

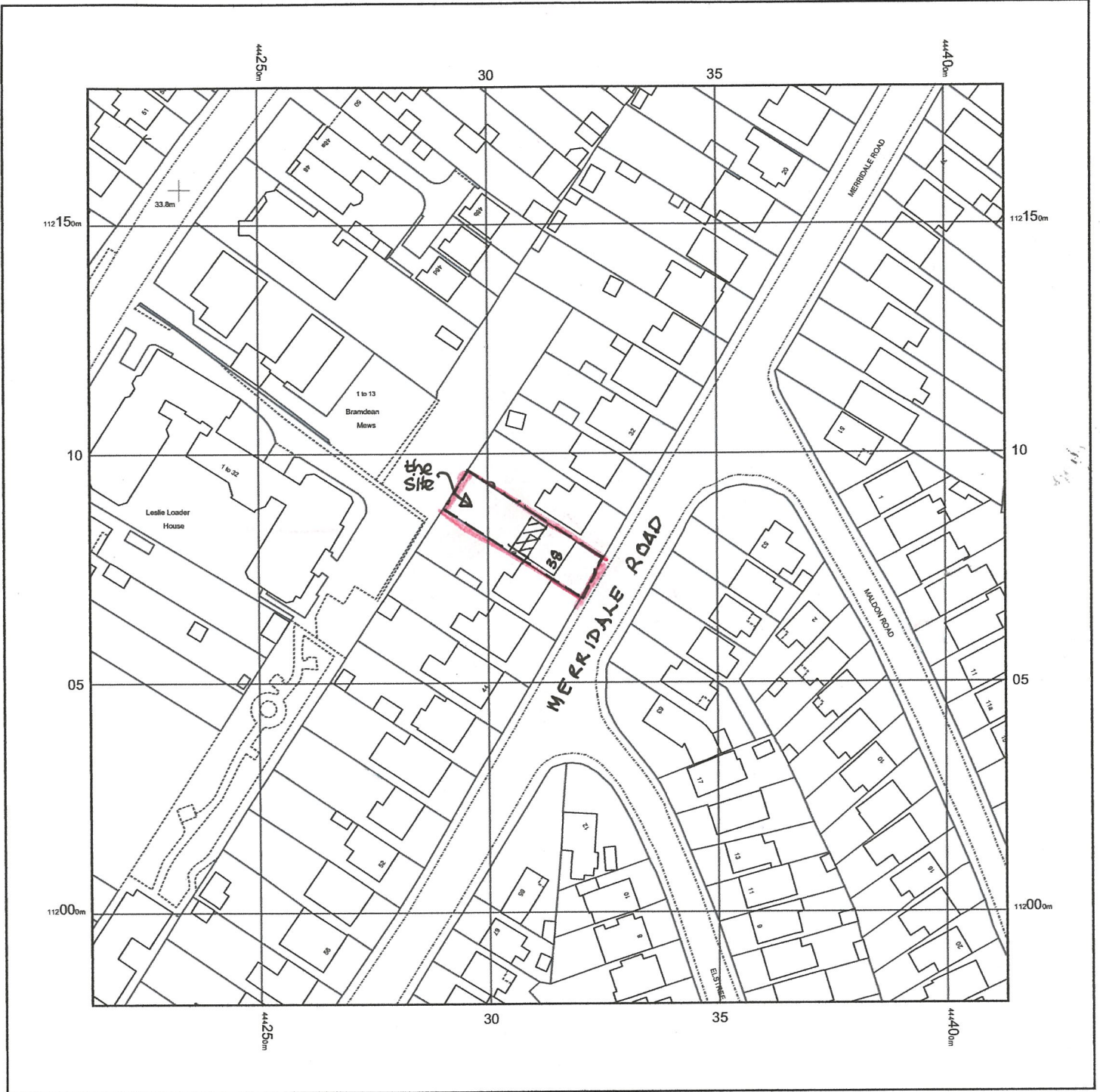
38, MERRIDALE ROAD, SOUTHAMPTON, CITY OF SOUTHAMPTON, SO19 7AD

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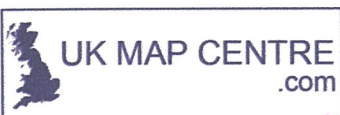
Production Date: 26/10/2023 13:58:27



