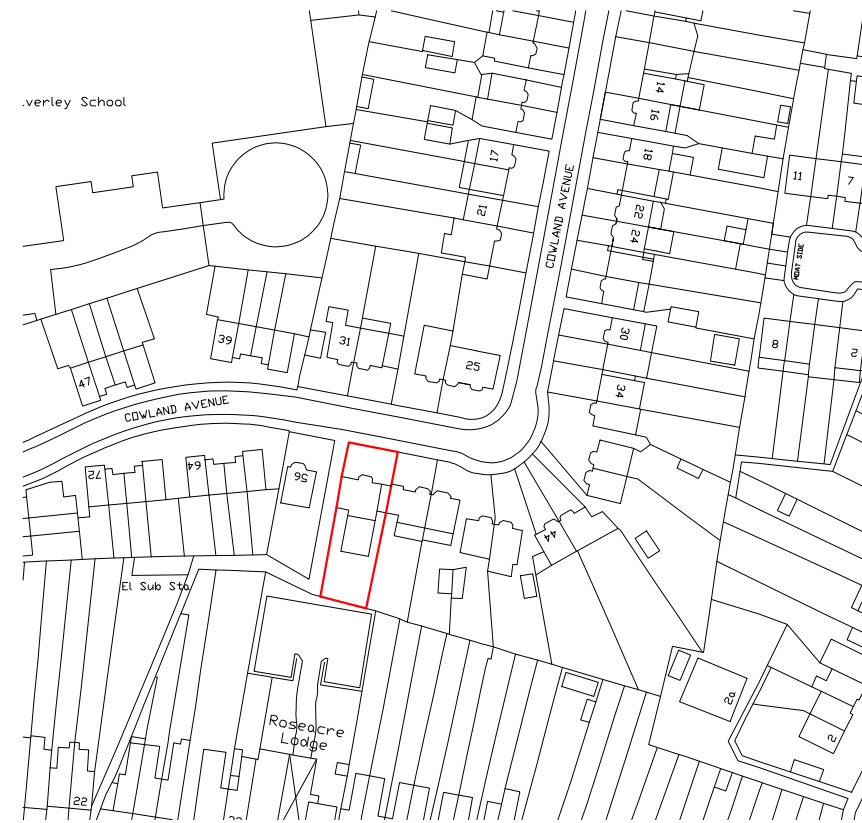
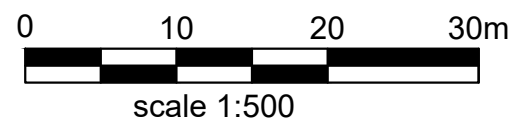
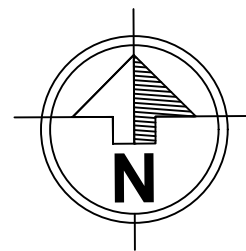
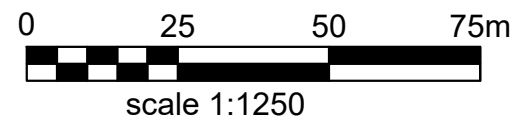


**BLOCK PLAN**  
Scale:1/500



**SITE LOCATION PLAN**  
Scale:1/1250



- Notes
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**PLANNING APPLICATION**



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**Client** Mr Gous Khan  
**Project** 54 Cowland Avenue, EN3 7DX

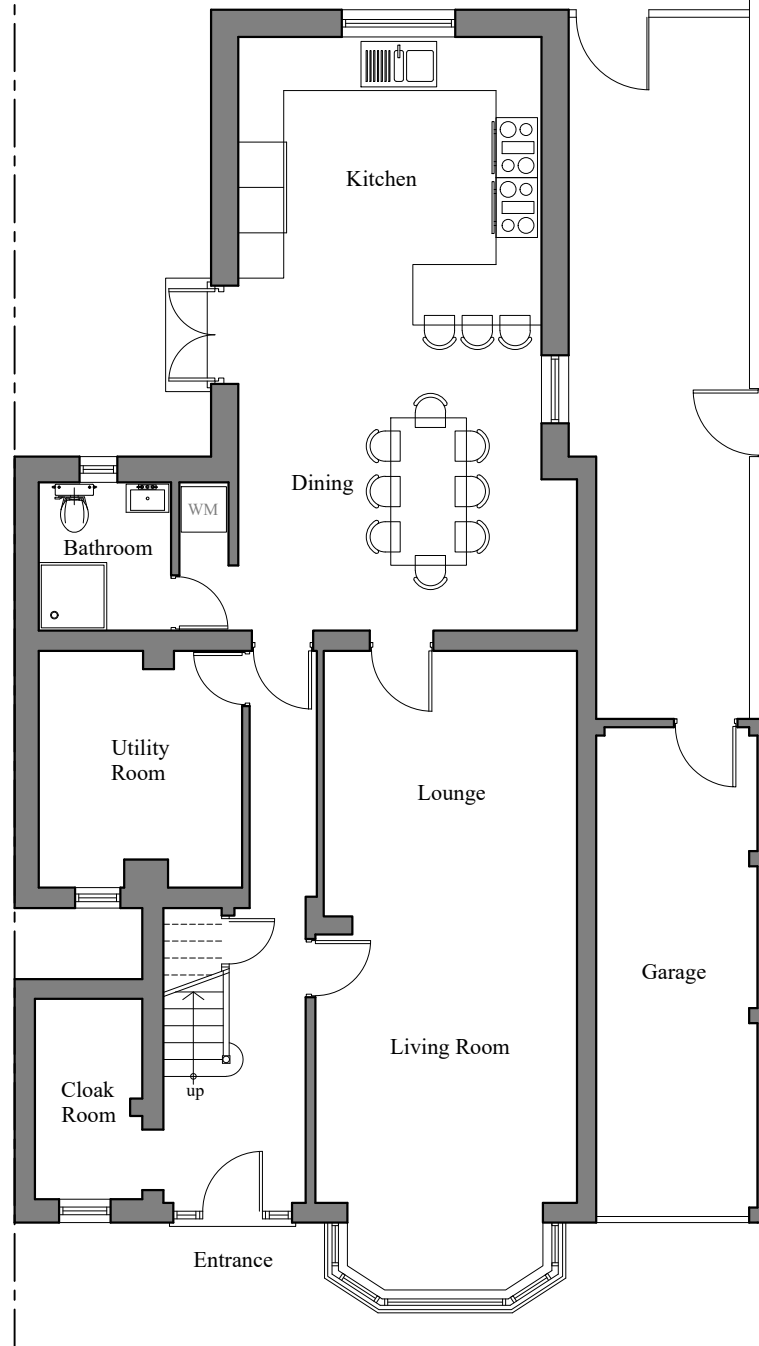
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**Drawn By** RG **Checked By** AEC

