

Planning, Design and Access Statement

**87 St Mary's Road,
Poole,
BH15 2LJ**

Planning application for alterations to the roof.

November 2023

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Fig.1. 87 St Mary's Rd

1. Site and surroundings

1.1 The site is located in Longfleet in Poole within walking distance of Poole Town Centre, the hospital and Poole Park. St Mary's Road is situated parallel to the Longfleet Road which is a main bus route through the town.

1.2 Longfleet is a mainly residential area. The site is located on the western side of the road and the rear of the site backs onto a number of other residential units. The site is in the vicinity of the Longfleet Primary School playing fields.

1.3 Properties vary in scale and design, ranging from 2 storey dwellings to bungalows and the separation distances between the houses varies. There are several examples of dwellings that have been/being enlarged and properties modernised in recent years.

1.4 The plot comprises a single storey bungalow set in a large garden. The existing dwelling is finished in render tiled hipped roof. To the front and side are an area of hard standing providing parking for up to 4 cars. The front boundary is a small brick garden wall and to the side elevations are a mix of wooden fencing and hedges. A hawthorn has been formed into a tree to the front elevation.

1.5 The site topography is split the front half is higher than the rearward garden, which slopes away from the rear of the property. The rear garden is enclosed by fences.

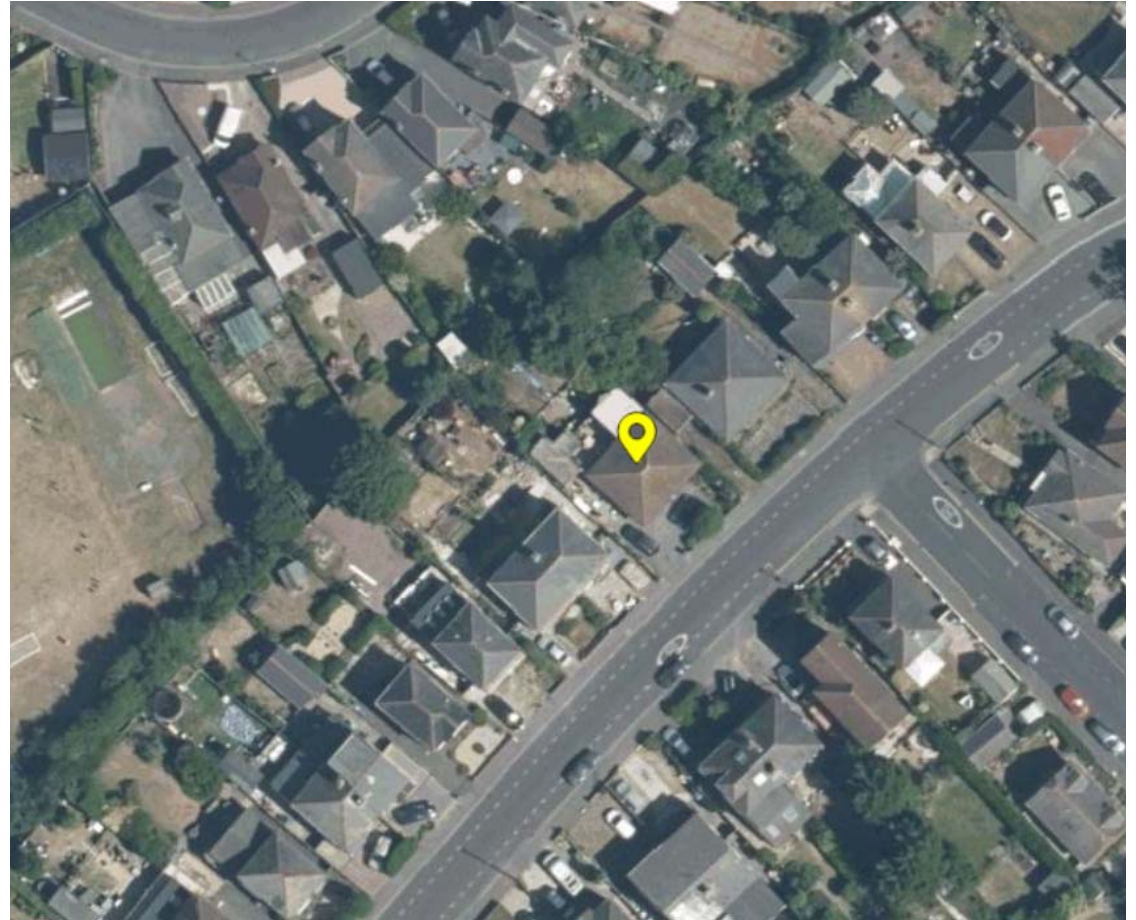


Fig.2. Aerial plan

2. Proposed development and design

2.1 Planning permission is being sought for the alteration of the roof to increase the ridge height and create a gable ended roof structure with a dormer window to the rear. The alteration seeks to provide an additional 2 bedrooms and bathroom.

