

Heritage, Design and Access Statements for Chapel Cottage, Crawley End, Chrishall.

Prepared by Carol Chinn (Owner) November 2023.

The front of Chapel Cottage and the Outbuilding (June 2023)



The back of Chapel Cottage and the Outbuilding, showing the link. (June 2023)



Heritage, The Listing

Chapel Cottage, Crawley End, Essex is formed of 2 separately Listed Buildings, both were listed on the 22nd February 1980.

Chapel Cottage – Listing Number 1112449

Details – ‘A C17 timber framed and plastered house standing at right angles to the road. One storey and attics. Casement windows. The attic storey is jettied at the west end. Roof thatched, half hipped at the east and west ends, with one dormer and a small central chimney stack.’

The second building is the **Outbuilding immediately South West of Chapel Cottage**, Crawley End – Listing Number 1366153

Details – ‘Probably C18. A timber framed and plastered building with a thatched roof.’

There is some confusion in the original listing record for ‘Grouped, Secular Monuments’ as several cottages in Crawley End were listed on the same day, it is likely that Chapel Cottage is the building monument number 20e ‘small rectangular building, first floor overhang at E end; wall under this is repaired with stone and brick, other walls probably plastered timber. Plain Chimney stack.’

Another note mentions that one cottage ‘has a little brick and stone which is not original’ and this is likely Chapel Cottage too.

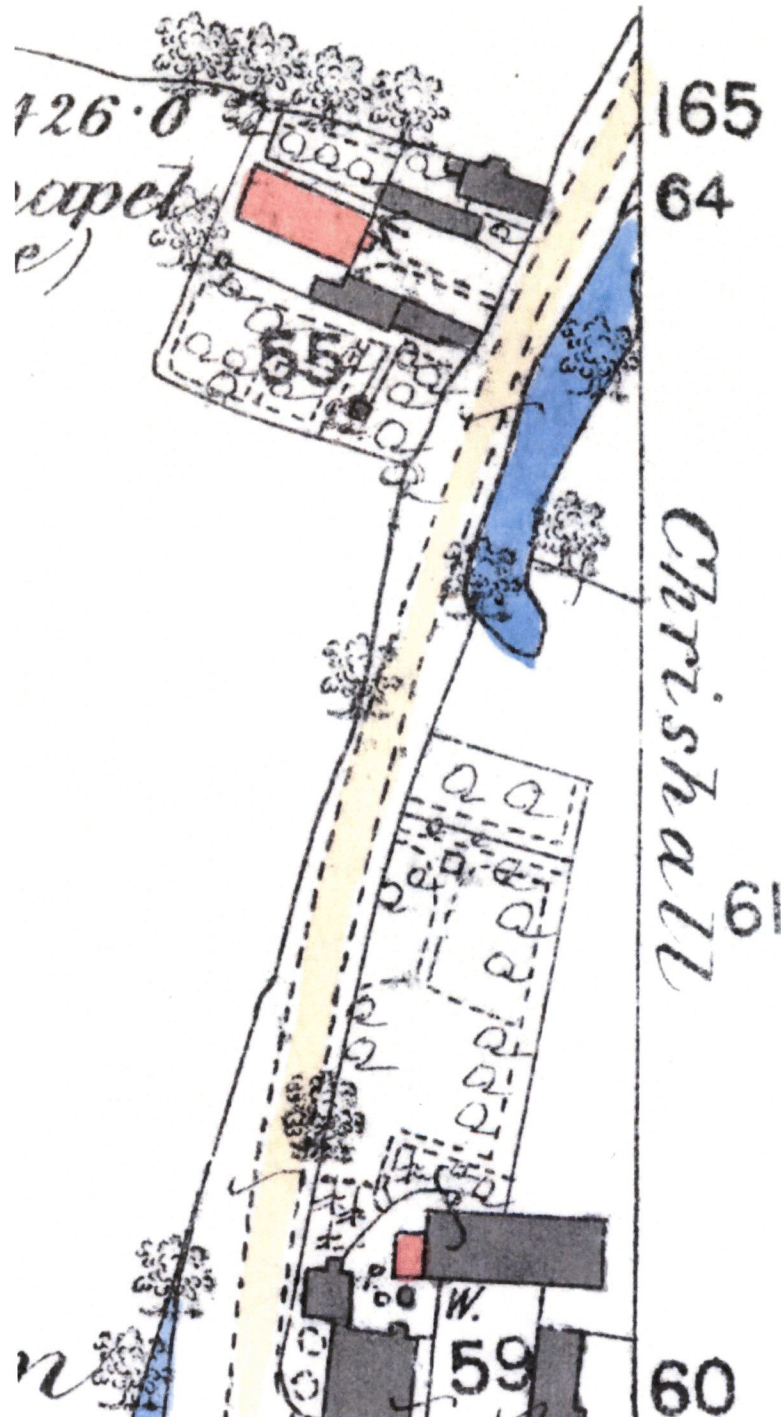
There are no details mentioned on the interior of either building.