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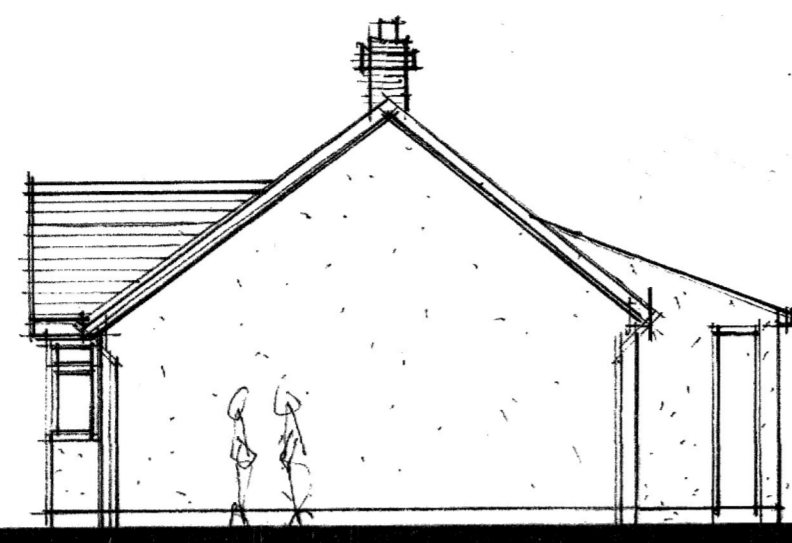
0m 1cm = 12.5m 62.5m

Scale 1:1250

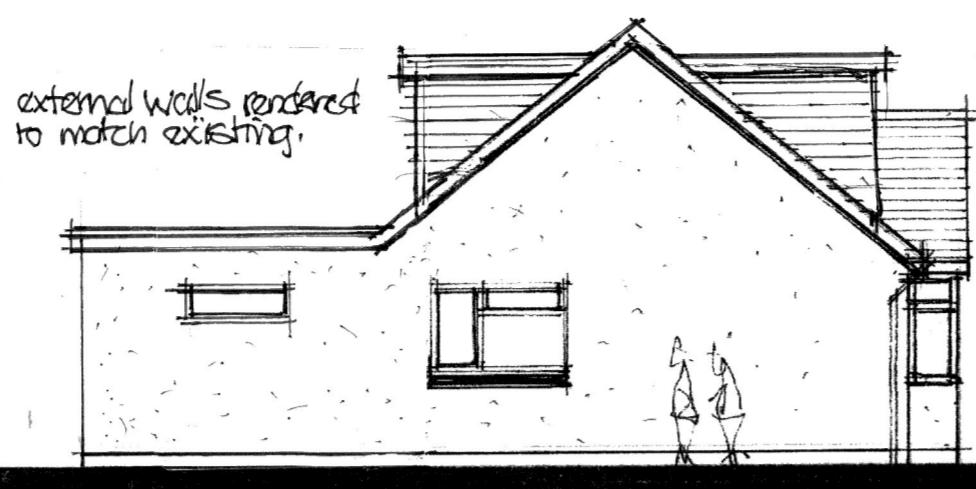




front elevation (existing)



side elevation (existing)



