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P/O Morgan Engineering Consultants Ltd
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Our Ref: 2310-18-A-HS
Your Ref: 23/03137/LBC

01st December 2023

Planning Department
The Royal Borough of Kingston Upon Thames Council
Guildhall 2,
High Street,
Kingston Upon Thames
Surrey
KT1 1EU

Dear Sir or Madam,

Heritage Statement listed building consent application

For

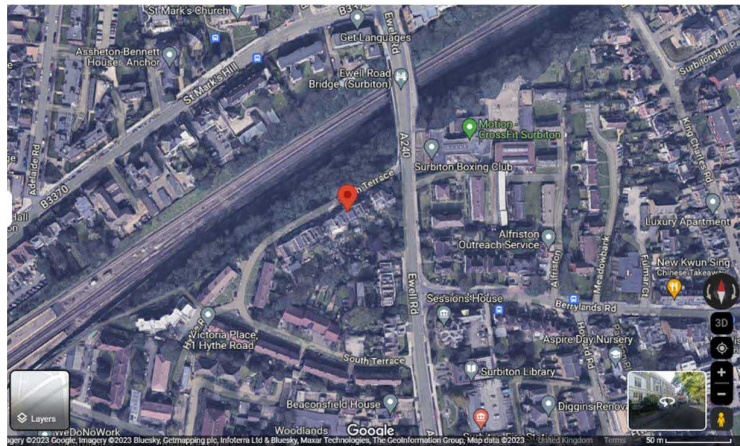
3 South Terrace, Surbiton, Surrey KT6 6HT

Overview

Works are proposed to the above property in the form of restoration, repair and replacing on a like-for-like basis for elements to bring back original character into this period property; as well as refurbishing and modernising for a single family to reside within. The property was in a state of disrepair and many areas were structurally unsound due to rot/water ingress. This heritage statement will outline the proposals and methods in which the repair and restoration will be set out.

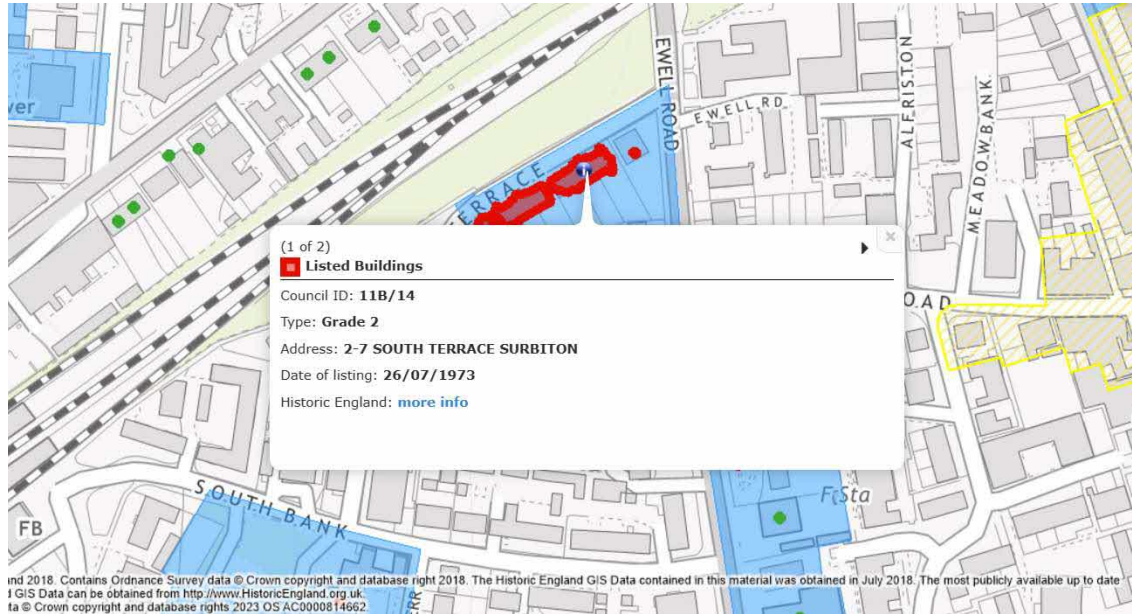
Location

The property is situated at
No. 3 South Terrace,
Surbiton,
Surrey
KT6 6HT.