Chapel Cottage and Outbuilding - Photograph taken for Listing and with original Monument notes.

Historical Maps and Photographs

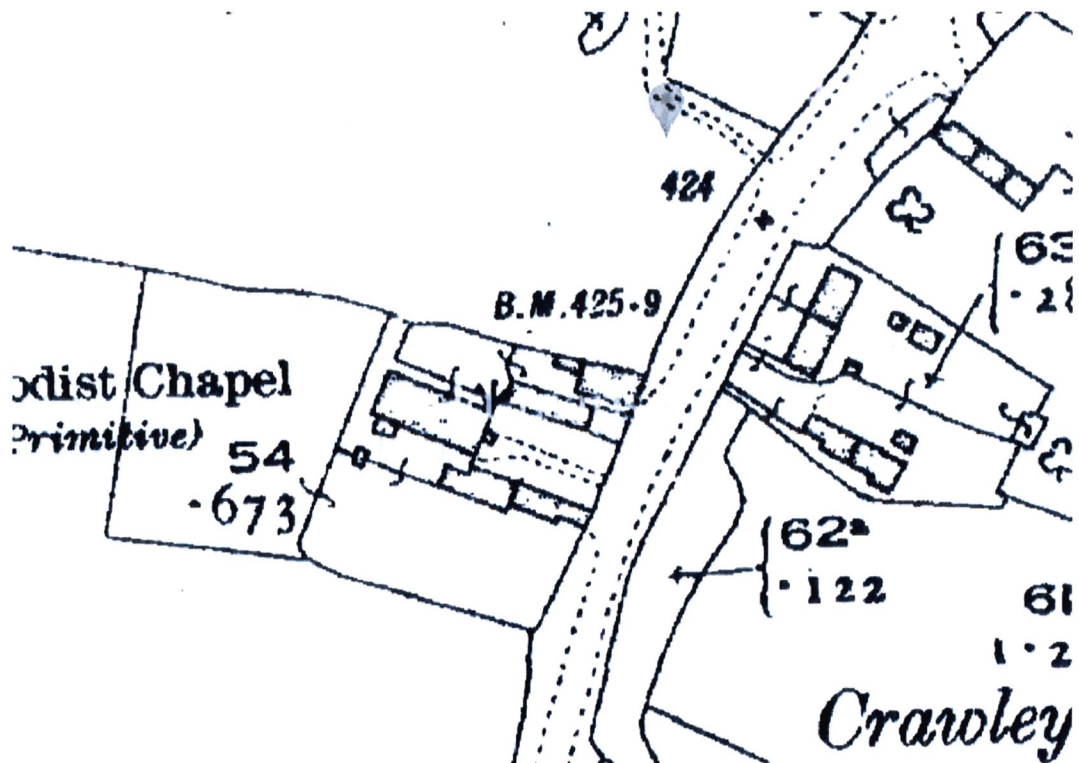
All historical maps show a cottage that is smaller than the current building. Most show a small structure at the back which was probably a ground floor bathroom. The outbuilding is, on the oldest map (below) longer than the current structure, indeed it seems to have been at some point, parallel with the front of the chapel.



