscape buffers to screen development, where required.



*Fig. 58: View Towards the Site Area from RSPB Medmerry at the East of the Site*

Through primary mitigation, development has been removed from the southern parts of the main site and relocated to less visually and ecologically sensitive areas. Along the public right of way (PROW) and rife corridors, development has also been reduced and additional planting proposed with mounding in places to buffer the development located alongside these areas. In the northern area, a large vegetated bund will enclose the new development which has been relocated from the more sensitive coastal fringe, with accommodation condensed within areas of the site which are identified as being less visually sensitive.

The submitted masterplan layout demonstrates a considered scheme which has been shaped considering the wider environment, and views to and from the site. It is envisaged that the new development can be implemented without causing harm to the character of the area, with opportunity to improve key views through the natural retreat to the north.

#### 4.8 – Highways and Access

Access to the site will be provided through the existing roadway which currently serves the resort, deemed to be of suitable provision to support the increase in site traffic entering and exiting the site. No change to access arrangements are provided under this application.

The application is supported by Integrated Transport Planning Ltd (ITP) who have provided a detailed Transport Assessment to demonstrate that the proposal can be successfully implemented with no adverse effect to traffic movements on site, and around the site location. The following are noted by way of summary:

- As a general rule, guests will be encouraged to walk throughout the site and to adjoining locations rather than using vehicles to travel; encouraging sustainable transportation whilst reducing reliance on vehicles. Whilst each lodge will be provided with parking to ensure guests have the opportunity to park in close relation to their accommodation, amenity facilities will be provided with limited parking provision to reduce vehicle movements. Accessible bays will be made available in each location to ensure that guests with reduced mobility are provided with suitable provision.
- Each lodge will be provided with pre-installed infrastructure for electric vehicle charging in the event that guests require a charge point, reducing reliance on internal combustion engines in favour of more sustainable methods of transportation.
- In most cases, lockable bicycle storage will be provided in external stores which adjoin lodges, however, where bicycle storage is not immediately available, centralised storage will be provided in close proximity to promote the enjoyment of the site and surrounding area by sustainable means of transport.

