

**APPLICATION FOR PLANNING PERMISSION**

**Reference WH/23/02326/FUL**

**House at Coach Road,  
Westhampnett, Chichester  
P018 0NX**

**Design and Access Statement rev 01**

**Project Description**

*Erection of a single-storey new-build house with private garden and parking court to the rear of 26 and 27 Coach Road, Westhampnett, Chichester PO18 0NX.*

**Introduction to Design and Access Statement**

This Design and Access Statement forms part of a Planning Application for a new, single-storey house on a site to the rear of 26 and 27 Coach Road, Westhampnett, Chichester PO18 0NX.

The proposal is for a single-storey, ultra-low energy house for an owner/occupier. The house is a 'self-build' project for the personal occupation of the applicant, an architect who intends to retire to this area. This is not a speculative development.

The contents of this report are as follows:

1. Site ownership
2. Site description
3. Planning Appraisal
4. Detailed explanation of The Proposal
5. Consultation

(This document contains 13 pages)

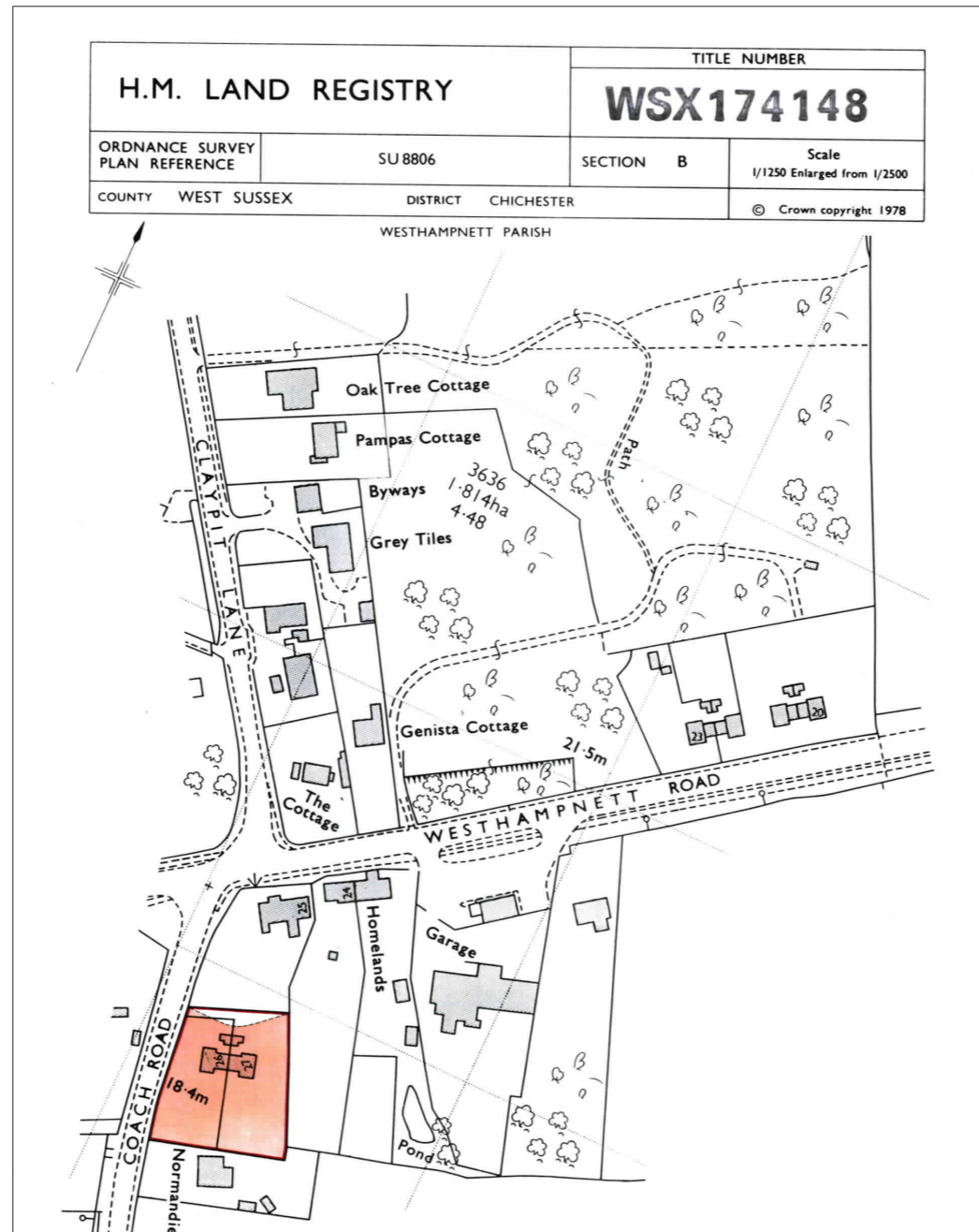
# 1. Site Ownership

The site of the proposed house is to the rear of nos. 26 and 27 Coach Lane, Westhampnett, Chichester PO18 0NX.

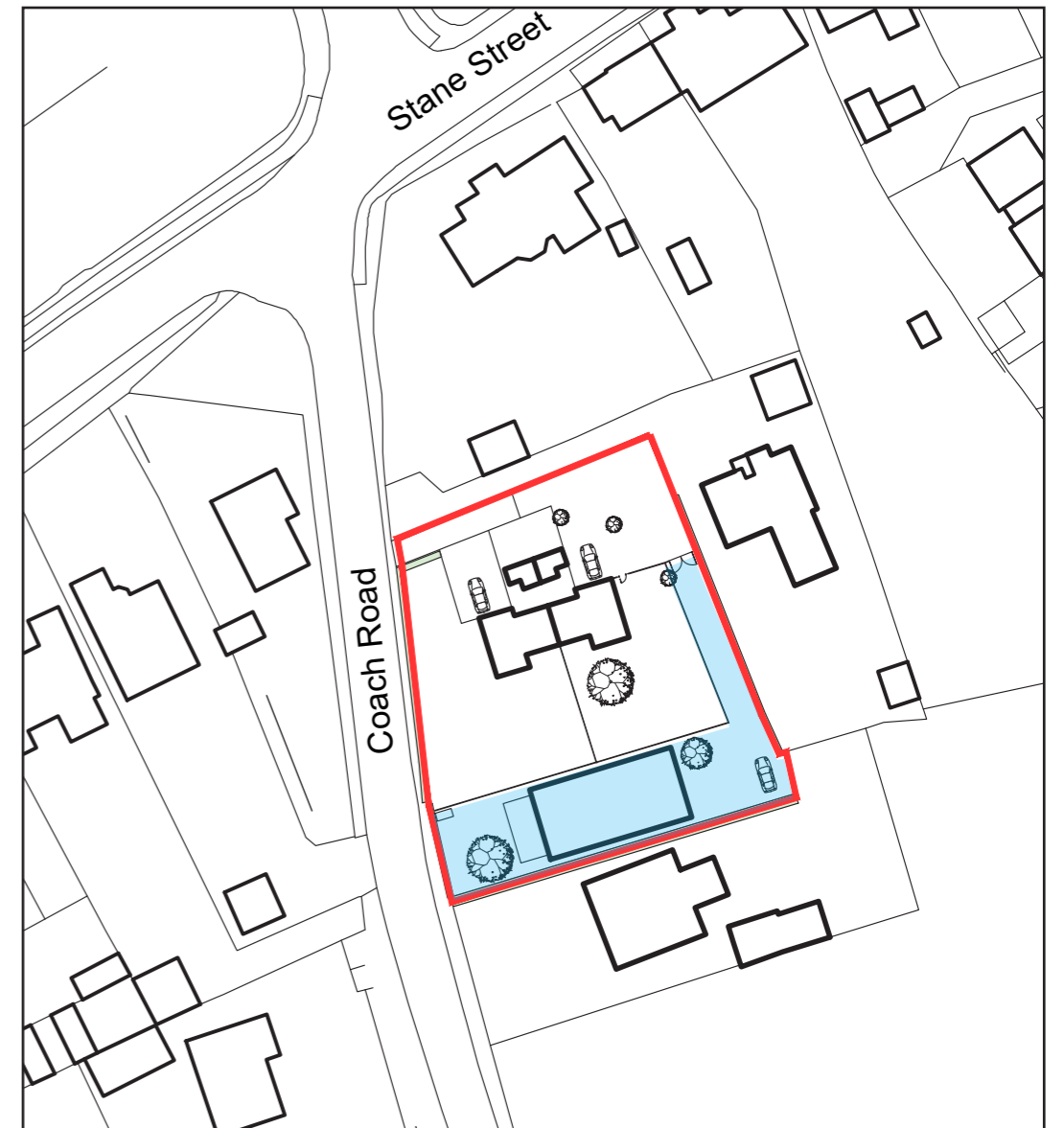
The current Land Registry plan (illustrated here on the left) shows that both houses are in a single ownership, including the gardens to the rear.