OS Map 1862-96 (National Library of Scotland)



Photograph Circa 1900.

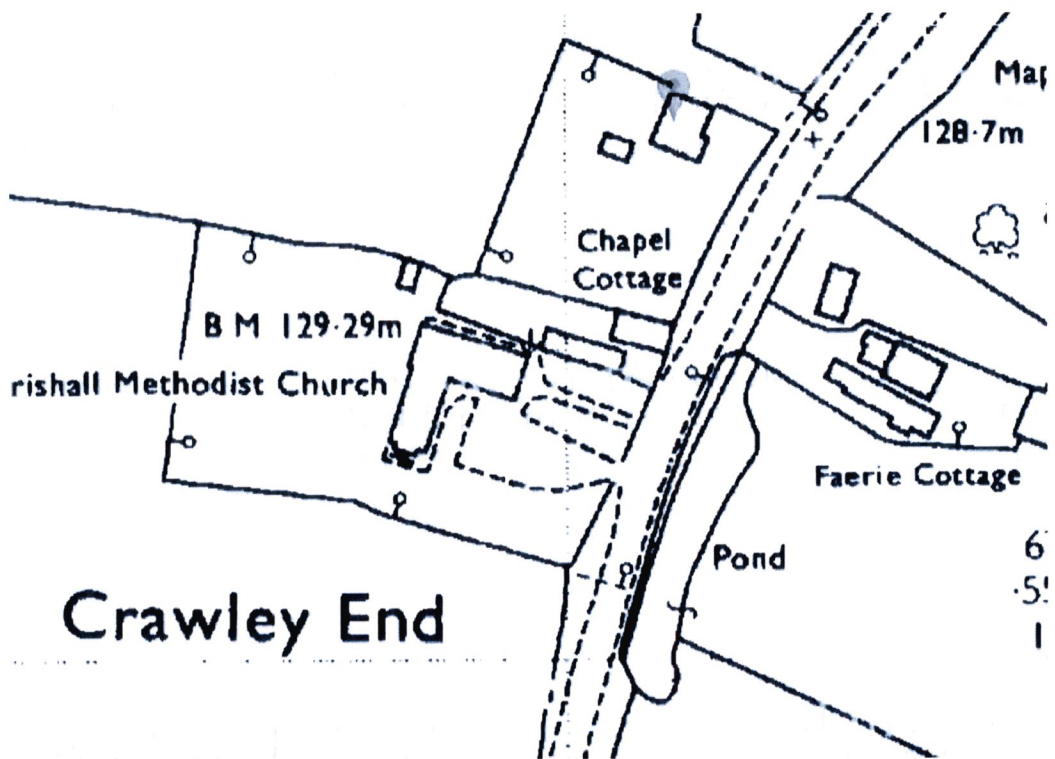


old-maps.co.uk Circa 1903.

The 1903 still shows a small structure at the back of the cottage.



Photograph Circa 1913.



old-maps.co.uk Circa 1921.

The 1921 map shows the removal of the structure at the back of the cottage and a reduction in the length of the outbuilding. The back wall no longer aligns with the front of the chapel.



Circa 1950 – Irene Flack in front of Chapel Cottage.



Probably Circa 1980. The lady above (Irene Flack) died in c1975 and lived at the cottage until her death.

Recent Planning History

After Mrs Flack died, the cottage was sold, and many alterations were made to both buildings. The majority of these happened in the 1980's.