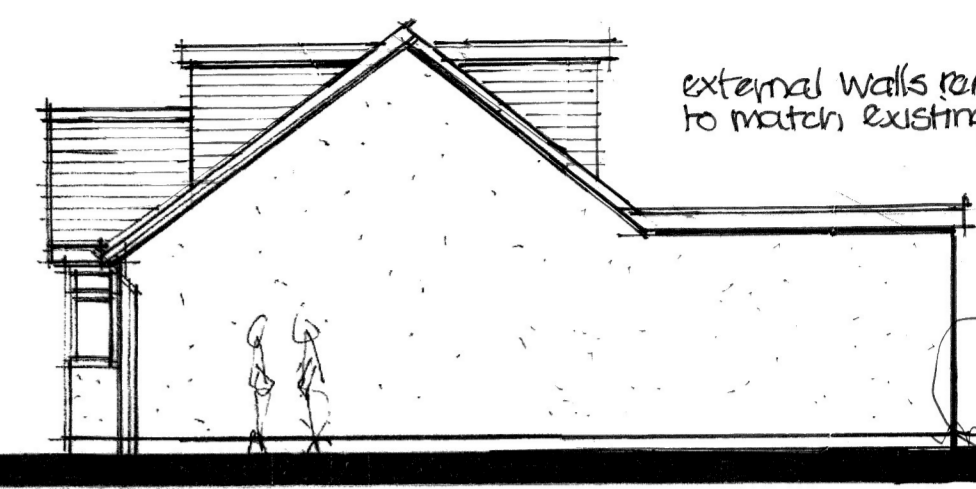
proposed side elevation



proposed rear elevation



proposed front elevation



proposed side elevation

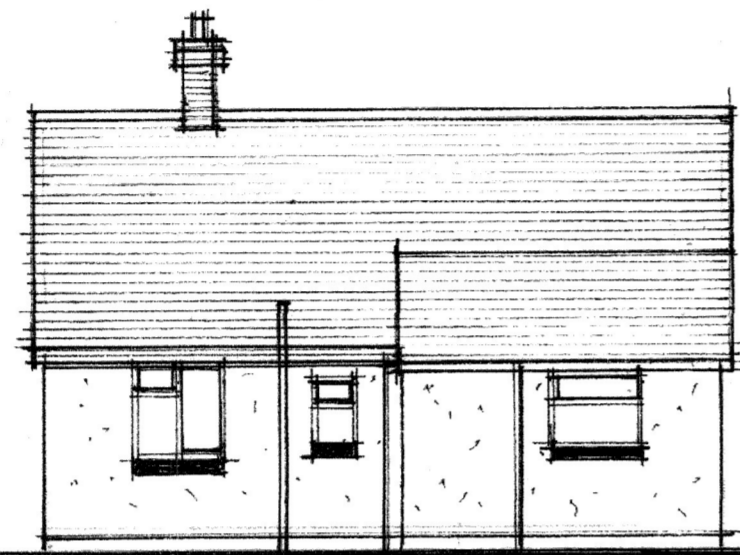
external walls rendered to match existing.

cladding to dormer to match roof.

external walls rendered to match existing.



side elevation (existing)



rear elevation (existing)

external walls- 15mm render to match existing on 100mm concrete blocks, 100mm cavity, 90mm cavity wall 21 celtrix insulation roomins. insulation blockwork, 15mm plastered finish max U value 0.18 W/m²C.
stainless steel wall ties at 450 & 700mm centres.

Electrical - All electrical work to be carried out by a competent person, designed, installed & tested. Certificate of compliance produced on completion to BS 7671 2018 Part B.
All sockets & switches sited between 450 & 1200mm of finished floor level.
All new light fittings to be low energy type.

SD 0 Detectors - All smoke & heat detectors to be mains operated with battery back all units interconnected to BS 5839 part 6 2004.

* Mechanical - cooker hood extraction to kitchen min extraction rate 30 litres/sec, ceiling fans to bathrooms min extractor rate 15 litres/sec linked to light switch with 15min overrun.

Bathroom - 50mm dia pvc waste to bath, showers & kitchen sinks, 38mm dia pvc waste to handbasins all with 75mm deep seal traps to discharge into 100mm dia pvc soil & vent pipe all to BS 5839 Part 6.

Below ground - 100mm dia pvc foul drains enclosed in 150mm pvc shingle min fall 1:40 concrete units over where drains pass through walls all to BS 5839.