The owner of the existing houses has agreed to sell part of the rear gardens to the applicant for the proposed house. The area of garden which has been agreed for sale is shown on the plan to the right. This includes a 'right of way' over the existing driveway and entrance from Coach Road.

The 'red-line' boundary and ownership boundary are shown on Drawing no.01 in the application set.



Title Plan (note: OS Plan not up to date)



Plan showing area of previous ownership agreed for sale (shaded in blue).



## 2. Site Description

This page shows an aerial view of the site with important factors highlighted. The extents of the site have been defined in order to be suitable for a single storey house with access from the existing driveway serving nos. 26 and 27 Coach Road.

The site is on the southern end of the gardens to nos. 26 and 27 Coach Road, a pair of two storey houses built of coursed flint with red brick dressings and tiled roofs. The houses are not listed.

The western boundary of the site is defined by the public highway of Coach Road with a tall hedge along the full length. Coach Road contains major services including electrical and water service mains as well as foul and surface drainage. Utility companies have confirmed that connections to services are feasible.

The eastern boundary of the site adjoins the rear garden of a house known as 'Badger's Bottom', separated by a hedge. The two storey house was built in the early 2000's.

To the immediate south of the site is a red brick, post-war bungalow known as 'Normandie'. A tall hedge runs along the full length of the boundary.

The site is flat and empty apart from two existing sheds. There are three existing trees on this part of the site, two self-seeded trees and a pear tree.

It is understood that historically there was a quarry in this part of Westhampnett which was subsequently used for landfill.

On the following pages are some key photographs of the immediate context.