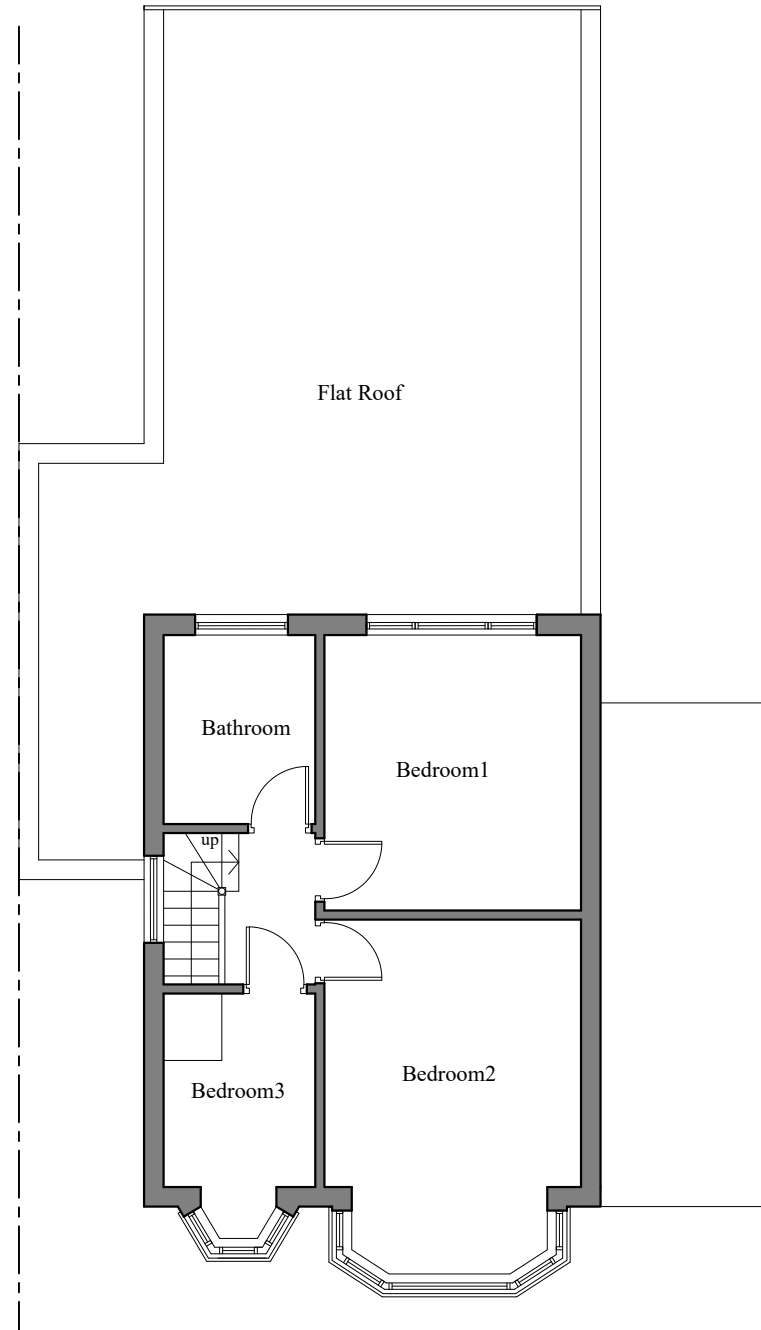
Project No.	Drawing No.	Revision
22066	L100	-

**Drawing title**  
Location and Block Plan

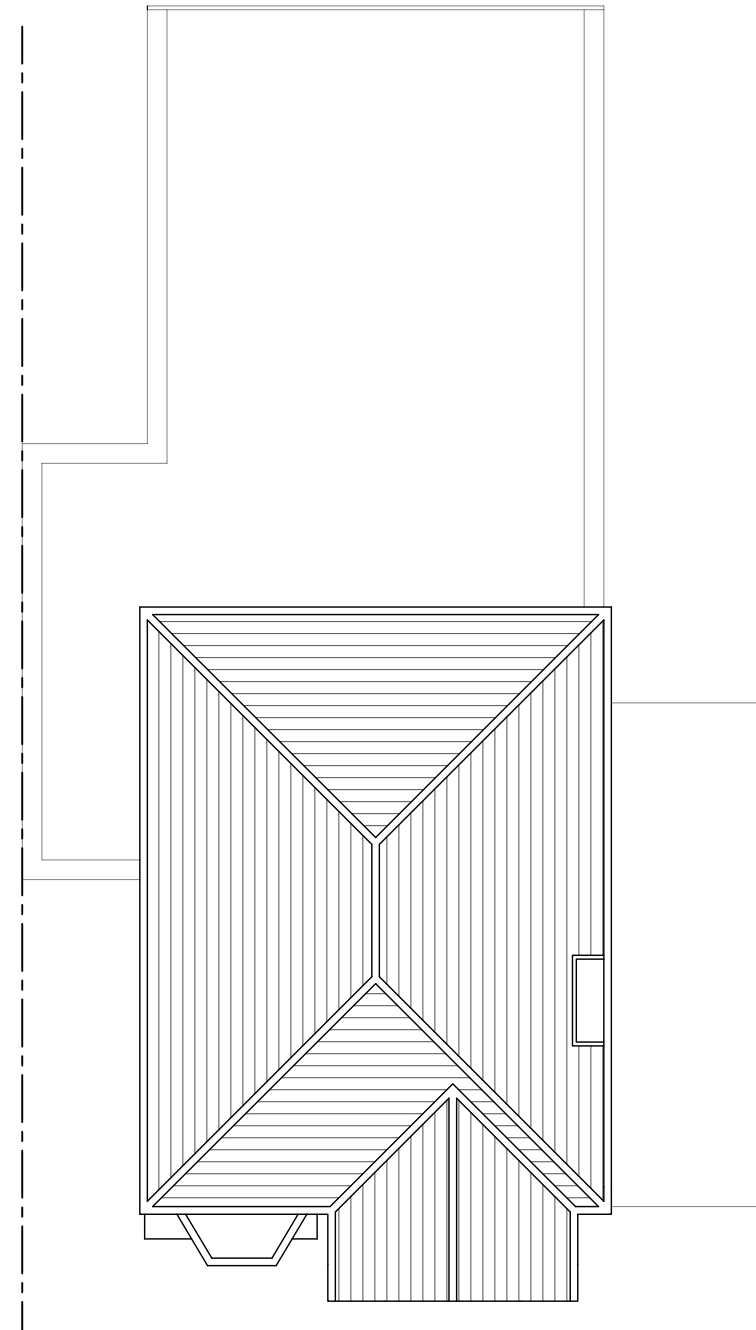
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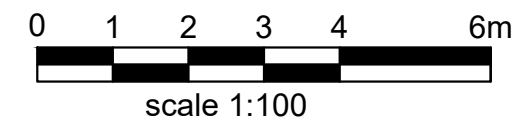
**EXISTING GROUND FLOOR PLAN**  
Scale:1/100