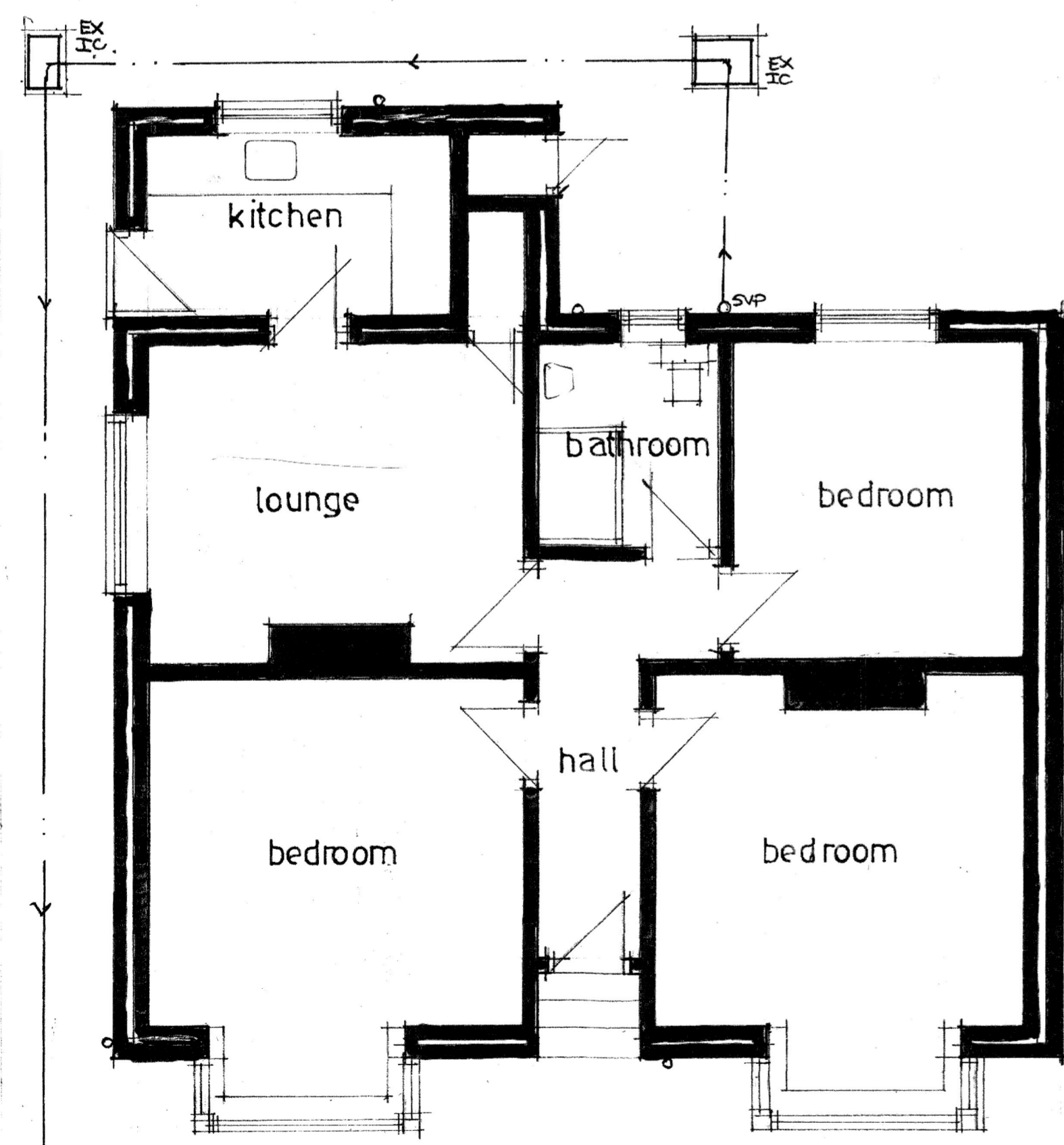
Heating - Gas fired boiler SUDEK rating A existing for supply of space heating & hot water needs, separate zone controls, thermostatic radiator valves, gas certificate provided on completion all to BS 5839.

Stormwater - To discharge into existing stormwater system or 100mm dia pvc stormwater drain to discharge into soakaways min 6m from any buildings, min size of soakaway 1m² subject to pervasion test.

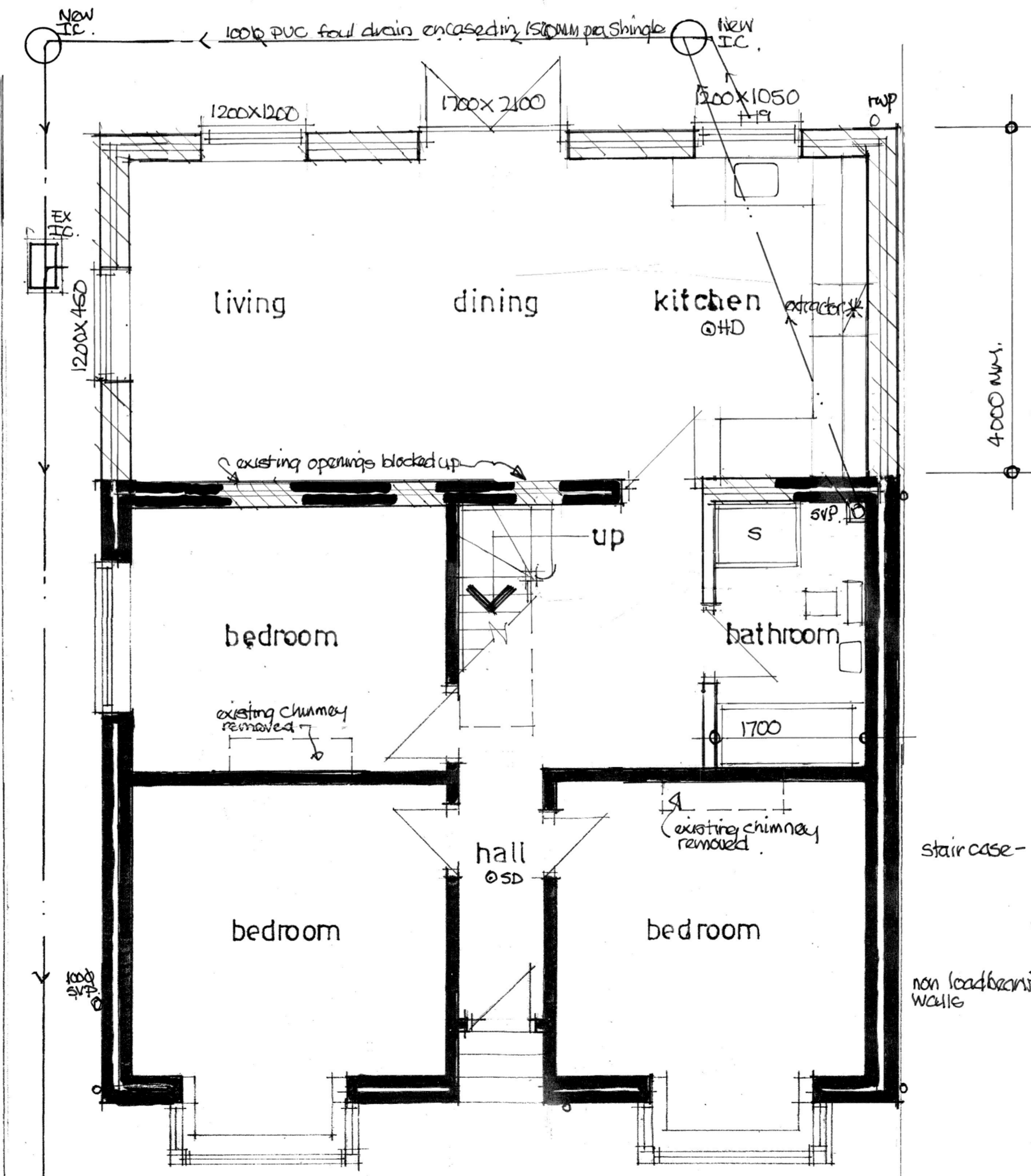
Windows & doors - double glazed windows catnic cougar units cover all openings insulated dpc to jambs, opening lights equal to 120th floor area trickle vent to be set equal to 800mm inhabitable rooms means of escape windows min clear opening size 450 x 750mm, max U value 1.2 W/m²C.