Aerial view of site





1 View from north end of Coach Road



2 View of vehicular/pedestrian entrance to site



3 View from Coach Road looking north adjacent to site. Note tall hedge along boundary.



4 View looking north from front garden of 'Normandie'. Note tall hedge along boundary.





5 View of nos. 26/27 Coach Road from rear garden



6 View of existing parking court to no. 27



7 View of 'Badger's Bottom' from rear garden of no. 27



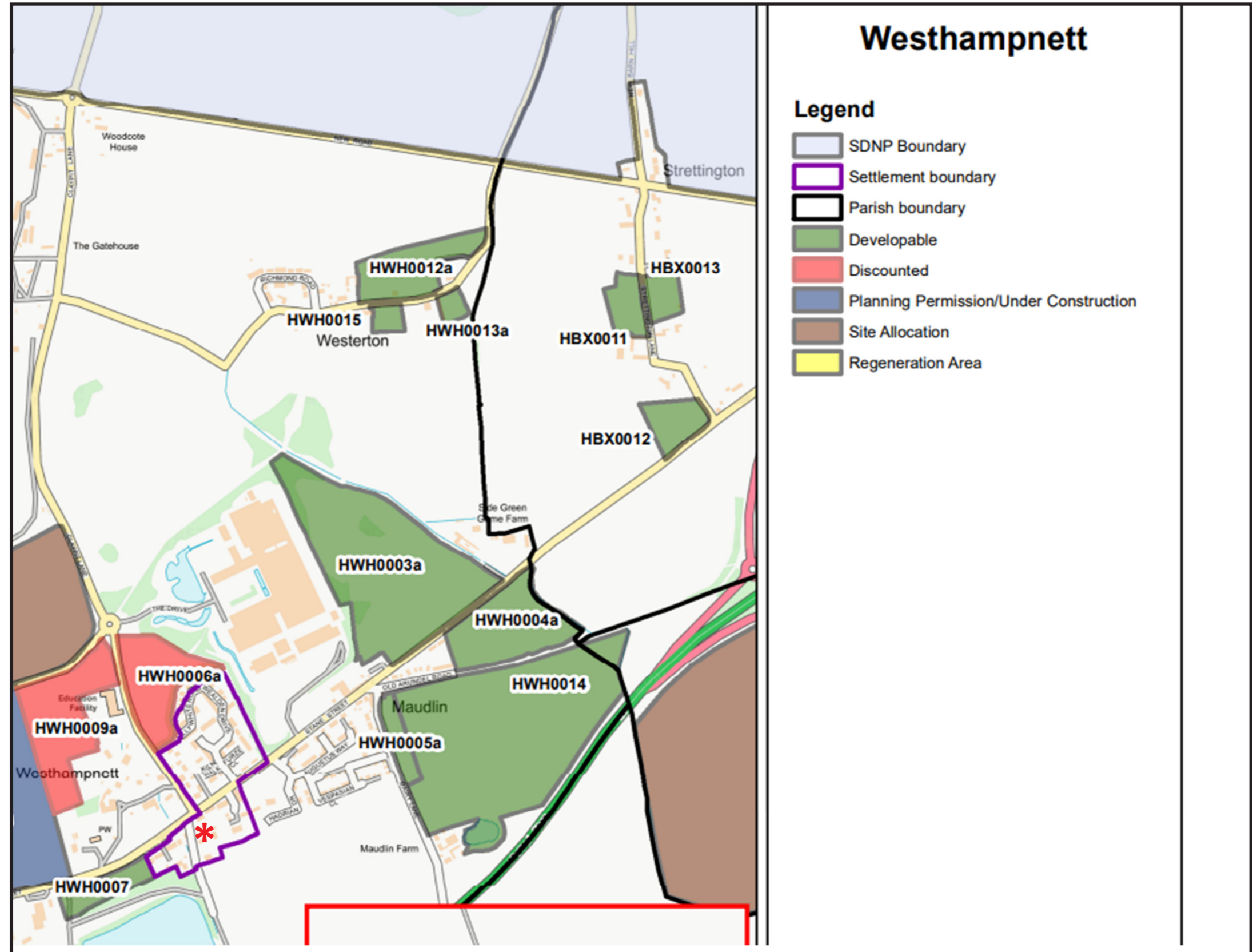
8 View from within site of Proposed House looking west



### 3. Planning Appraisal

A detailed Planning Appraisal of the site has been made by Stephen Jupp MRTPI, a Planning Consultant and based in Chichester. The main points from the Planning Appraisal are as follows:

- The site lies within the Settlement Boundary Area (SBA) of Westhampnett. There is therefore a presumption in favour of development.
- The site is not in a Conservation Area.
- The existing adjacent houses at nos. 26 and 27 are not listed.
- None of the other buildings in the immediate vicinity are listed. The nearest listed building is 150 metres away. Its setting is therefore not affected.
- There are no TPOs that apply to the site.
- Environment Agency plans show that flood risk from surface water is low – between 0.1% and 1% . For coastal flooding, the risk is even lower at less than 0.1%. Flood risk is therefore not an issue on this site.
- The asterisk on the plan to the right denotes the location of the site



Plan showing Westhampnett Settlement Boundary



## 4. The Proposal

The proposed house has been designed to integrate into the site, causing minimal disturbance to the existing neighbouring buildings. The house is a single storey with a flat roof.