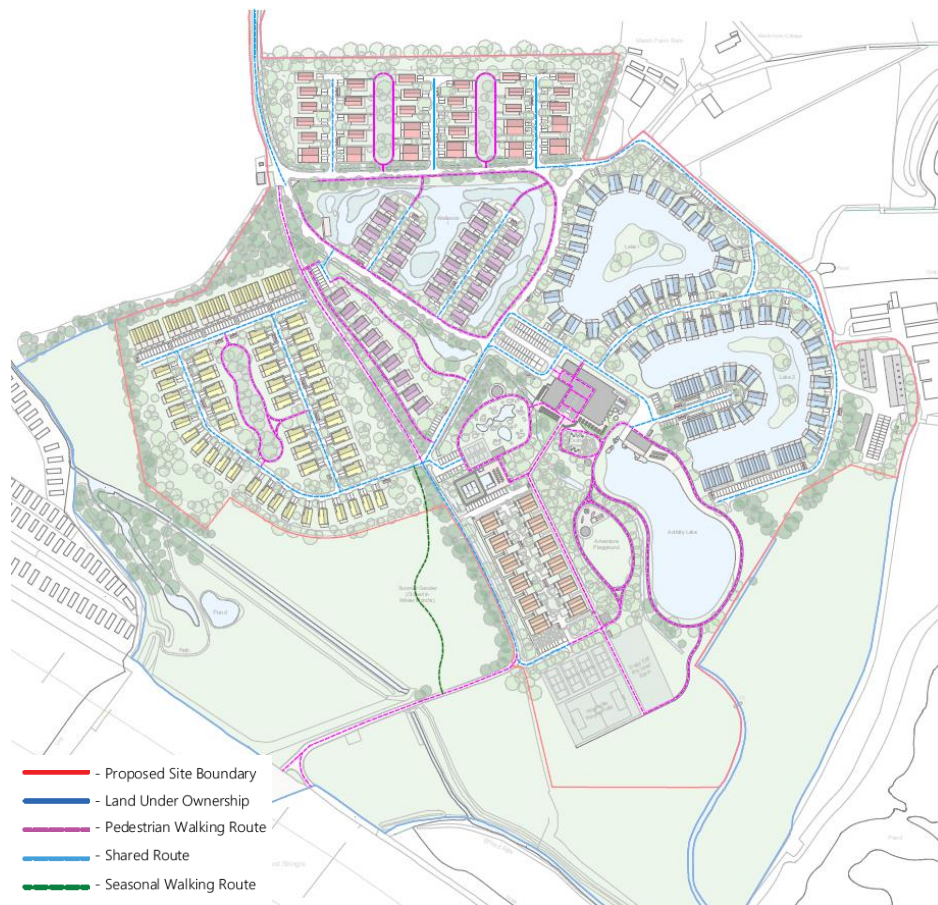


Fig. 59: Route Design– *Not to scale*

#### 4.9 – External Lighting

Although there is not a requirement to do so, the proposed development will utilise principles of Dark Skies compliant lighting, providing illumination in the interest of wayfinding and safety, where necessary, and only when required. Lighting will be kept to a minimum to reduce visual impact, and to restrict light spill to the surrounding landscape which could have negative impacts on the wildlife which use the site. The following key features are noted by way of summary:

- External lighting to accommodation will only be illuminated when required, with light levels kept to a minimum, and no brighter than required. The general philosophy is that wayfinding is to be provided rather than continuous cover.
- All external lighting will be installed with dusk till dawn sensors, automatically shutting off lights where there is no requirement for use and only operating during low-light periods.
- All external lighting will be fully shielded (pointing downward) and will only illuminate areas required, in the interest of safety and wayfinding.



*Fig. 60: Precedence for External Lighting to Public Spaces*

#### 4.10 – Economic and Tourism Benefits

The proposed development will look to provide additional tourism benefits, offering a selection of new site amenities for the use of resort guests and the surrounding local community. The enhancement to on-site amenities are proposed to offer guests an opportunity to dwell on site, whilst upgrading the existing facilities to cater for a wider range of users.

In addition to tourism benefits, a series of employment opportunities will be created in the form of additional jobs, provided during the construction period and after completion; included in the form of construction roles, front of house staff, housekeeping, hospitality, and maintenance. In total, 70 direct jobs will be created onsite during the high season, with 110 additional jobs during the construction period, and 122 associated with the supply chain.

Tourism is a key industry within the area, and it is anticipated that the proposed works will make Medmerry Park viable in the long-term whilst providing positive economic contributions that create opportunity for new jobs, careers, and partnerships with the local community.

Lichfields have provided a detailed analysis in support of this application which should be referred to for further details.