2.2 The scale of the proposal is sympathetic to the surrounding context. The design would maintain the stepped appearance of building heights as the land falls to the north along the street scene.

2.3 The building materiality utilises a mix of render, cedar cladding and slate tiles. This simple palette of materials maintains the character of the building as well as that of the street scene.



Fig.3. Proposed street scene

3. Planning policy

National Planning Policy Framework, 2021

Paragraph 130. Planning policies and decisions should ensure that developments:

- (a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- (b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- (c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- (d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- (e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- (f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users ⁴⁹; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

Adopted Plan: Poole Local Plan (2018)

The adopted District Plan covers the district of Poole. The following policies are considered most relevant:

- PP01 Presumption in favour of sustainable development
- PP27 Design
- PP35 A safe, connected and accessible transport network

Supplementary Planning Documents

BCP Parking Standards SPD (adopted January 2021)



Fig.4. Poole Local Plan

4. Planning history

Application site

- None.

Neighbouring development

- APP/20/00064/F | Demolition of existing side/rear extension and erection of 2-storey extension at rear. Insertion of roof light in rear roof slope. New external porch to frontage. Raised patio at rear. | 85 St Marys Road, Poole, BH15 2LJ
- APP/20/00384/F | New external porch to frontage Extension at 1st floor level at rear of property | 83 St Marys Road, Poole, BH15 2LJ

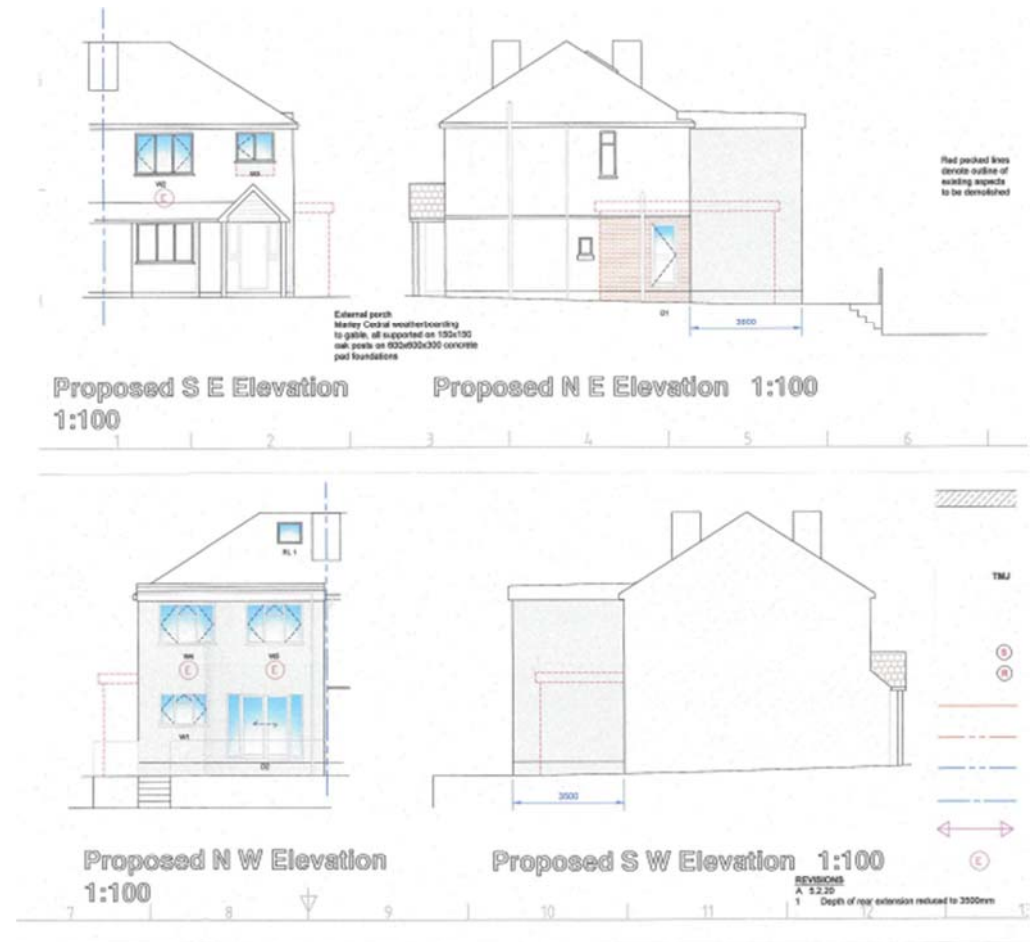


Fig.5. No. 85 St Mary's approved plans

5. Planning considerations and access

Character

5.1 . The varied streetscene of St Mary's Road can facilitate a sympathetic roof alteration in this location. Policy PP27 (1) of the Poole Local Plan sets out;