### Footprint

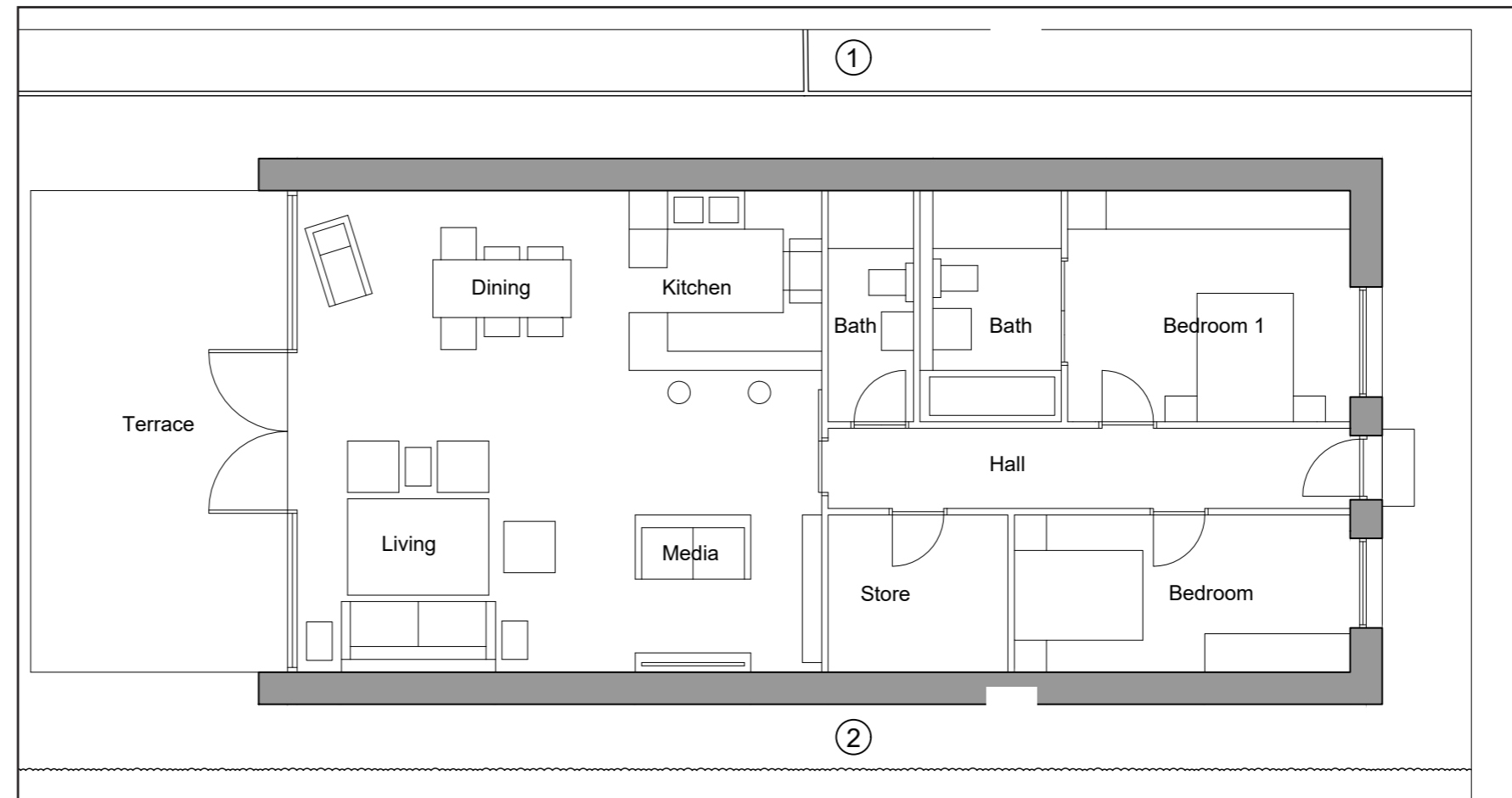
The footprint of the house is a simple rectangle with living and dining rooms facing west end to benefit from the evening light and bedrooms facing east for the morning light. This means that there is no need for windows in the north or south elevations with no overlooking to or from the houses to the north (nos. 26 and 27) or the south (Normandie).

A new wooden fence approximately 1.8 metres high will define the end of the rear gardens to nos. 26 and 27. The dimension from this fence to the rear wall at nos. 26 and 27 will be approximately 13.8 metres meaning that both houses will still have generous gardens with no overlooking. The existing tall hedge between the site and Normandie will remain.

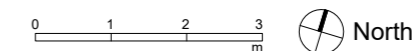
The west elevation of the proposed house lines with the side elevation of the existing house (no. 26). This leaves a small private garden facing west, accessed from the living area or the proposed house. The garden will be landscaped with trees and a terraced area.

The east elevation is defined by the pear tree currently on the site which will be retained. A small parking court is located at the east end of the site with a private driveway connecting over the existing driveway serving nos. 26 and 27 to Coach Road. The private parking court will have a charging point for an electric car.

The footprint of the house is 17.1m x 8.5m resulting in a total GEA of 145.35 sqm (1,565 sqft).