Property

The existing property is a Grade II listed mid-terraced townhouse, constructed in 1847.



Existing Front Elevation

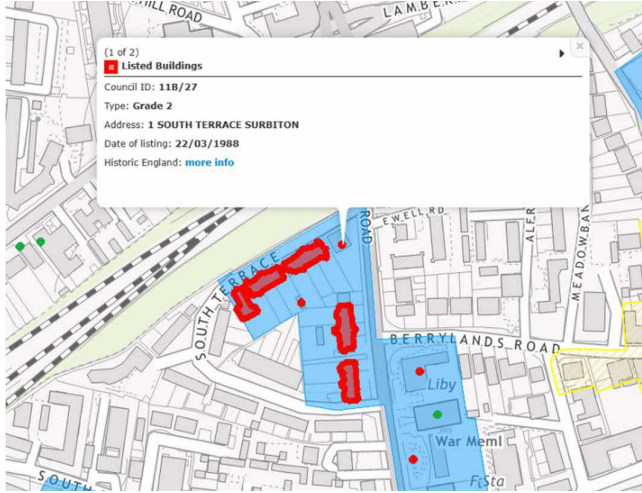


Existing Rear Elevation

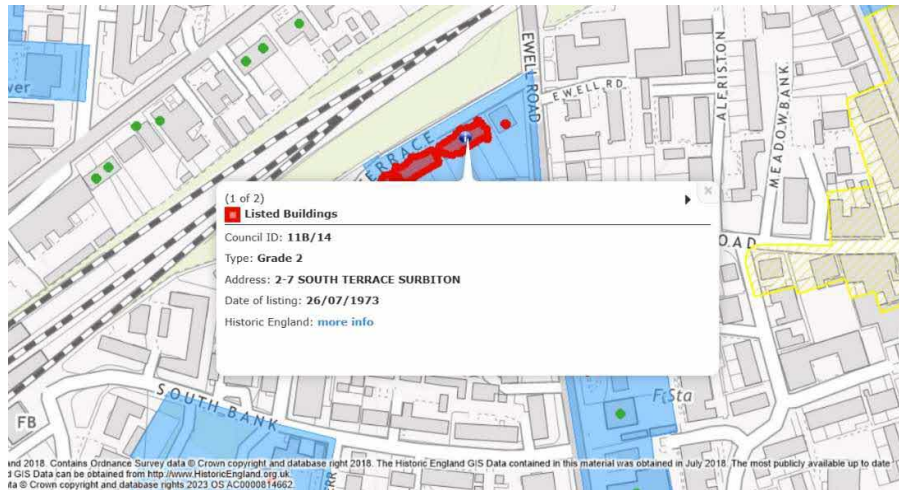


Neighbouring Heritage Assets

No.1 South Terrace, Surbiton