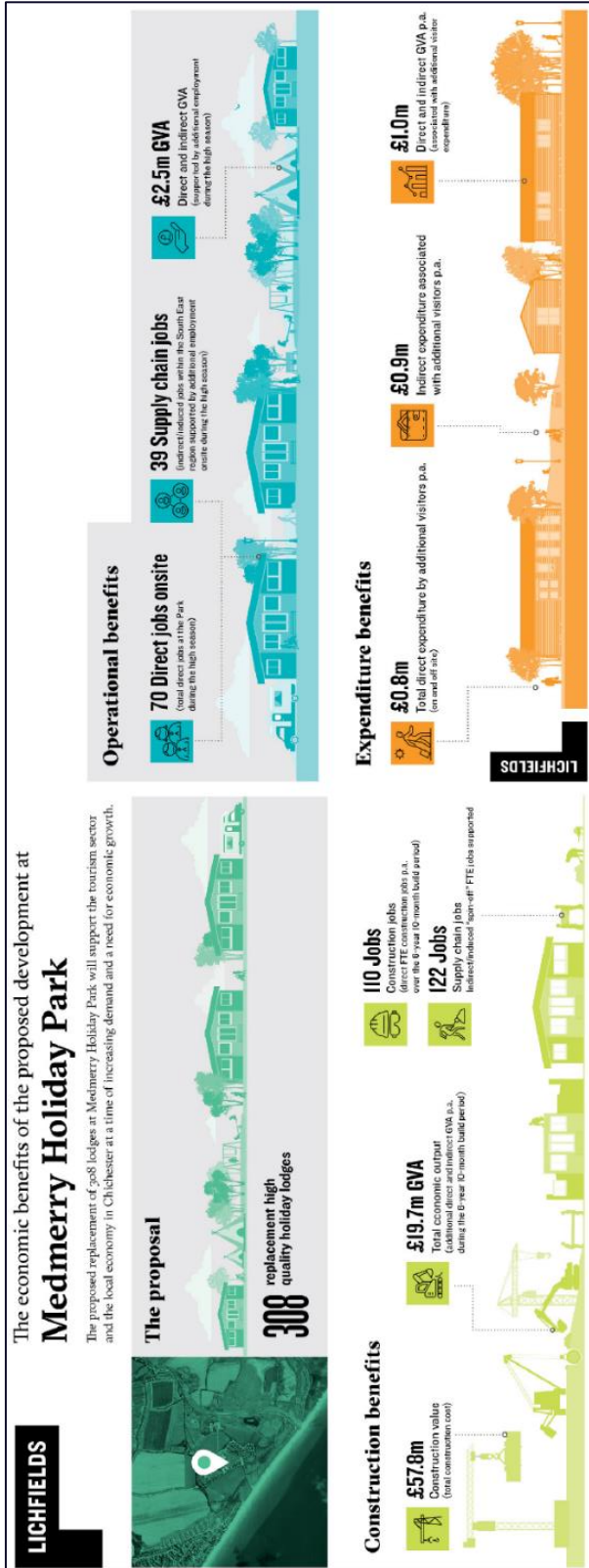


Fig. 61: Economic Benefits of the Medmerry Park Development



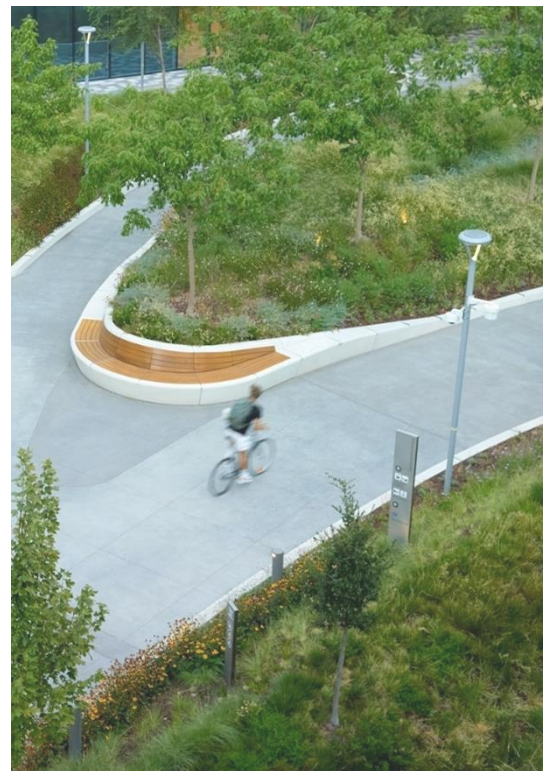
#### 4.11 – Accessibility

Although new accommodation is not always universally accessible, the resort seeks to promote inclusion through upgrading its existing facilities, and providing new inclusive facilities which accommodate a wider range of users. The enhancement of the Medmerry Village, at the heart of the site, will seek to provide a central location which is readily accessible to all, whilst providing appropriately designed circulation around the site; included with firm smooth surfaces and gentle gradients.

The following is noted with regard to equality:

- Accessible toilets and changing will be provided throughout the site to ensure that suitable facilities are available in each instance to support a wider range of users.
- The existing car parks throughout the site will be upgraded to include accessible parking bays allocated in close proximity to facilities, whilst all new parking areas will be included with oversized bays and designated accessible bays, designed to cater for a wider range of users with reduced mobility.
- All units are self-contained with no reliance on external provision.
- In each area of the resort, a selection of units will be provided with level/ramped access.
- Where possible, all units are provided with oversized parking (2,500 x 5,000mm) within 15m of associated accommodation.
- Selected units will be provided with accessible toilet and shower provisions.