**EXISTING FIRST FLOOR PLAN**  
Scale:1/100



**EXISTING ROOF PLAN**  
Scale:1/100



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Web: www.archpl.co.uk

**Client** Mr Gous Khan  
**Project** 54 Cowland Avenue, EN3 7DX

**Scale** 1/100@A3      **Date** 09/2023

**Drawn By** RG      **Checked By** AEC

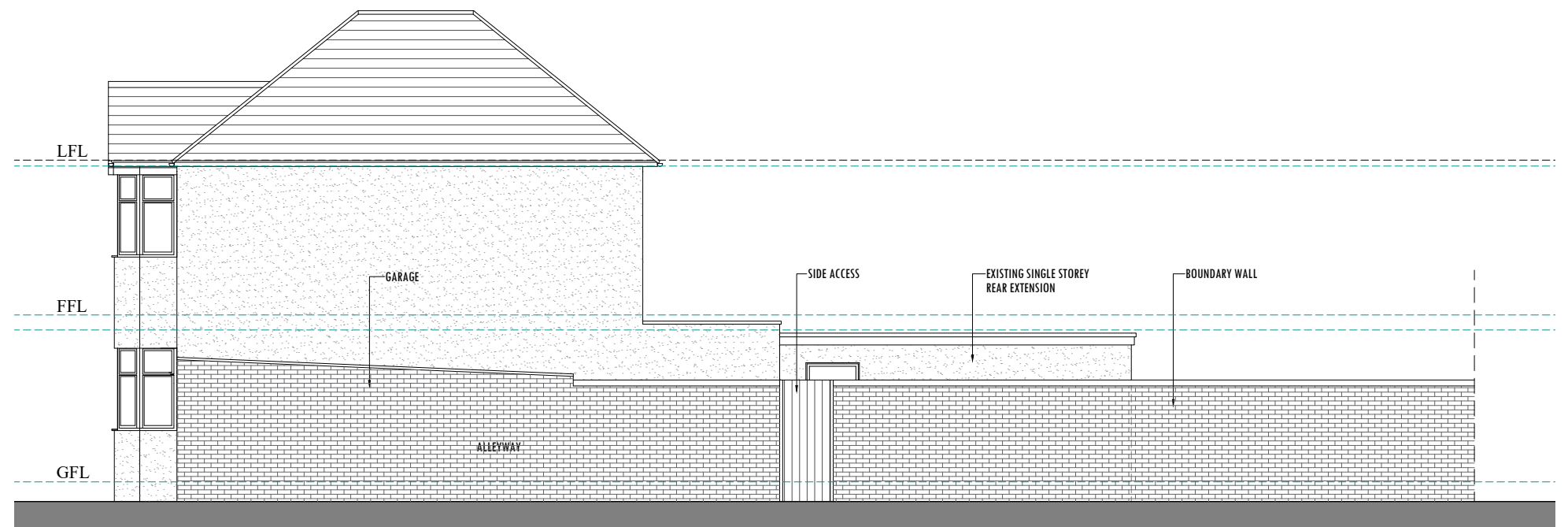
**Project No.** 22066      **Drawing No.** E101      **Revision** -

**Drawing title**  
Existing Plans

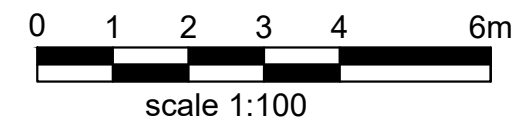
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**EXISTING FRONT ELEVATION**  
Scale:1/100



**EXISTING SIDE ELEVATION - WEST**  
Scale:1/100



Rev.	Date	Revisions

**PLANNING APPLICATION**



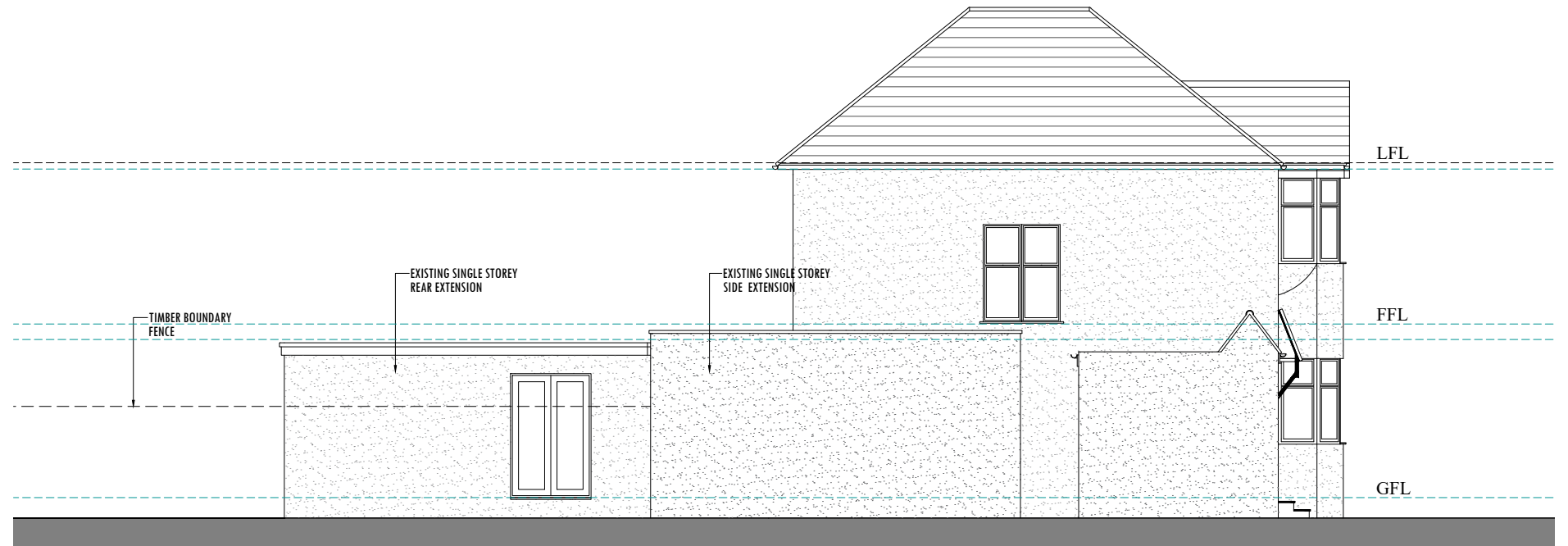
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Tel: 0208 809 2320 - 0784241 0527  
Web: www.archpl.co.uk

<b>Client</b> Mr Gous Khan		
<b>Project</b> 54 Cowland Avenue, EN3 7DX		
<b>Scale</b> 1/100@A3	<b>Date</b> 09/2023	
<b>Drawn By</b> RG	<b>Checked By</b> AEC	
<b>Project No.</b> 22066	<b>Drawing No.</b> E102	<b>Revision</b> -
<b>Drawing title</b> Existing Front and West Elevations		

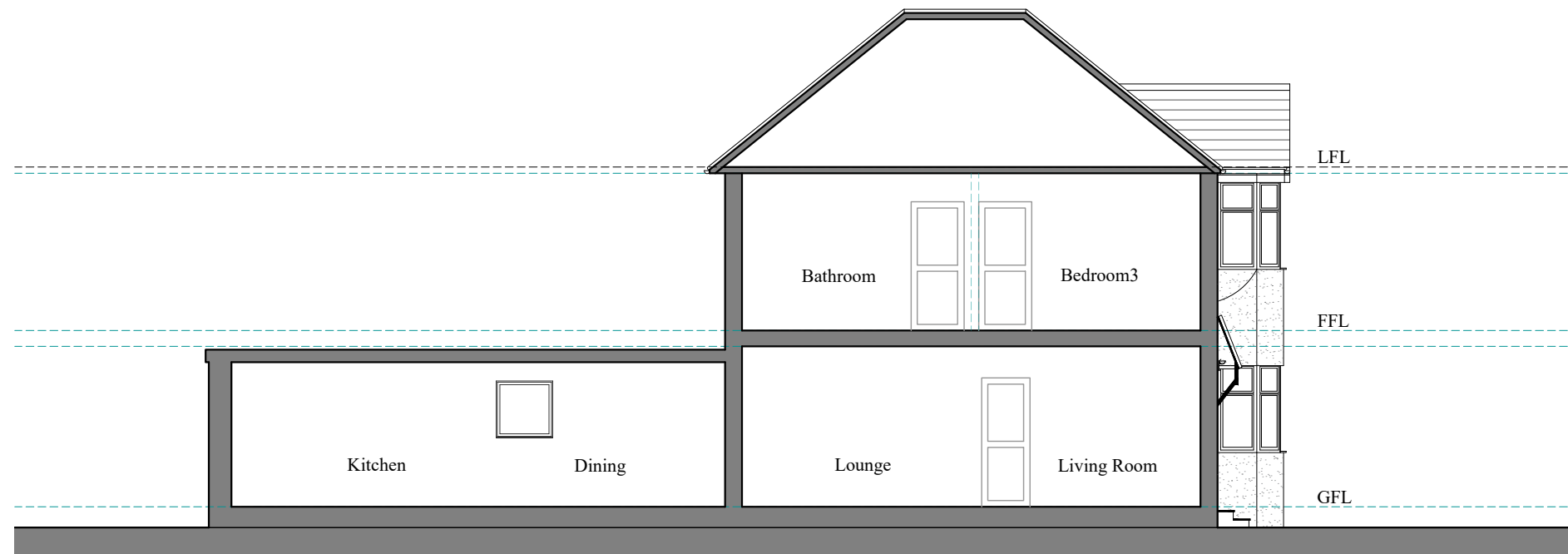
- Notes
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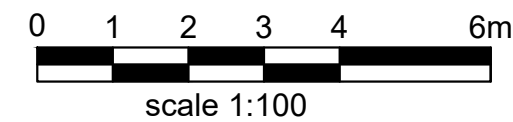
**EXISTING REAR ELEVATION**  
Scale:1/100