staircase - 13 equal rises of 206mm, 9 equal treads of 225mm, min width of tapered treads 75mm, min clear width of stairs 800mm, min handrail height 900mm, max spacing of balusters 100mm, min clear headroom 2m.

non loadbearing - all non loadbearing walls to be 100x50mm sw studwork @ 400mm c/c, 100mm fireclass insulation, faced both sides with 12mm plasterboard skimo contact.



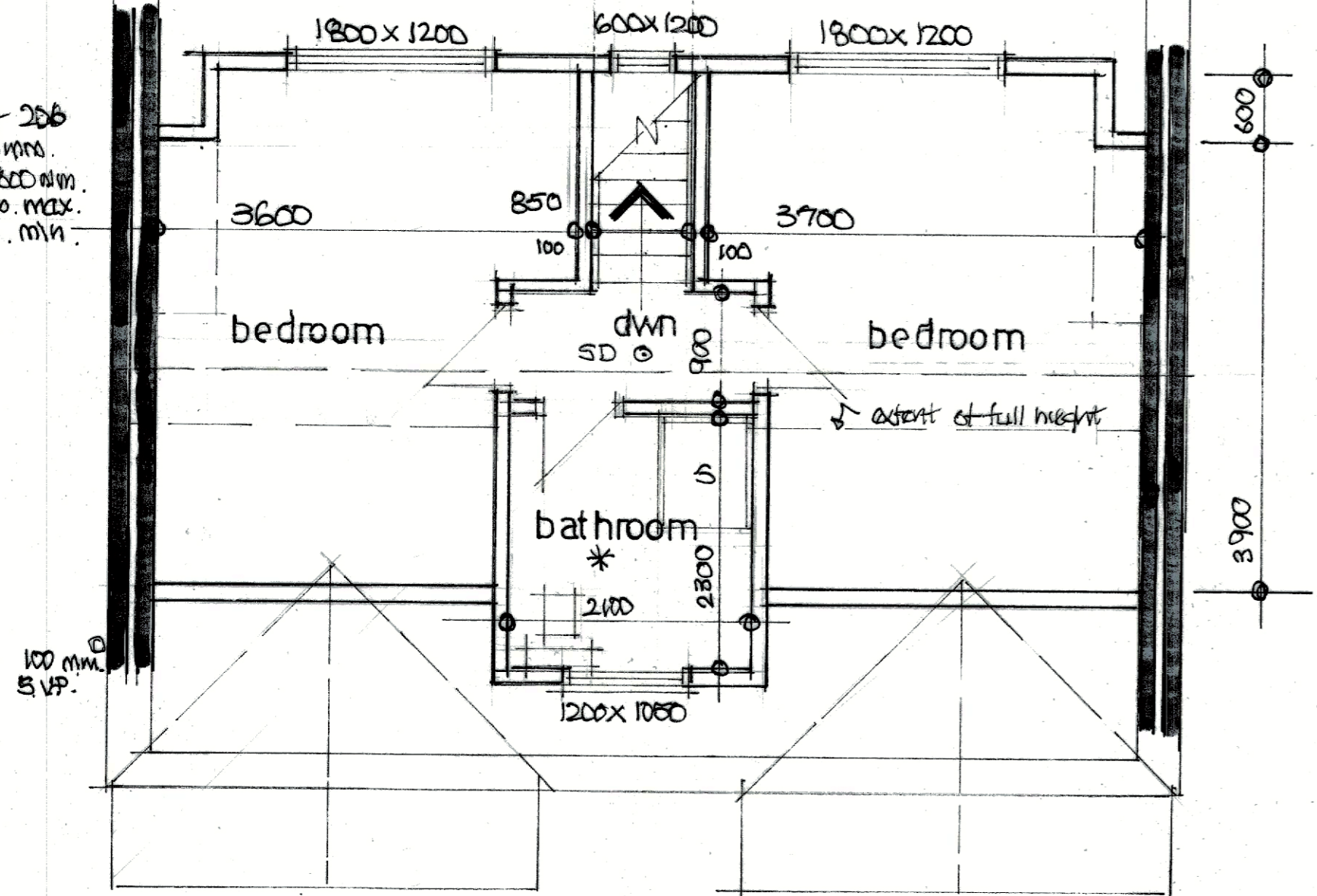
ground floor plan (existing)