Plan of Proposed House (Extract from Drawing no.04)





## Height

The proposed house is single storey with a flat roof. The eaves (top of gutter) line of the building on all sides will be approximately 3.5 metres above ground level. This height allows for a reasonable internal floor to ceiling height plus a heavily insulated roof structure. There are no rooflights and there will be no mechanical plant or PV panels on the roof.

The eaves line will therefore be slightly above the top of the existing hedge which defines the southern boundary of the site, meaning that the proposed house will be barely visible from the front garden of the adjacent bungalow known as 'Normandie'. This can be seen from the section on this page.

From Coach Lane, the building is set back from the boundary by just over 13 metres. The existing hedge along the side of the road means that the building will not be visible from the road. The section on this page illustrates this.

The building will be visible from the upper floor of 'Badger's Bottom' but the distance is over 27 metres from the rear window meaning that there will be no overlooking to or from either house.

An accurate 3D computer model has been made of the site and the surrounding buildings. The three key views discussed above are illustrated on the following page as well as the view from within the rear gardens to nos. 26 and 27.



West Elevation (Extract from Drawing 04)



Site Section (Extract from Drawing 03)





1. CGI from rear garden of No. 26. The roof of Normandie can be seen behind.



2. CGI from rear upper floor of 'Badger's Bottom'



3. CGI from front garden of 'Normandie'



4. CGI from Coach Road opposite Proposed House



## Materials

In keeping with the objective of building an ultra-low energy house, the external walls and roof of the house will be built to insulation and airtightness standards in excess of current Building Regulation standards. The north and south elevation will be finished in stone coloured render.

Render is one of a palette of materials to be seen all over Chichester, even in an historic context (see examples on this page). The specific area of Westhampnett is also characterised by a variety of materials, with brick, flint and render common in buildings close to the site. A recently constructed building close to the site uses a similar render finish albeit in a brighter white finish (illustrated on this page).

The exact colour of the render can be agreed at a later stage through the discharge of a planning condition, but the intention is to follow the precedent set at the Pallant Gallery in central Chichester where the courtyard walls adjacent to the listed building are finished in an off-white, stone coloured render (see illustration on this page).

The windows will be aluminium section with an anodised or PPC dark grey finish. The metal gutter at eaves level and the downpipes would be in a matching colour. There would be a Part M compliant porch over the front door in the same metal finish.

The roof being flat (laid to falls) means that the surface will barely be visible other than from the upper floors of certain adjacent houses. Other recently constructed buildings nearby also have flat roofs (illustrated on this page). The roof finish will be a membrane with a light coloured gravel surface.



1. Render used in historic context



2. Render used in historic context in central Chichester



3. Recently consented render building close to site



4. Pallant House Gallery in Chichester. Stone coloured render used in historic context



5. Recently consented flat roof building close to site



## Access

The vehicular or pedestrian access to the site will be over the shared driveway in front of nos. 26 and 27 Coach Road using the existing entrance from the public highway. A new automatically-operated gate will give access to a private driveway running parallel with the eastern boundary of the site, leading in turn lead to a small parking court for the proposed house.

The surface of the private driveway and parking court will be bound gravel ensuring minimum acoustic disturbance to neighbours and providing a porous surface to prevent flooding. An electric car charging point will be provided together with covered space for secure bicycle storage.