**EXISTING SIDE ELEVATION - EAST**  
Scale:1/100



**EXISTING SECTION - EAST**  
Scale:1/100



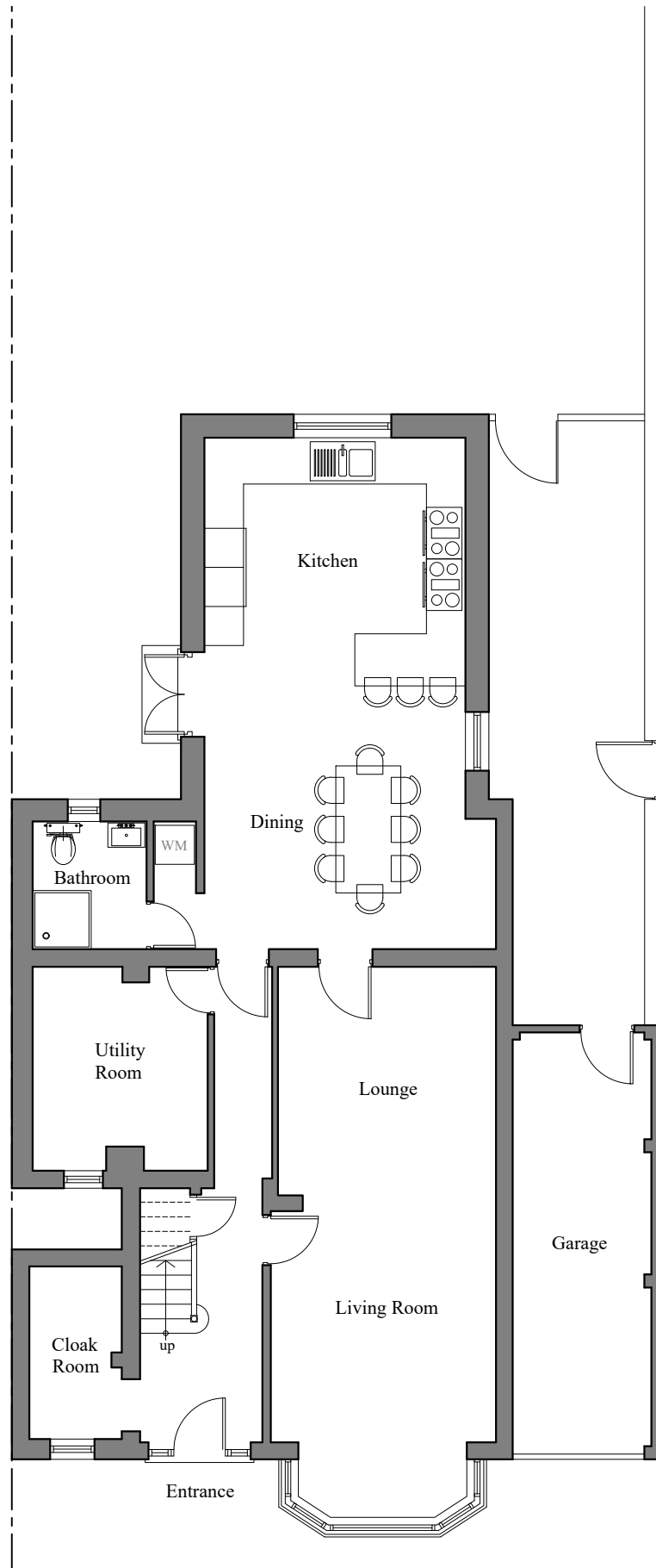
Rev.	Date	Revisions

**PLANNING APPLICATION**

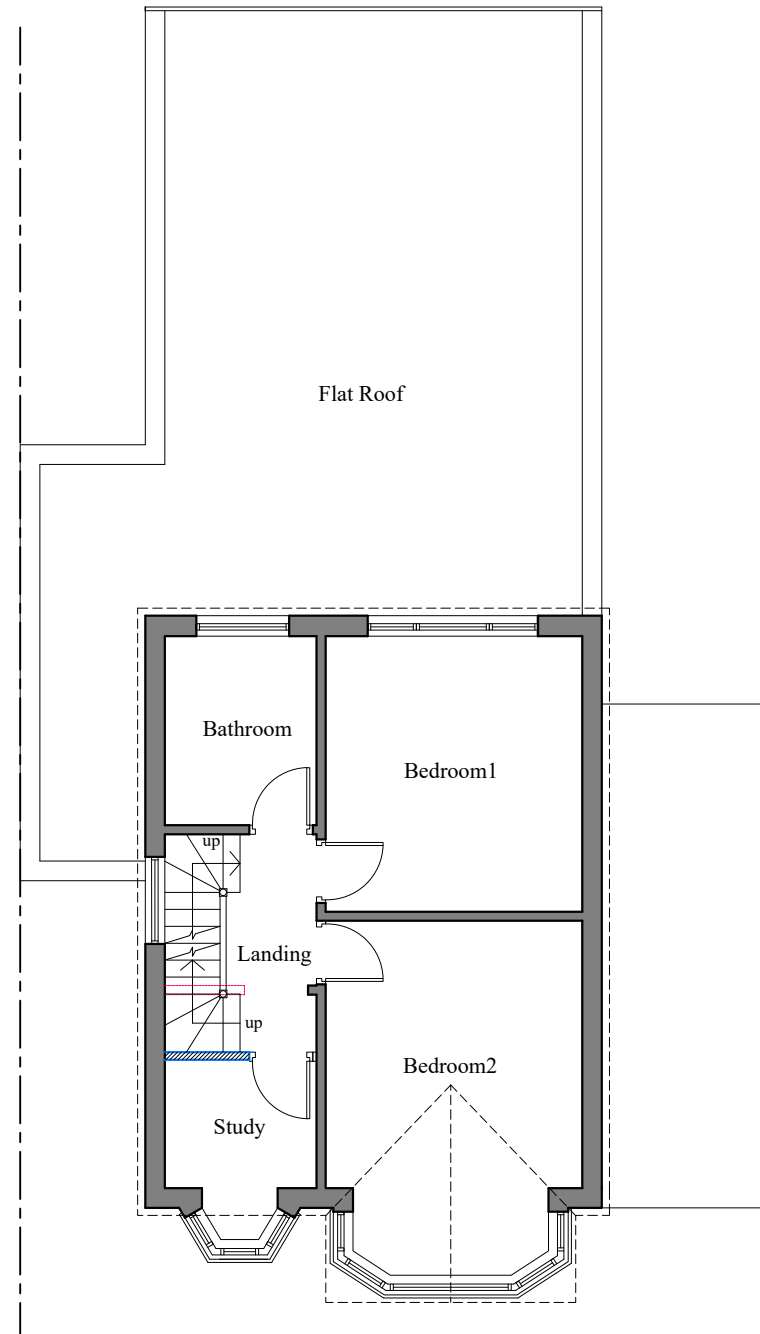
  
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<b>Project</b> 54 Cowland Avenue, EN3 7DX		
<b>Scale</b> 1/100@A3	<b>Date</b> 09/2023	
<b>Drawn By</b> RG	<b>Checked By</b> AEC	
<b>Project No.</b> 22066	<b>Drawing No.</b> E103	<b>Revision</b> -
<b>Drawing title</b> Existing Rear and East Elevations		