The design of the new buildings and the entire site takes into consideration Approved Document M of the Building Regulations, British Standards including BS 8300, and the Equality Act 2010.



*Fig. 62: Public Spaces*

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#### **4.12 – Site Landscaping**

The application is supported by Charlie Clews of ClewsLA who has provided a landscape plan which sets out the general ethos of site landscaping, and with focused detailed landscape plans providing further detail. The new site has been designed to tie into various local character features, such as the wetland areas, agricultural setting, and pockets of woodland, in addition to key valuable habitats which are to be conserved and improved as part of the site landscaping scheme:

##### **The Rife Corridor**

Great focus will be given to promote and enhance this local feature, which is densely occupied by Water Voles. The rife itself will need to be carefully managed to protect existing habitats but potentially planting areas of reed, sedge and grasses, will enhance the feature and shall be improved and maintained in line with The Water Vole Mitigation Handbook. The surrounding landscape will be rewilded with wildflower and riparian vegetation which will be closely managed/coppiced, included with species such as Osier (*Salix viminalis*), Hawthorn and Hazel and Alder.

##### **Existing Vegetation**

Roadside hedges and trees will be retained to maintain an enclosed northern boundary to the main site. Where possible, these will be strengthened with additional planting and hedged boundaries to protect and enclose them.

The offsite woodland copse on the north west boundary and wild scrub areas in the western extents of the site will be retained, and development kept back to allow an open vegetated buffer for foraging bats, and to ensure no root damage or over-shading affects the trees. New hedged boundaries will be planted to add a native vegetated boundary.

##### **Open Grassland**

Existing areas which link to the SSSI and provide vital habitat for Brent Geese during winter months will be carefully retained and improved through an enhanced maintenance plan, and by ensuring dogs are prevented from accessing these areas during these times.

Through the conservation and enhancement of the above, the site is presented with significant opportunity to improve the landscaping on the resort, further reinforced by the redevelopment and reconfiguration of built form to create new considered landscapes. Currently there are only a few notable landscape features within the existing arrangements, however; through the redevelopment of the resort there is significant potential to create a strong identity based on local setting and character.



Fig. 63: Landscape Plan – *Not to scale*

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## 5.0 SUMMARY

### 5.1 - Conclusions

The proposals represented by this submission will provide a much needed redevelopment of the existing masterplan, providing high quality accommodation and facilities for a wider range of guests, whilst integrating further opportunities for enhancement in the form of biodiversity, tourism, and employment benefits.

The information provided in this report and varying detailed assessments, serve to demonstrate that the proposal could be accommodated satisfactorily without causing harm to the local visual or economic character of the setting, will demonstrate biodiversity and sustainability, and will represent a suitable strategy to provide safe shelter in the event of flooding, either on or off site.

All relevant physical details in terms of materials, layout, design, scale, biodiversity and landscaping and the like are hereby submitted for Full Approval.

The proposed development is considered to be in accordance with the relevant policies as set out in the Chichester Local Plan, and are supportive of the principles of quality design and proper planning set within the National Planning Policy Framework.

The following key considerations are considered accordingly.

#### **Wildlife and Ecology**

The ecology report is based on detailed surveys carried out throughout the site location, in addition to habitat suitability assessments and species reports. The ecologist's summary suggests that there would unlikely be any significant ecological impact which should prevent development, and that there is an opportunity to increase the site's overall ecological value through the addition of new planting of native species, creating foraging and habitat opportunities throughout and adjoining the site.

#### **Landscape Character**

The proposal contained under this application looks to respond to the site's existing landscape and topography, creating a resort which considers its unique rural setting, and minimises visual impact on the surrounding landscape through careful consideration. Each structure has been designed to create a distinctive local character which homogenises with its landscape and use, with appearance derived from local natural materials and surrounding forms.

#### **Flooding**

It should not be necessary for the planning authority to consider any conditions within their granting certificate requiring further design considerations and/or approval by the Environment Agency due to the proposal's proactive approach to the consideration of flooding issues, and it's push to create sustainable buildings consider the future rise in flood levels.



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