'Development will be permitted provided that, where relevant, it: a) reflects or enhances local patterns of development and neighbouring buildings in terms of: (i) layout and siting, including building line and built site coverage; (ii) height and scale; (iii) bulk and

massing, including that of the roof; (iv) materials and detailing; (v) landscaping; and (vi) visual impact.' PP27 (2) requires that extensions and alterations; 'should be designed to respect and relate to the existing building and maintain or enhance any details that contribute positively to local character'.

The proposed extensions would be in keeping with the scale of the dwelling and adjacent dwellings. The ridge would maintain the stepped heights of the roofs

within the streetscene and would blend seamlessly. Although enlarged, the increase in ridge height would reflect local patterns of development and neighbouring buildings.

5.2 The proposal seeks to maintain the pattern of gaps between houses along the street scene by retaining the space adjacent to the house. In addition the single storey extension to south and garage to the north would further maintain this separation and resulting pattern that adds to the distinctiveness of the street.



Fig.6. Street scene

Residential amenity

5.3 The proposal seeks to provide a roof alteration that would blend in character with the street scene and respect both the taller 2 storey property to the south and the smaller bungalow to the north. The proposal due to the orientation of the site would not give rise to shading towards no. 85 or no. 89 or any property to the rear.

5.4 The position of windows has been well considered in order to minimize the impact on the neighbours by facing them to the front and rear only. The first floor windows face to the rear and any overlooking would be oblique. The gaps between properties to the sides, go further than a more tightly spaced development pattern, and reduce any potential for overlooking. Any properties to the rear are separated by a significant distance from the site. The siting and location of the proposed windows would therefore not detrimentally harm neighbouring privacy or amenity.

5.5 The application proposes upper floor balcony with a 1.7 metre high screen to the side elevation. There is a large conifer tree to this side elevation that is in the ownership of no.89 and would provide ample screening in itself, however should any future owner choose to fell the tree the screen would remain in place. No screen is proposed to the other side due to the distance of 10 metres, a garage separating the sites and a large 2 storey rear extension of the neighbour at no.85 that would preclude any direct overlooking.

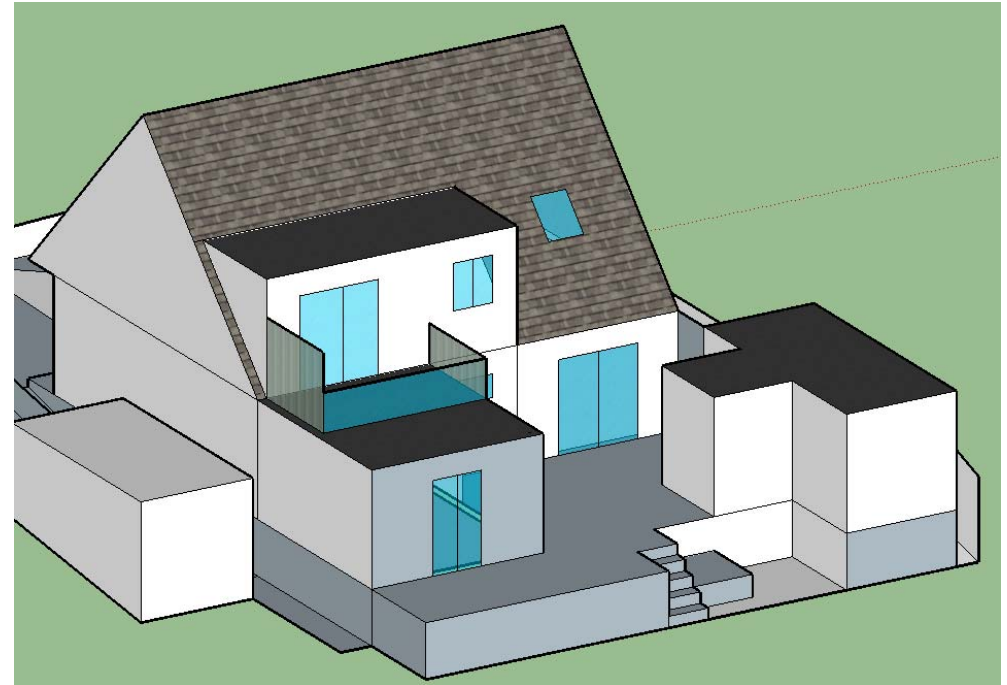


Fig.7. Indicative 3d model

Access

5.6 The entrance to the site would remain as is and therefore there would be no change to the access to the site.

5.7 The parking arrangement would remain the same and therefore there would be no change to parking. The site can comfortably accommodate parking for 4 cars and provision on site is ample for the number of bedrooms.