- Notes
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**PROPOSED GROUND FLOOR PLAN**  
Scale:1/100



**PROPOSED FIRST FLOOR PLAN**  
Scale:1/100

LEGEND:  

 EXISTING WALLS / CEILINGS  
 PROPOSED WALLS / CEILINGS

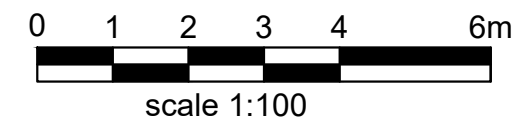
Rev.	Date	Revisions

**PLANNING APPLICATION**

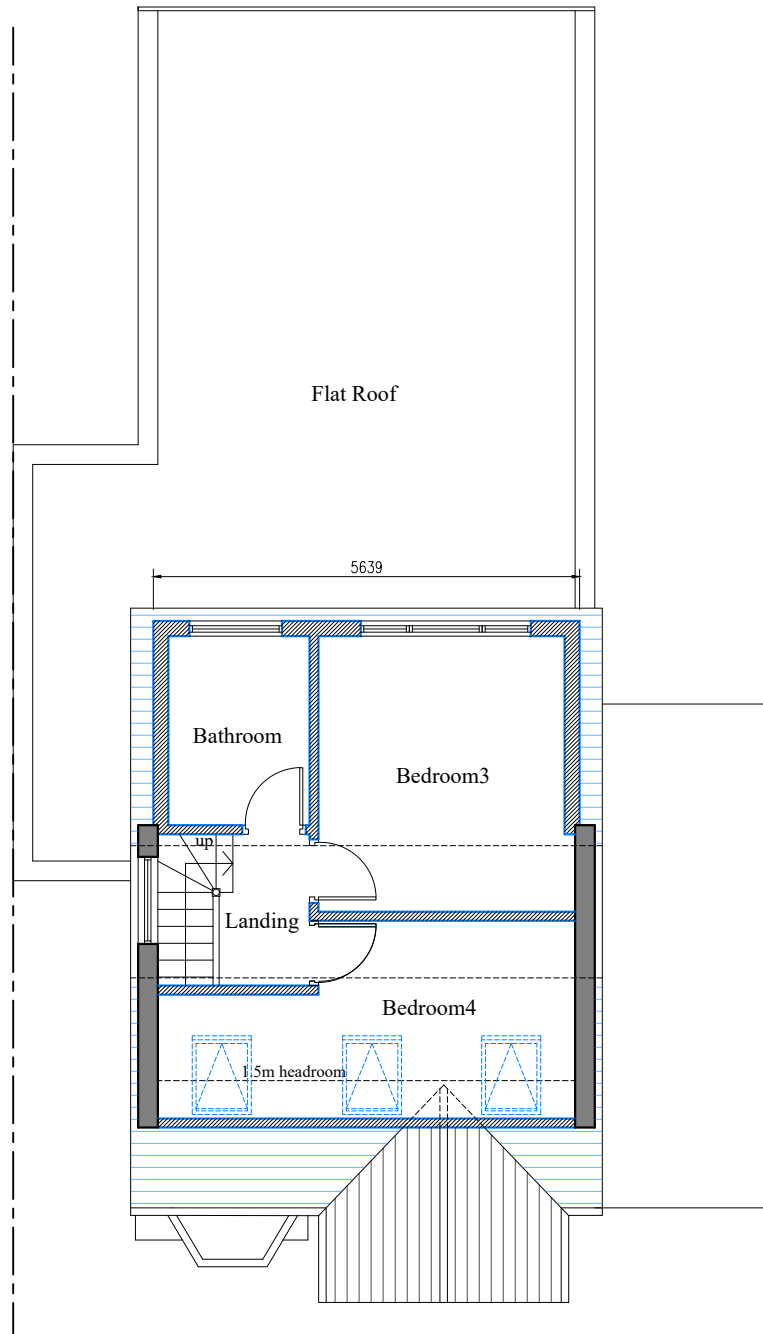


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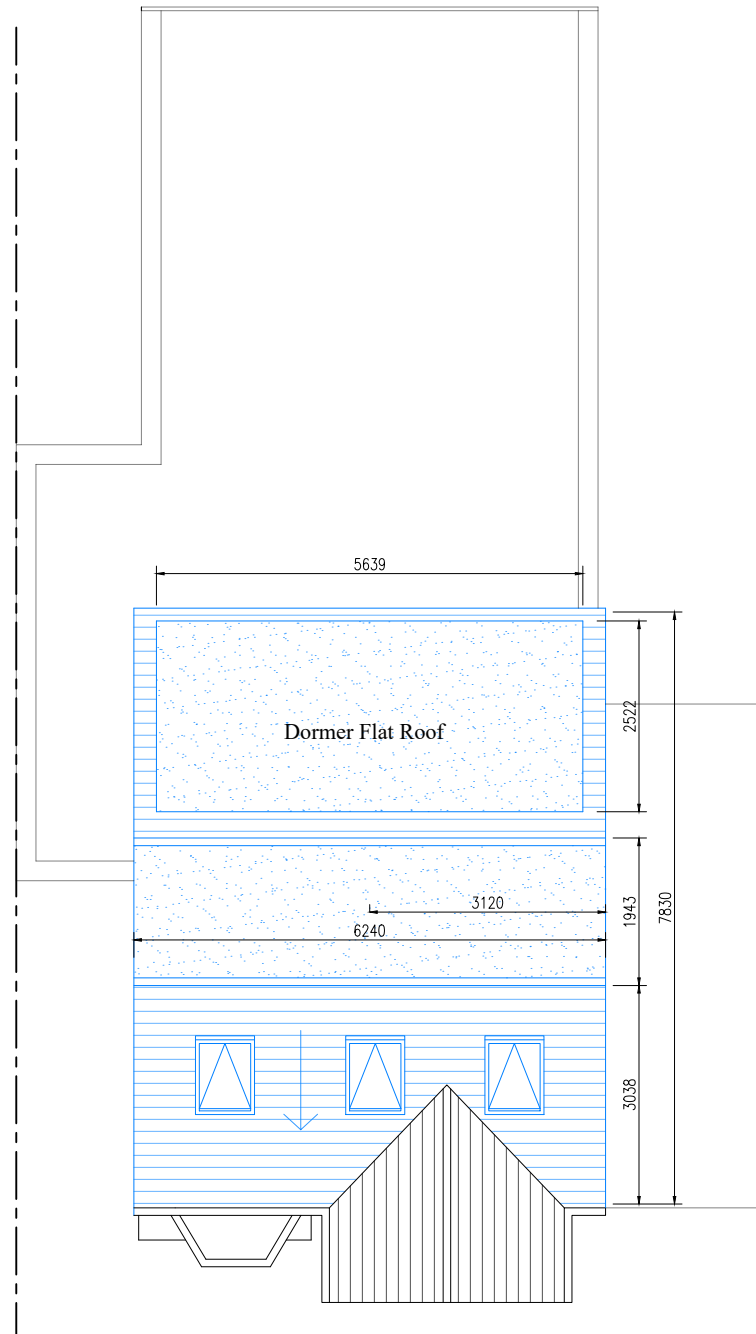
<b>Client</b> Mr Gous Khan		
<b>Project</b> 54 Cowland Avenue, EN3 7DX		
<b>Scale</b> 1/100@A3	<b>Date</b> 09/2023	
<b>Drawn By</b> RG	<b>Checked By</b> AEC	
<b>Project No.</b> 22066	<b>Drawing No.</b> P101	<b>Revision</b> -
<b>Drawing title</b> Proposed Plans -1		