No.s 2-7 South Terrace, Surbiton



No.2 South Terrace, Surbiton



No.4 South Terrace, Surbiton



No.5 South Terrace, Surbiton



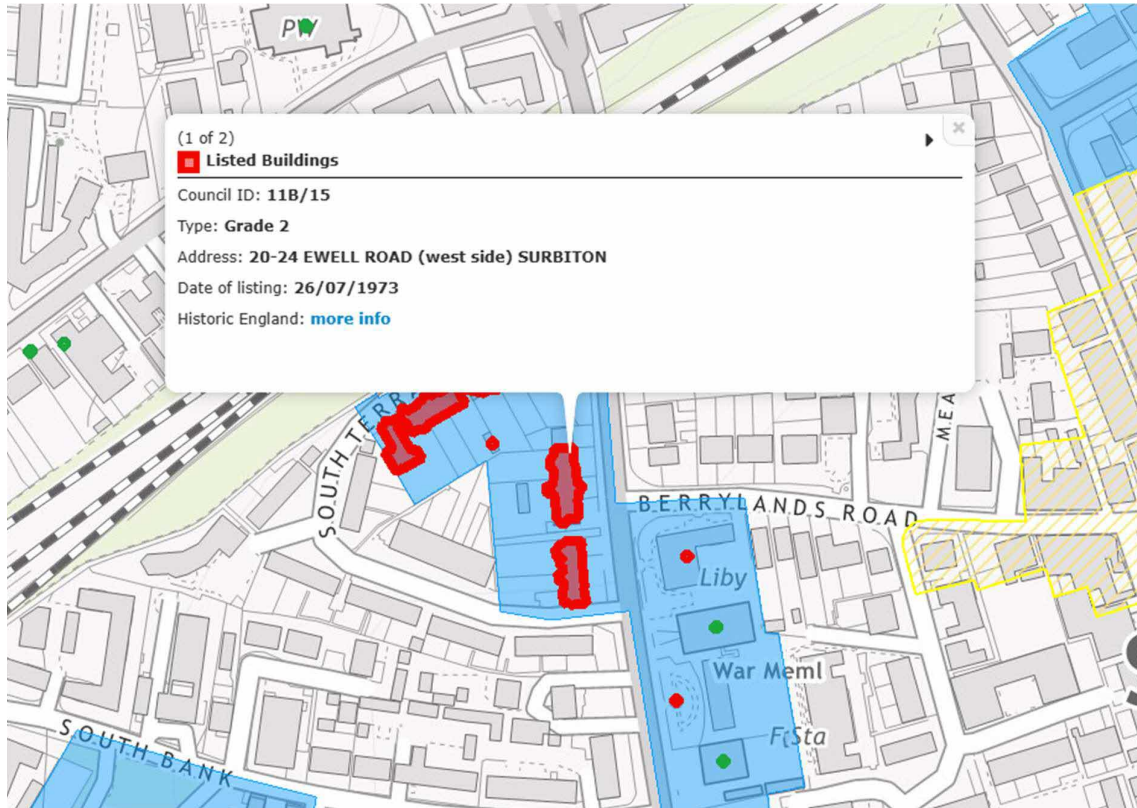
No.6 South Terrace, Surbiton (flats)



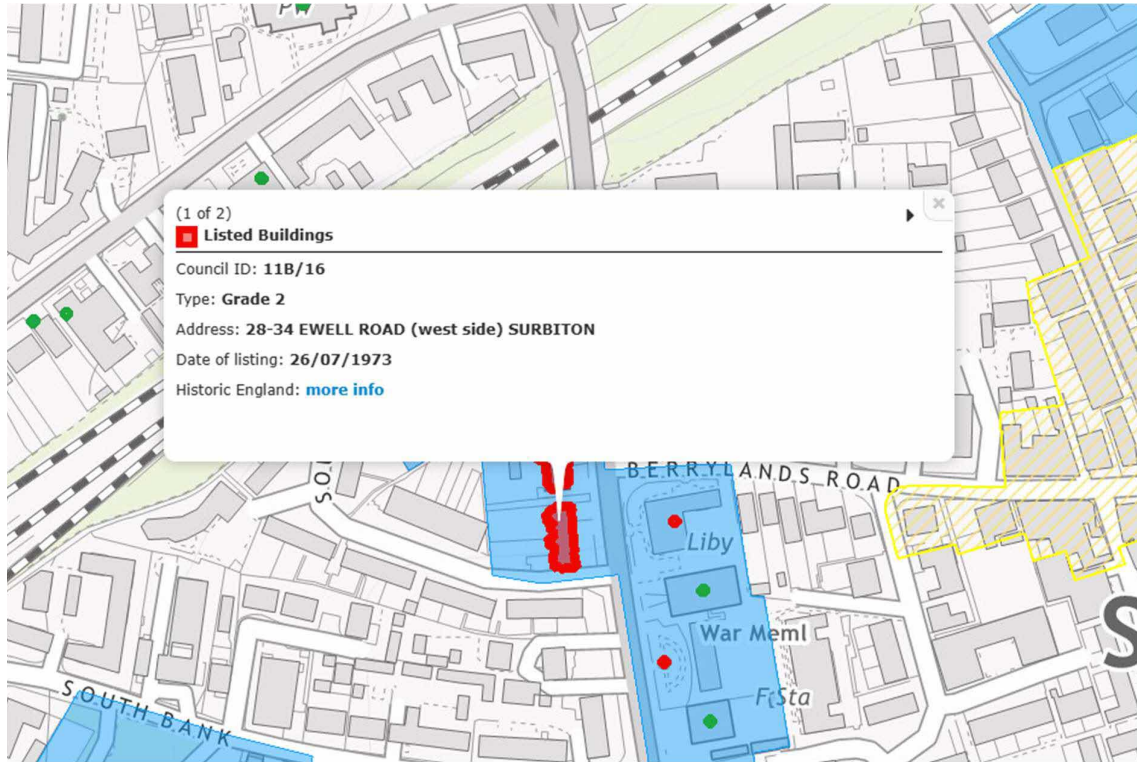
No.7 South Terrace, Surbiton (flats)