Fig.8. Indicative image showing rear and front gardens

6. Energy

6.1. The construction methods will reduce energy consumption from the current leaky roof design. The roof and guttering are in a poor state of repair and the intention is to upgrade these features as part of the renovation works in order to stop mould forming in the front rooms.

6.2 Energy efficiency will be achieved through the walls, roof and floors by enhancing their individual U values. This can be achieved by specifying thermally efficient materials. Detailed design and good construction techniques will be adopted to create air tightness and reduce any potential spillage.

6.3 Heating will be provided by a high efficiency boiler and zoned radiator systems operated both individually and by linked controls. Lighting will use low energy fittings and control systems. Double glazed window and door units will be installed.

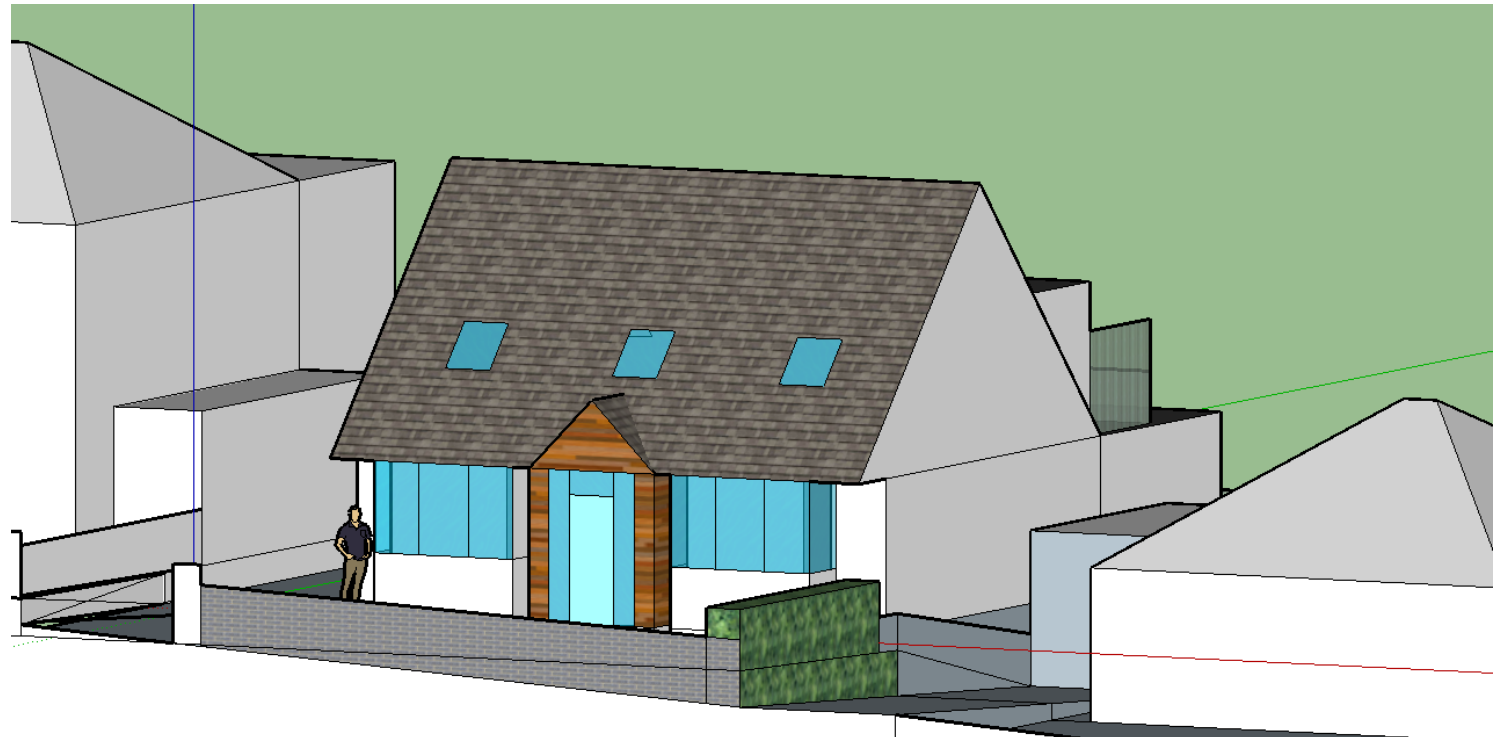


Fig.9. Indicative 3d model

6. Conclusions

6.1 The proposed dwellings would make a small but valuable contribution to the character of the local area. The building would be proportionate in scale to the Neighbouring dwellings and allow plenty of space for landscaped areas surrounding the site.