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**PROPOSED LOFT PLAN**  
Scale:1/100



**PROPOSED ROOF PLAN**  
Scale:1/100

**NOTES**

**NO DEMOLITION IS INVOLVED OF THE EXISTING ROOF.**

**THE ROOF (RIDGE) HEIGHT WILL REMAIN AS EXISTING WITH ONLY GABLE END ADDITIONS.**

- LEGEND:
- EXISTING WALLS / CEILINGS
  - PROPOSED WALLS / CEILINGS

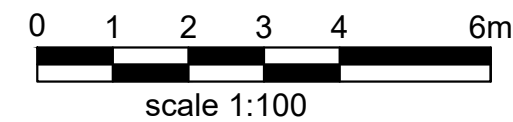
Rev.	Date	Revisions

**PLANNING APPLICATION**



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<b>Project</b> 54 Cowland Avenue, EN3 7DX		
<b>Scale</b> 1/100@A3	<b>Date</b> 09/2023	
<b>Drawn By</b> RG	<b>Checked By</b> AEC	
<b>Project No.</b> 22066	<b>Drawing No.</b> P102	<b>Revision</b> -
<b>Drawing title</b> Proposed Plans -2		

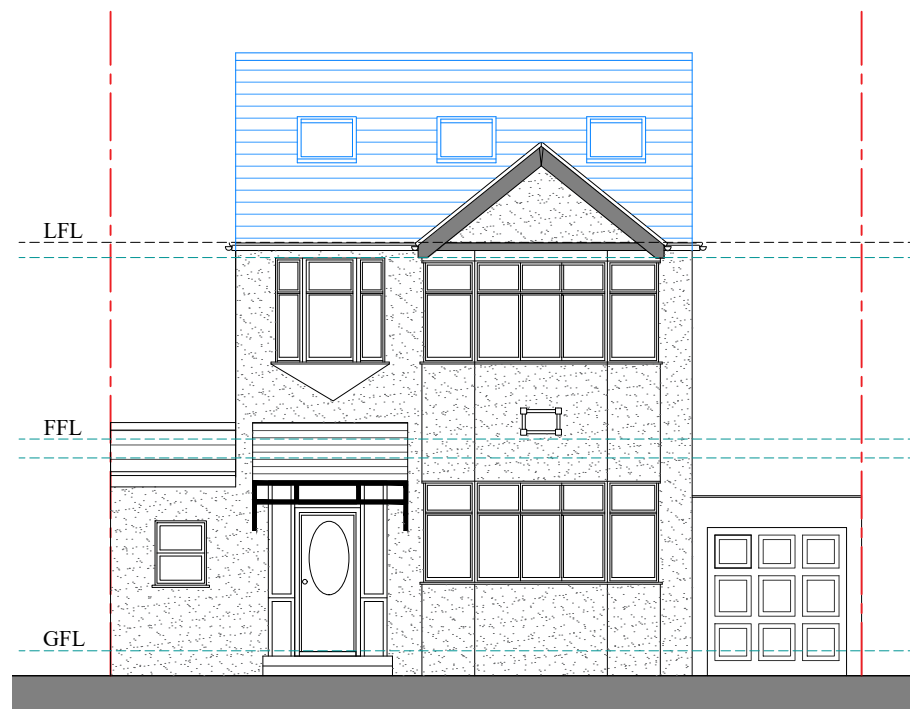


**NOTES**

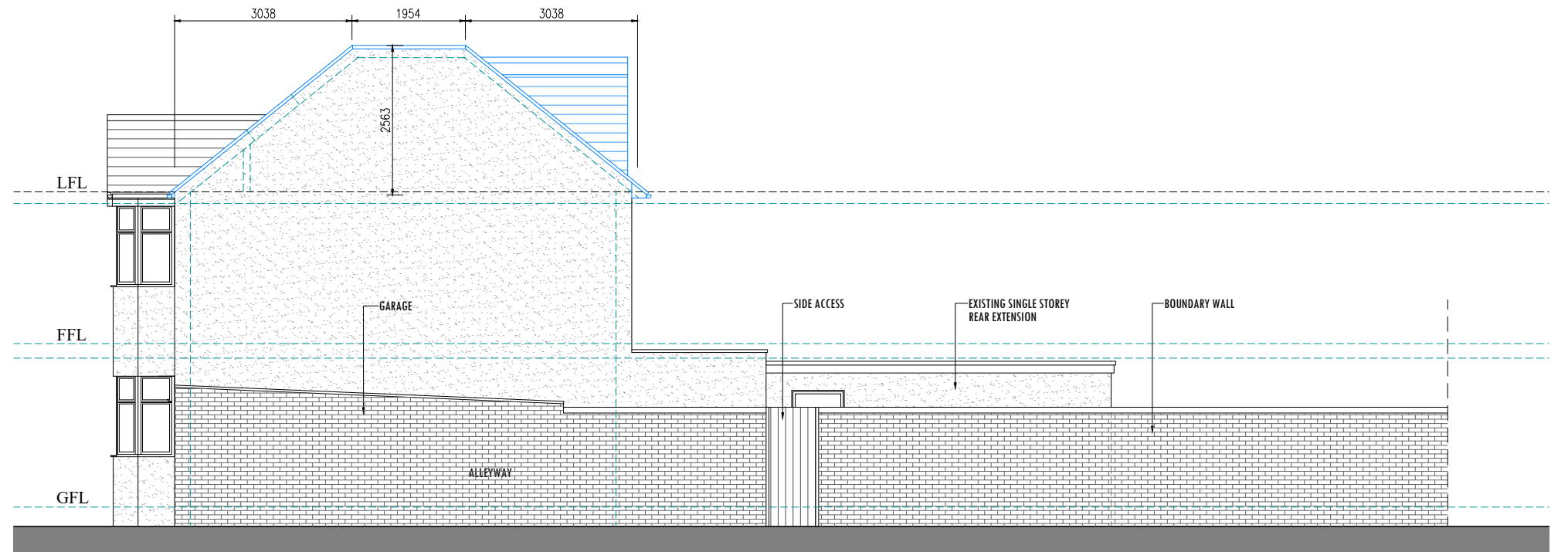
NO DEMOLITION IS INVOLVED OF THE EXISTING ROOF.

THE ROOF (RIDGE) HEIGHT WILL REMAIN AS EXISTING WITH ONLY GABLE END ADDITIONS.

