



Third Design - Architecture

DESIGN , ACCESS & HERITAGE STATEMENT – Proposed garden room to rear garden and enlargement of vehicular access in existing stone wall to front of property.

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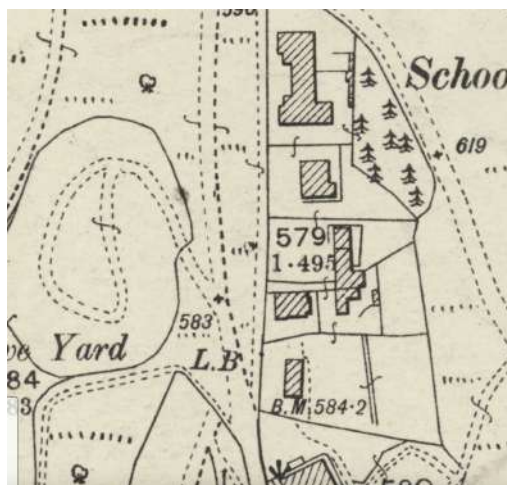
Greyholme, Amberley, GL5 5JG

The purpose of this statement is to explain in further detail the design principles as set out in the accompanying drawings and any information relating to the guidelines in the Council's UDP and national policies.

1. - CONTEXT:

The application site is located in the village of Amberley. The main property sits within the local Conservation area and is a Grade II listed building.

The site area is approximately 0.07 hectares. The site is predominantly level at the front but the topography rises towards the east end of the site. Historic evidence confirms that the layout of the host dwelling has remained as built with the exception of the modest lean to extension. Originally, two houses in row. The host dwelling being built from coursed and dressed limestone; ashlar and artificial stone rebuilt chimneys; stone slate roof, concrete tile to rear. Two-storey with attic.