6.2 The residential amenity of Neighbouring dwellings can be maintained and not be compromised. The site has ample potential for a suitable access and layout that can ensure a safe relationship with the street for road users and pedestrians alike.

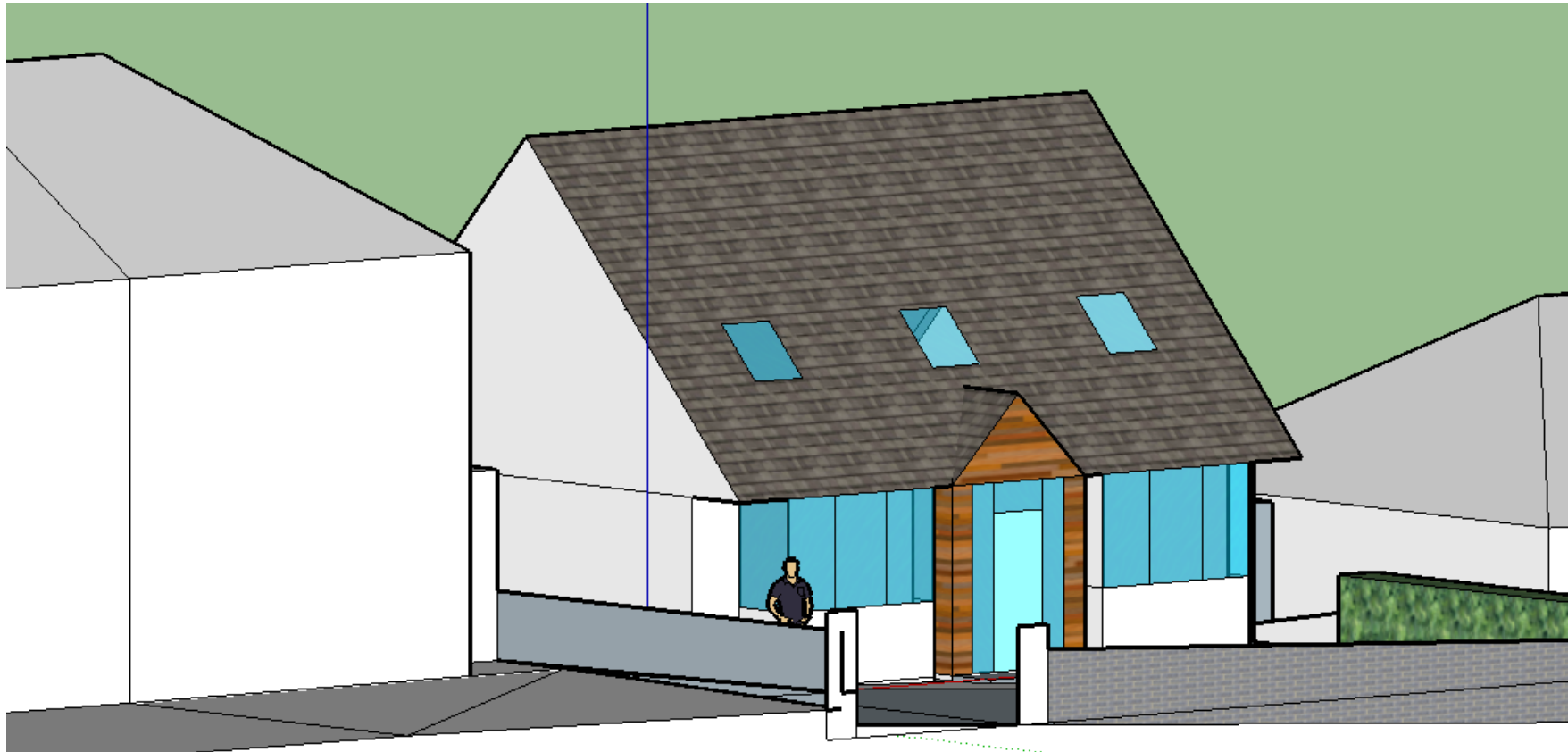


Fig.10. Indicative 3d model