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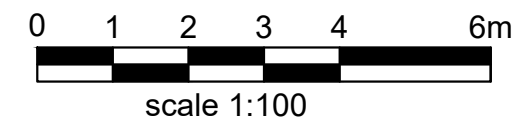
**PROPOSED FRONT ELEVATION**  
Scale:1/100



**PROPOSED SIDE ELEVATION - WEST**  
Scale:1/100

**LEGEND:**  

 EXISTING WALLS / CEILINGS  
 PROPOSED WALLS / CEILINGS



Rev.	Date	Revisions

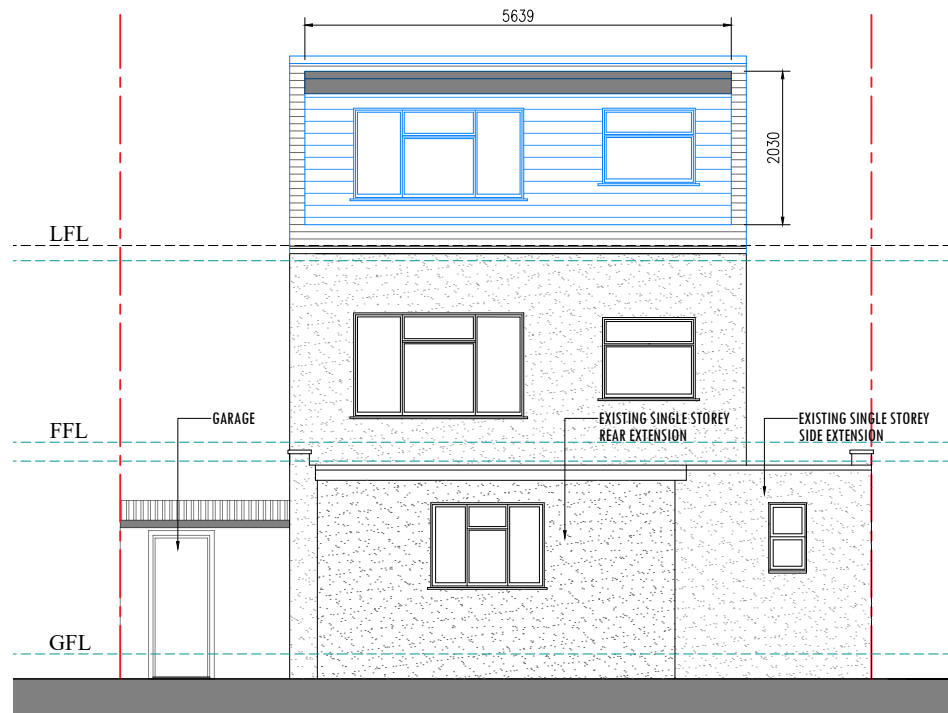
**PLANNING APPLICATION**



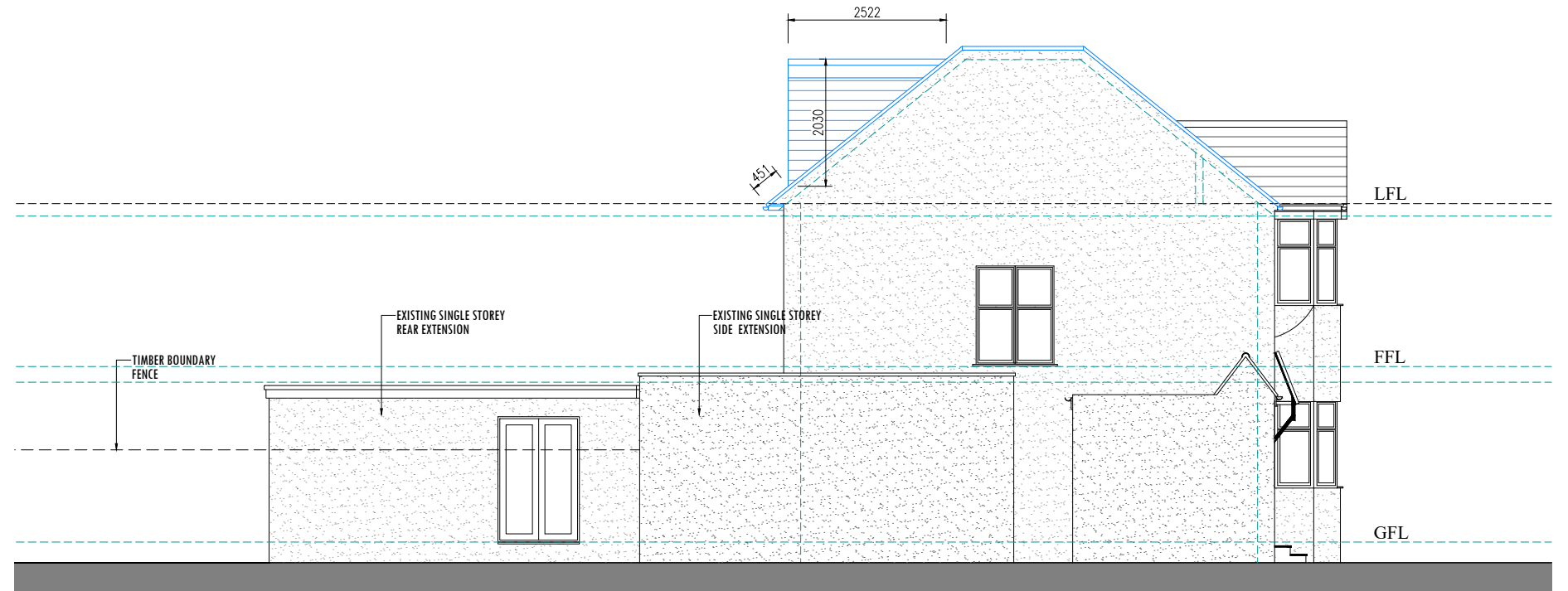
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<b>Project</b> 54 Cowland Avenue, EN3 7DX		
<b>Scale</b> 1/100@A3	<b>Date</b> 09/2023	
<b>Drawn By</b> RG	<b>Checked By</b> AEC	
<b>Project No.</b> 22066	<b>Drawing No.</b> P103	<b>Revision</b> -
<b>Drawing title</b> Proposed Front and West Elevations		

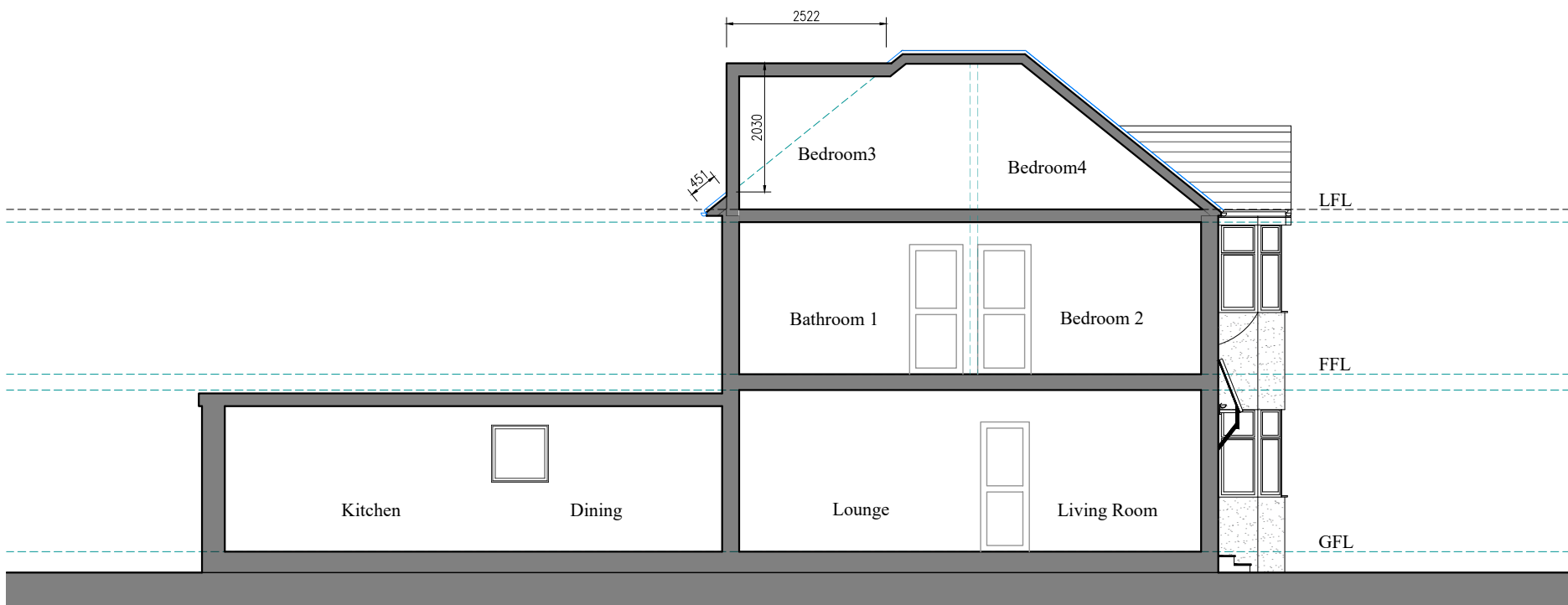
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**PROPOSED REAR ELEVATION**  
Scale:1/100