ground floor plan

B) Clients Amendments		30-11-23
A) Clients Amendments		29-11-23
Drawing title		
Proposed alterations and extension at 38 Merridale Road, Southampton, Hants. SO19 7AD.		
Scale		
1:50 1:100 @ A1		
Date		October 23.
Drawing by		David Windsor
Drawing no.		MR.01.
		B

Staircase 13 equal risers of 206 mm. 9 equal treads of 226 mm. min clear width of stairs 800 mm. min handrail height 900 mm. max spacing of balusters 100 mm. min clear headroom 2 m.

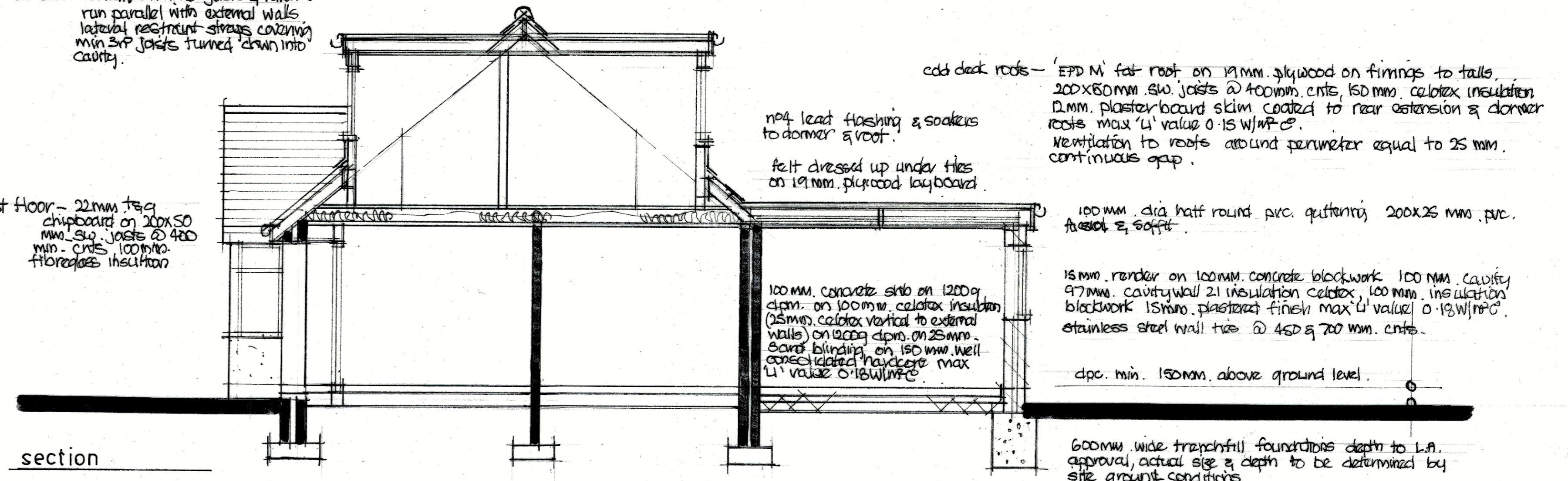


proposed loft plan

domer construction - tiling to match roof on 50x25mm SW battens on breathable roofing felt 19mm OSB boarding on 100x50mm SW studwork @ 400mm c/s 100mm Celotex insulation to stud wall faced with 50mm Celotex 12mm plasterboard skim coated max U value 0.15 W/m²C.