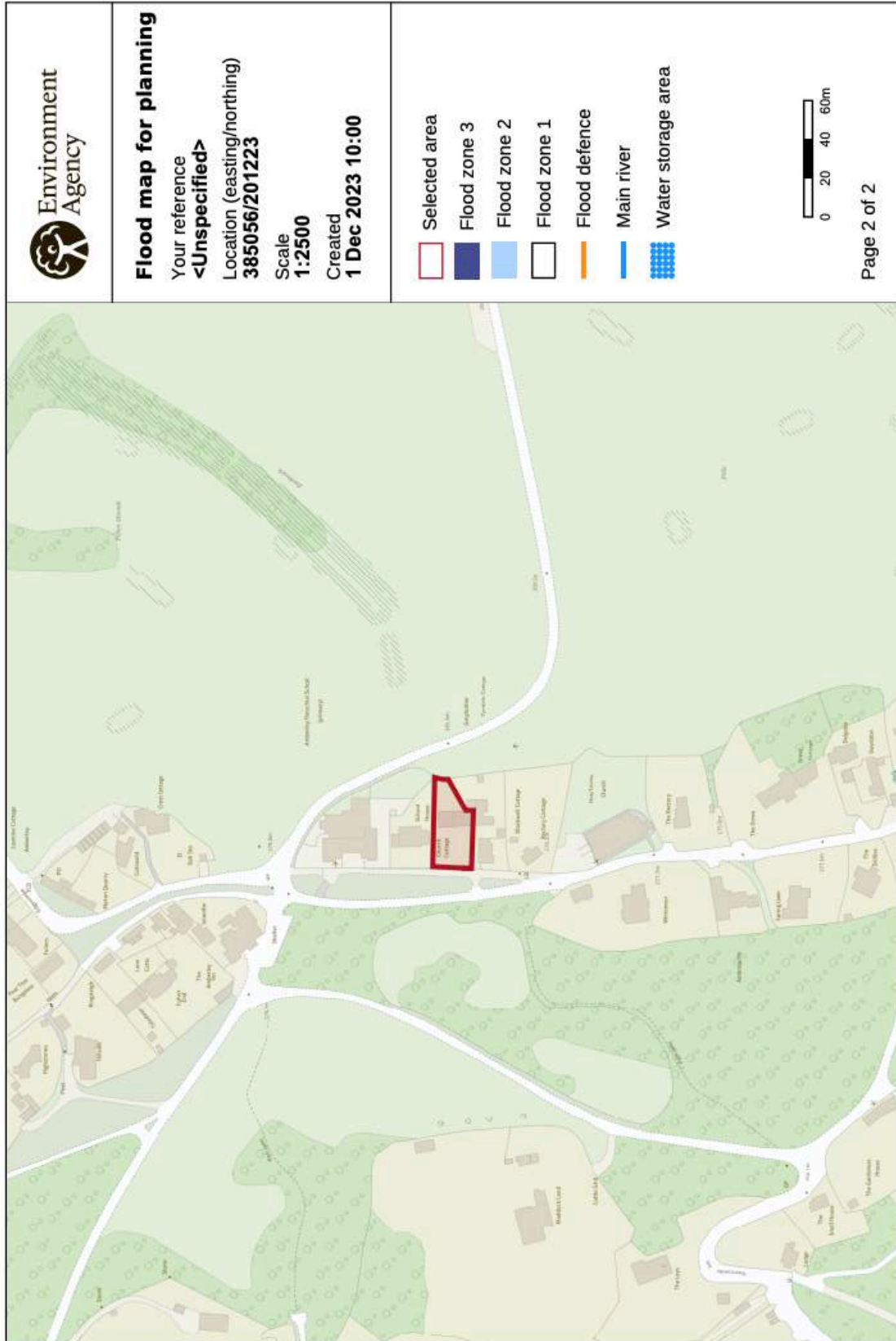


1894-1903 2nd addition OS

Site area indicated in red on the OS plan on the drawings.



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It is noted that the site lies in food zone 1 as identified on the Environment Agency mapping, therefore would not require any further measures or assessments.

2. – THE PROPOSAL & POLICY:

The proposal is for the erection of a garden building, detached from the main dwelling, located in the rear garden. Also included in the application are the previously approved drawings for the enlargement of the vehicular access (permission now lapsed S.18/1659/LBC) which the client would like included so that the works may take place.

The proposed building has been sited in the rear corner of the garden. Due to the location of the existing house, the proposals will not be visible from the road and will be well detached from the host dwelling.

Materials used are single ply to the mono pitch roof (mono pitched to limit the overall height of the building) and the walls will be clad in British grown timber cladding.

It is considered that the proposal meets the requirements of Section 72 of the Planning (Listed Buildings and Conservation Areas) Act. This is to ensure that special attention is given to the preservation or enhancement of the character of the surrounding conservation area.

Given the design, scale, massing and siting of the proposed development the proposal would not cause significant harm to the amenities of any occupiers or adjacent occupiers through loss of light, overshadowing, overbearing impact, loss of privacy, noise, smell, traffic or other disturbance.

It is proposed that no alterations are to be made to the existing listed building structures and historic fabric to accommodate the garden room.

The proposals will aim to provide the following to comply with the relevant local and national planning policies;

- - Be of high-quality architectural design.
- - Utilise natural materials within the design to complement the existing site.
- - Incorporate sustainable design and energy efficient measures.
- - Material selection to be of local representation and whole life use.



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- - Support the vitality and viability of the local economy.
Proposals & Implications

3. - SITE PHOTOS:



Site viewed from the East



Site viewed from the West



Site viewed from the West



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4. – PRECEDENT APPLICATIONS:

S.22/2357/HHOLD | Replacement of existing garage and outbuilding with new garage, garden room and store. | Applegarth Pinfarthings Amberley Stroud Gloucestershire GL5 5JH

S.22/1575/HHOLD | Conversion and extension of garage to provide additional ancillary residential accommodation, car port and levelling of parking area. | 2 Theescombe Hill Amberley Stroud Gloucestershire GL5 5AT

S.08/0174/FUL | Erection of new detached studio and replacement garage. Revised plans received 19 and 20 March 2008. | Whitemoor Pinfarthings Amberley Stroud Gloucestershire GL5 5JG

S.20/0925/FUL | Replacement of existing external teaching area | Amberley Parochial School Amberley Stroud Gloucestershire GL5 5JG