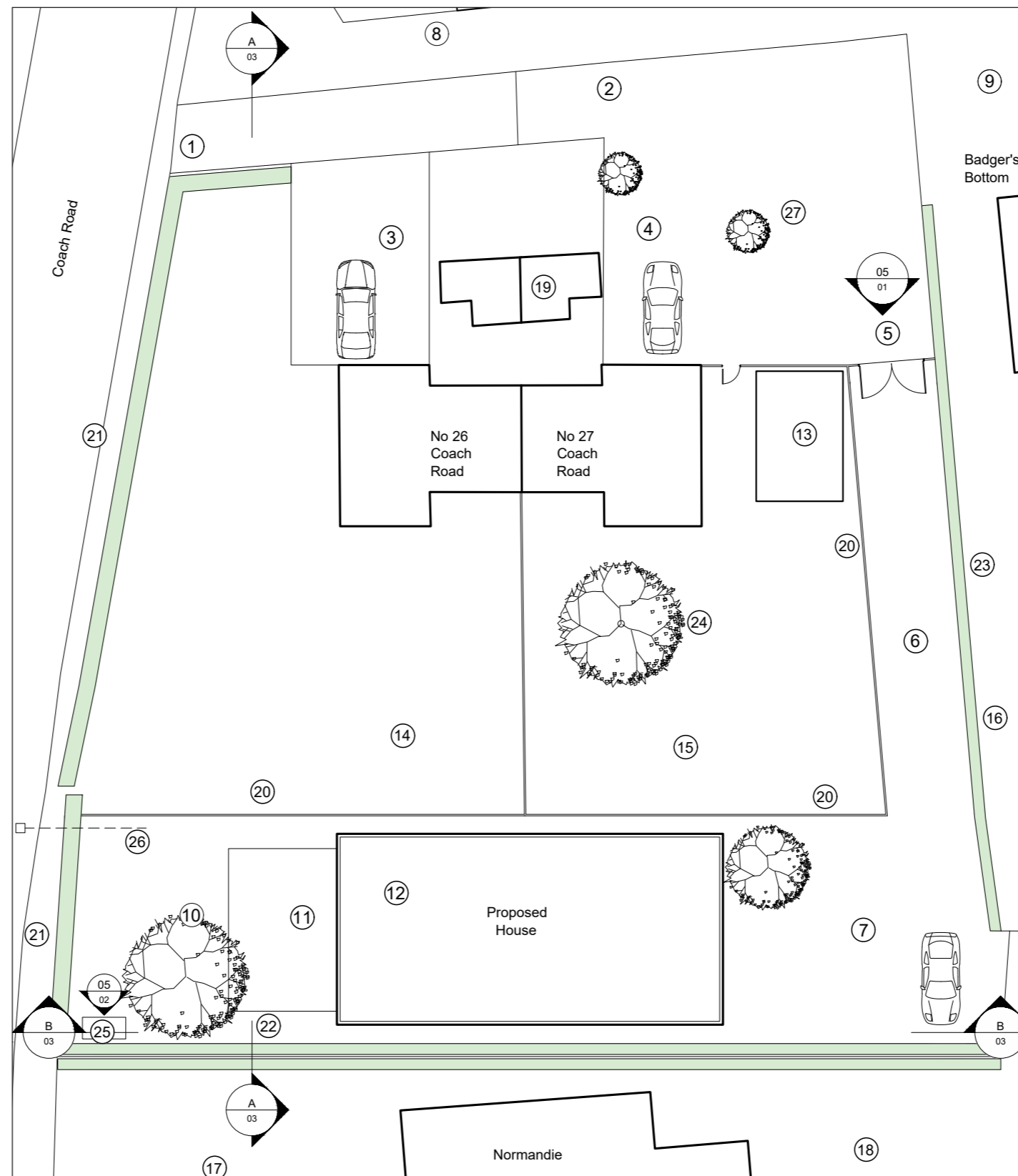
Refuse collection for the proposed house will be shared with nos. 26 and 27, with bins being collected from the Coach Road entrance as per the current arrangement.

The entrance to the house will provide level access with low thresholds, compliant with Building Regulations.

## Landscaping

The landscaping to the parking court at the east end of the site will be permeable gravel in a mesh grid providing a quiet, porous surface for the occasional vehicle. The existing fruit tree will be protected through construction and retained.

To the west end of the site will be a private amenity garden with a west facing terrace and generous landscaping. The site will be enclosed on the north side by a timber boarded fence 1.8 metres high. The existing tall hedge to the south side will be trimmed and retained. A new tree will be planted in the private garden to the west of the Proposed House providing shade in the summer.



Site Plan (Extract from Drawing No. 02)