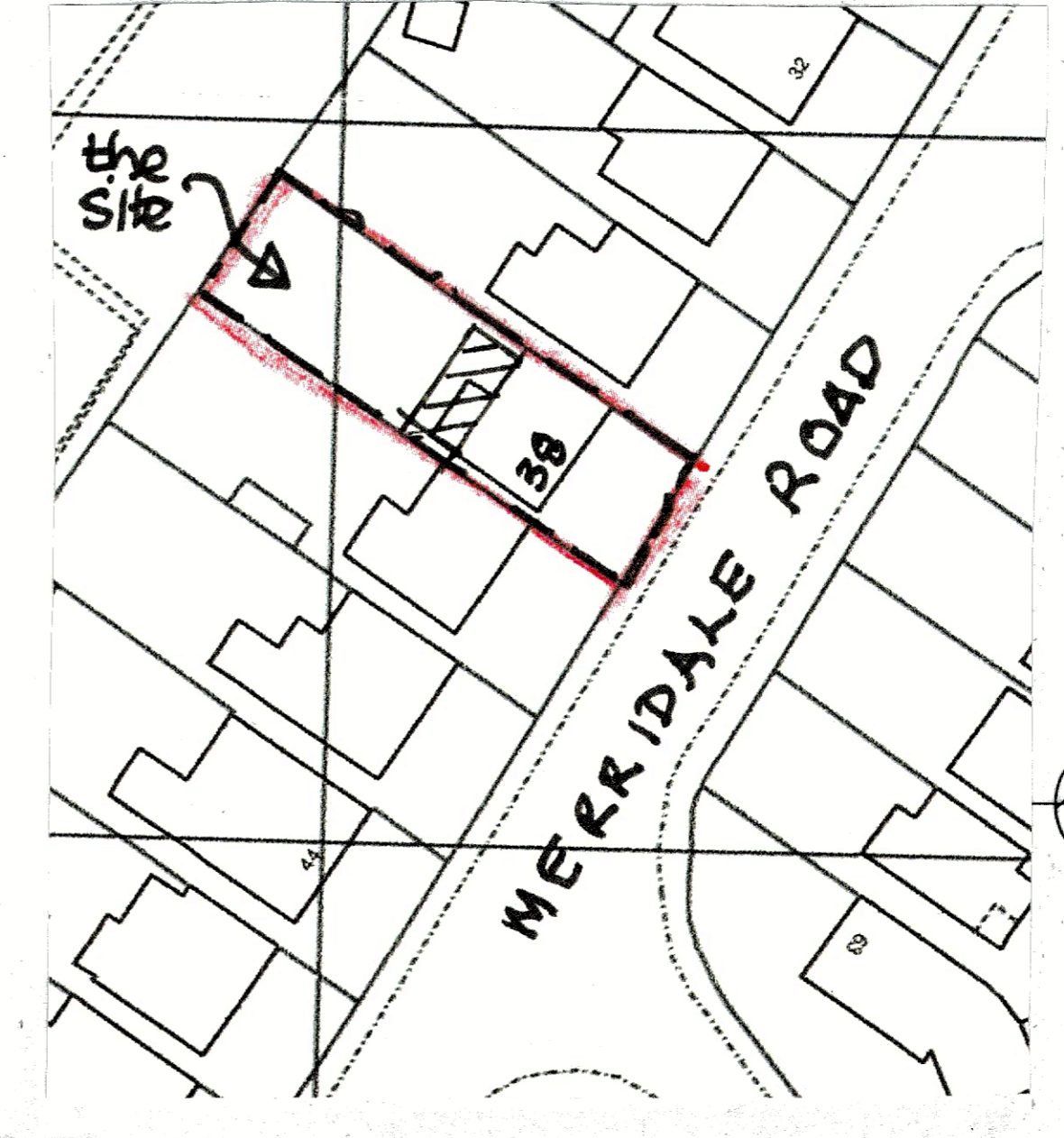
Lateral restraint - where joists & rafters run parallel with external walls lateral restraint studs covering min 3x joists turned down into cavity.