1. Rear extension to Chapel Cottage, 18th September 1981 UTT/913/81/LB.
2. Garage door new window and dovecote to 'barn' (*Outbuilding*), new front porch and rear window to cottage, 10th Feb 1986 UTT/1337/85/LB
3. Upgrading and part reconstruction of existing storage building (*Outbuilding*) including underpinning and provision of dormer window. Partial demolition of rear roof and wall during building works, 13th July 1988 UTT/1847/87 & UTT/1848/87/LB
4. Additions and Alterations (Amendments to previous approved applications of UTT/1847/87 & UTT/1848/87/LB) 7th March 1989 UTT/2226/88
5. Insertion of French doors (*Outbuilding*) and First floor window into rear elevation and internal alterations, 24th November 1997 UTT/1100/97/LB
6. New boiler, oil tank and boundary change, 16th March 2022 UTT/21/3314/LB.

Design, Context and Background for the Proposed Changes

Chapel Cottage is a grade II listed cottage in Crawley End, Chrishall. Although parts of it date back to the 17th Century, much of it has been altered or refurbished and is new construction built over the last 40 years. The cottage is formed of 2 buildings and a link, and each building has a separate listing (The Cottage and The Outbuilding). This application is concerned with the existing bathroom and windows and concerns both buildings.

We have been living in the cottage since May 2021 and after much investigation and deliberation about the bathrooms and windows have arrived at the following conclusions.

Bathrooms

The existing bathroom is in need of renovation and would benefit from better space planning and specification.

Windows

It became clear after we had moved in that, in part, many windows were rotten, they were not watertight and hadn't been for some time. Many sills had rotted all the way through, and water would have been dripping into the wall cavity under 3 windows on the ground floor and 1 on the 1st. Several of the older casements had blown and would not open, and many parts of the frames and casements were also rotten.

Everything that was in this state has been stripped back, hardened, filled with a 2-part wood filler, made to open & close and painted. The newer windows have also been painted and filled where necessary.

In addition to this, and during our first winter here, there were significant issues with condensation on the glass to all windows and we were acutely aware that many of the windows and doors were not airtight. We have resolved these issues in the short term with draught excluder and secondary glazing window film. The excluder makes it difficult to open and close the windows but does help with the draughts, and the film stops condensation and prevent draughts, but renders the windows unopenable. This is not an acceptable permanent solution.

The refurbishment has confirmed that many of the windows and sills are end of life, some of them are now more filler than timber and none of the older window are airtight. All of the windows are single glazed and none of them are thermally acceptable. The windows on the front of the house are also acoustically unacceptable.

The Proposed Works

REFURBISHMENT OF EXISTING BATHROOM.

Reference Documents: EXGA-010 & GA-011 + Existing Photographic Survey

The current bathroom suite is very tired. The bath is a traditional double ended freestanding bath, and the enamel was badly chipped and has been painted, it needs to be replaced or significantly refurbished. The toilet has been recently replaced as the old one stopped working and couldn't be refurbished. The sink is chipped, and its pipework is visible. The shower cubicle is in a sorry state. Most of the taps drip and can't be mended and the chrome has been worn away. We are proposing to remove the shower, to replace/relocate the bath, to replace the sink and to relocate the wc. These alterations are not in the 17thC part of the building, and no historic fabric will be affected by them.

WINDOW REPLACEMENT PROPOSAL

Reference Documents : EV-001, EXGA-001 & EXGA-010 + Existing Window Schedule

We are proposing to replace the oldest windows with timber, single glazed casement windows to match the existing and to add secondary double glazing to all windows.

The following windows need replacing:

Windows Numbers

W-01, 02, 03, 04, 05, 06, 07, 08, 11, 14, 15, 16, 17, 18, 19 & 21.

French Window/Door number

D-05

Other notes:

1. The living spaces all work in an open plan style and the windows don't all need to open for effective ventilation. 1 window is already painted shut and this does not cause a problem. We would prefer, either because they don't need to open or because they are too difficult to access, that W-05, 06 & 07 were replaced with non-opening versions, to match the existing style.

Access Statement

Current access to the house and garden is sufficient for the works.