**PROPOSED SIDE ELEVATION - EAST**  
Scale:1/100



**PROPOSED SECTION - EAST**  
Scale:1/100

**NOTES**

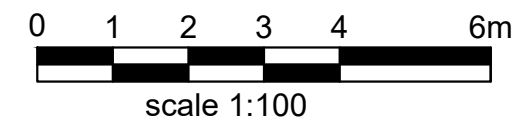
NO DEMOLITION IS INVOLVED OF THE EXISTING ROOF.

THE ROOF (RIDGE) HEIGHT WILL REMAIN AS EXISTING WITH ONLY GABLE END ADDITIONS.

**LEGEND:**

EXISTING WALLS / CEILINGS

PROPOSED WALLS / CEILINGS



Rev.	Date	Revisions

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**Project** 54 Cowland Avenue, EN3 7DX

<b>Scale</b> 1/100@A3	<b>Date</b> 09/2023
<b>Drawn By</b> RG	<b>Checked By</b> AEC

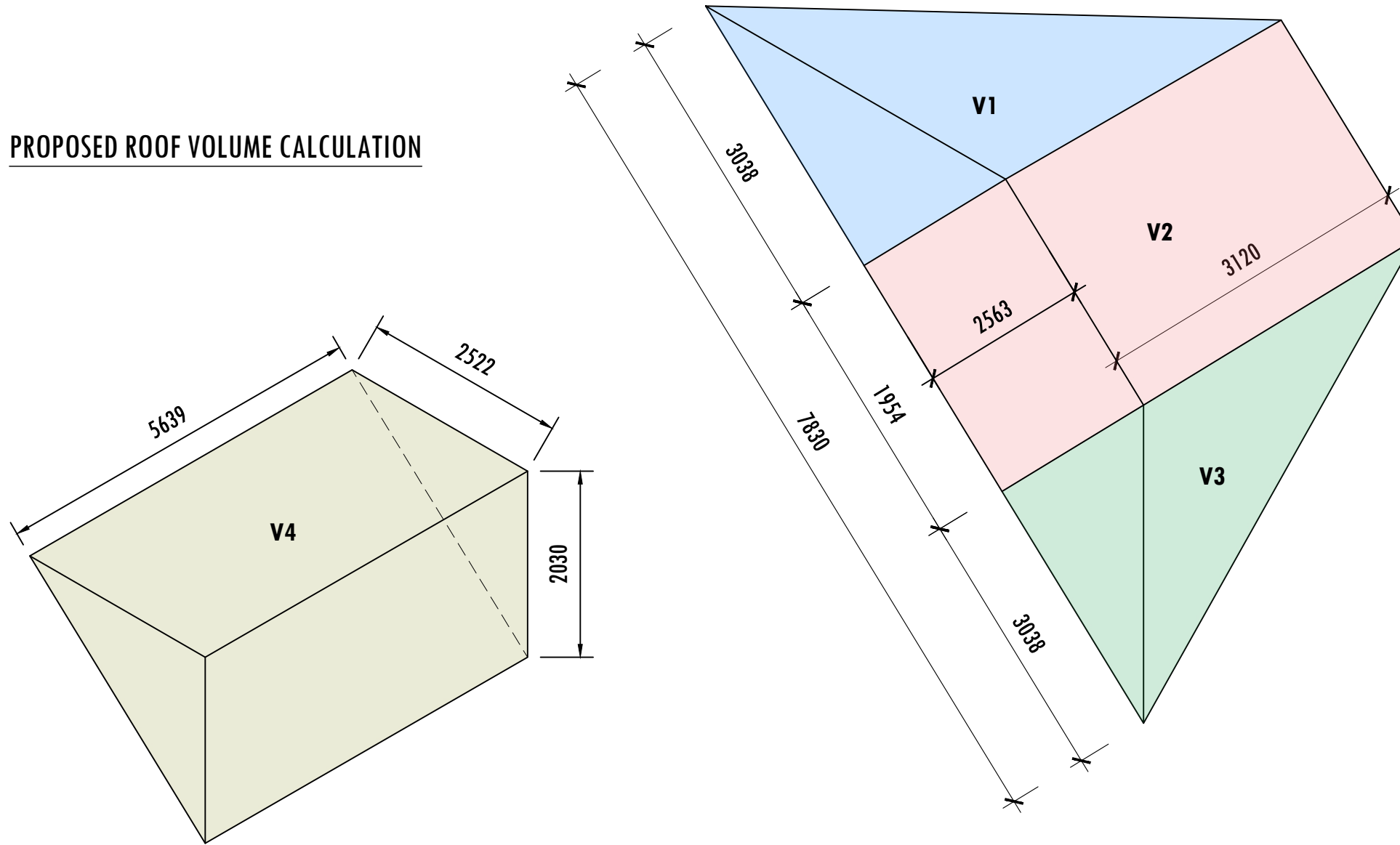
<b>Project No.</b> 22066	<b>Drawing No.</b> P104	<b>Revision</b> -
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**Drawing title**  
Proposed Rear and East Elevations



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**PROPOSED ROOF VOLUME CALCULATION**



**NOTES**

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**REAR DORMER EXTENSION - VOLUME CALCULATION**

**VOLUME V4** =  $\frac{1}{2} \times (5.639 \times 2.030 \times 2.522) = \underline{14.43m^3}$

**GABLE END ROOF EXTENSION - VOLUME CALCULATION**

**VOLUME V1** =  $\frac{1}{6} \times (3.038 \times 2.563 \times 3.120) = 4.04m^3$

**VOLUME V2** =  $\frac{1}{2} \times (1.954 \times 2.563 \times 3.120) = 7.81m^3$

**VOLUME V3** =  $\frac{1}{6} \times (3.038 \times 2.563 \times 3.120) = 4.04m^3$

**VOLUME V1+V2 +V3** =  $4.04m^3+7.81m^3+4.04 = \underline{15.89m^3}$

**2 x VOLUME V1+V2 +V3** =  $8.08m^3+15.62m^3+8.08 = \underline{31.78m^3}$

**TOTAL ROOF VOLUME CALCULATION**

**VOLUME V1+ 2 x [V2+V3+V4]** =  $\underline{46.21m^3} < 50.00m^3$

Rev.	Date	Revisions

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**Project** 54 Cowland Avenue, EN3 7DX

**Scale** NTS@A3      **Date** 09/2023

**Drawn By** RG      **Checked By** AEC

**Project No.** 22066      **Drawing No.** P105      **Revision** -

**Drawing title**  
Proposed Roof Volume Calculation