first floor - 22mm ts&g chipboard on 200x50 mm SW joists @ 400 mm c/s 100mm fibreglass insulation

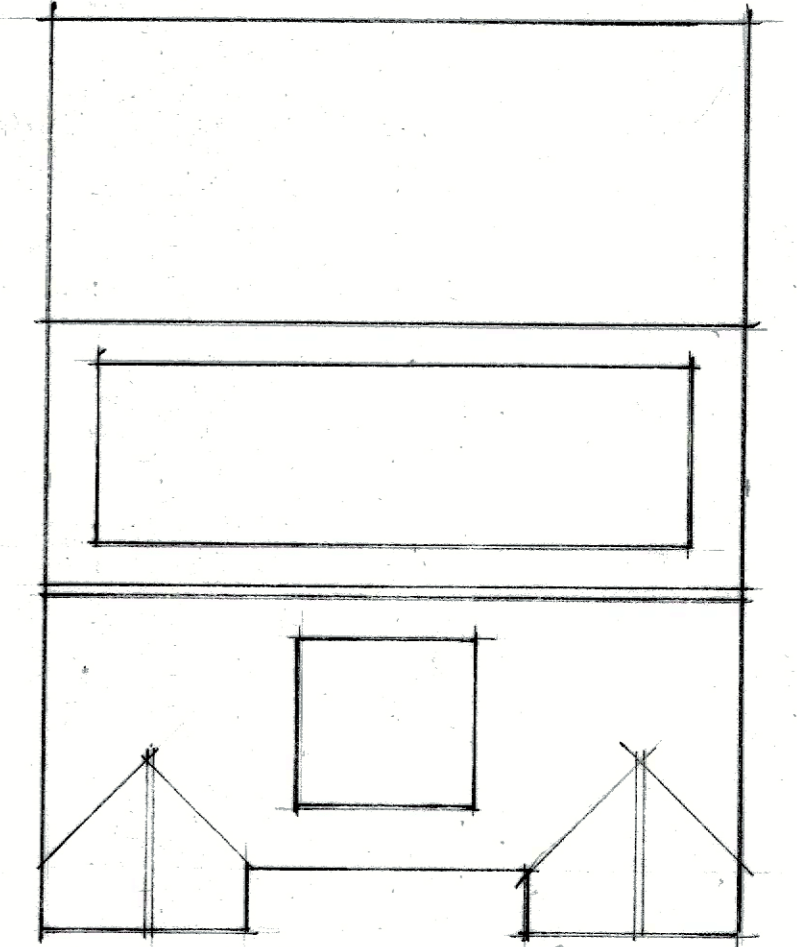


section

- Electrical** - All electrical work to be carried out by a competent person, designed, installed & tested. Certificate of compliance produced on completion to BS 7671 2018 Part 6. All sockets & switches sited between 450 & 1200 mm of finished floor level. All new light fittings to be low energy type.
- SD @ Decks** - All smoke sheet detectors to be mains operated with battery back all units interconnected to BS 5833 part 6.2004
- Mechanical** - cooker hood extraction to kitchen min extraction rate 30 litres/sec, ceiling fans to bathrooms min extraction rate 15 litres/sec linked to light switch with 15 min overrun.
- Bathroom** - 50 mm dia pvc waste to bath, showers & kitchen sinks, 38 mm dia pvc waste to handbasins all with 75 mm deep seal traps to discharge into 100 mm dia pvc soil & vent pipe all to BS 5255 Part 4.
- Below ground drainage** - 100 mm dia pvc foul drains enclosed in 150 mm dia shingle min fall 1:40 concrete lumps over where drains pass through walls all to BS 5255.
- Heating** - Gas fired boiler submersible rating A, existing for supply of space heating & hot water needs, separate zone controls thermostatic radiator valves, gas certificate provided on completion all to BS 5255.
- Stormwater Drainage** - To discharge into existing stormwater system or 100mm dia pvc stormwater drain to discharge into soakaways min 5m from any buildings, min size of soakaway 1m² subject to permeation test.
- Windows & doors** - double glazed windows catnic colour units over all openings insulated dpc to jambs opening lights equal to 120th floor area trickle vent to be equal to 8000mm² habitable rooms means of escape windows min clear opening size 450 x 250mm, max U value 1.2 W/m²C.



site plan 1:500



roof plan

Drawing title	
Proposed alterations and extension, at 38 Merridale Road, Southampton, Hants. SO19 7AD.	
Scale	
1:100, 1:50 @ A1.	
Date	Drawn by
October 23	David Windsor
Drawing n ^o .	Rev.
M.R. 02.	