## Key

1. Existing vehicular and pedestrian access from Coach Road serving nos. 26 and 27 and Proposed House to rear.
2. Shared driveway serving nos. 26 and 27 with Right of Way for Proposed House to rear. Bound gravel porous surface.
3. Parking court for no. 26 (as existing).
4. Parking court for no. 27. Bound gravel porous surface. Selected planting and trees retained.
5. New gate from shared driveway (with Right of Way for Proposed House) into private driveway.
6. Private driveway to private parking court for Proposed House. Bound gravel porous surface.
7. Parking court for Proposed House. Bound gravel porous surface.
8. Private driveway serving 'Badger's Bottom' house (existing).
9. Parking court for 'Badger's Bottom' (existing).
10. Private landscaped garden to Proposed House including new mature tree.
11. Terrace decking.
12. Roof of Proposed House.
13. Existing shed structure on southern part of site repaired and moved to this location.
14. Rear garden to no. 26 Coach Road.
15. Rear garden to no. 27 Coach Road.
16. Rear garden to 'Badger's Bottom'.
17. Front garden to 'Normandie' house.
18. Rear garden to 'Normandie' house.
19. Outbuilding in front of nos. 26 and 27 (existing).
20. New timber boarded fence approximately 1.8 metres high defining new property boundary.
21. Existing hedge along property boundary approximately 3 metres high.
22. Existing hedge between Normandie and site approximately 3 metres high.
23. Existing hedge between Badger's Bottom and site, approximately 2 metres high.
24. Existing eucalyptus tree retained.
25. Acoustic enclosure for heat pump.
26. Connection to foul sewer in Coach Road
27. Existing cherry tree retained.



## Sustainability

From the beginning of the design process, the principles of sustainability have been central to all decisions about interior layout and material selection. The key objective is to create an 'ultra-low energy' building in line with 'Passivhaus' principles. These measures include:

- Highly insulated, air-tight envelope to minimise heat loss
- Constant internal air circulation including heat recovery
- External shading to glazed areas
- Use of air-source heat pump as energy source
- Low temperature underfloor heating
- Energy efficient all-electric appliances
- Low water usage fittings
- Carefully considered orientation for good daylighting
- Rainwater drainage is directed to underground soakaways located at least 5 metres from the proposed house as described on Drawing no. 06 in the application set

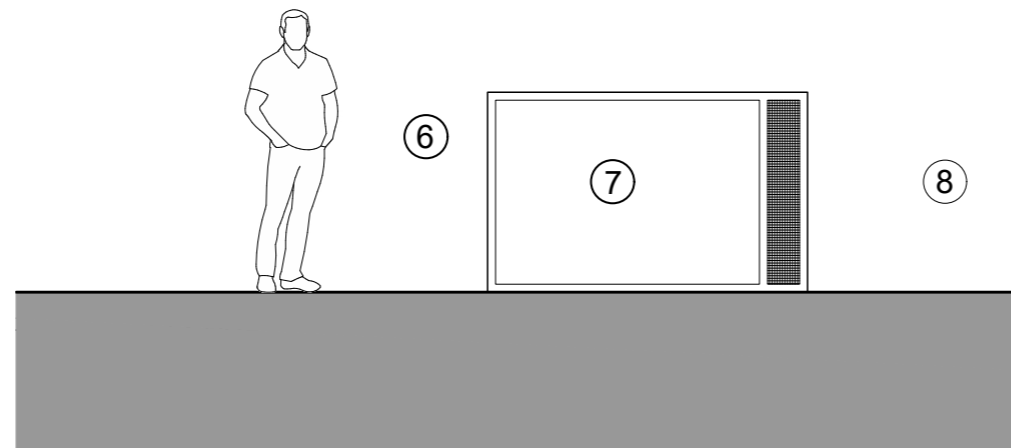
The air-source heat pump will be located within the private garden at the west end contained within an acoustic enclosure, avoiding the need for a boiler or any form of fossil fuel source.

The acoustic enclosure is shown and specified in detail on Drawing no.05 in the application set.

It is currently not the intention to incorporate photovoltaic panels since studies have shown that the energy consumption for the house will be so low that they will not be cost-effective.

In the parking court, there will be a charging point for an electric vehicle.

A 'Stage 1 Environmental Risk Assessment Desk Study' has been submitted to investigate any potential contamination issues. In addition, a 'Preliminary Ecological Appraisal and Preliminary Roost Assessment' has been submitted including a survey for the presence of bats on the site.



Extract from Drawing no. 05 showing ASHP Acoustic Enclosure.



Photo of Acoustic Enclosure



## 5. Consultation

The initial proposals for the site have been presented to the occupants of nos. 26 and 27 Coach Road, as well as to the owner/occupiers of 'Normandie' and 'Badger's Bottom'. The final proposals that constitute this application take their comments into account.



View at Proposed House from within private garden