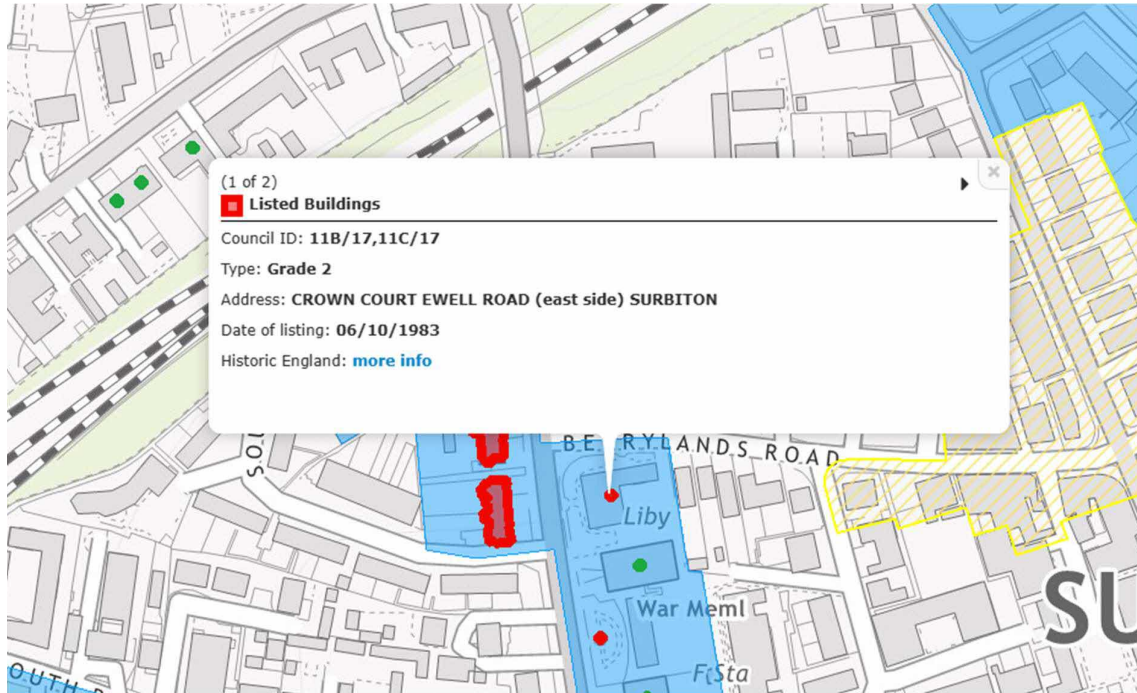
No.s 20-24 Ewell Road, Surbiton



No.s 28-34 Ewell Road, Surbiton

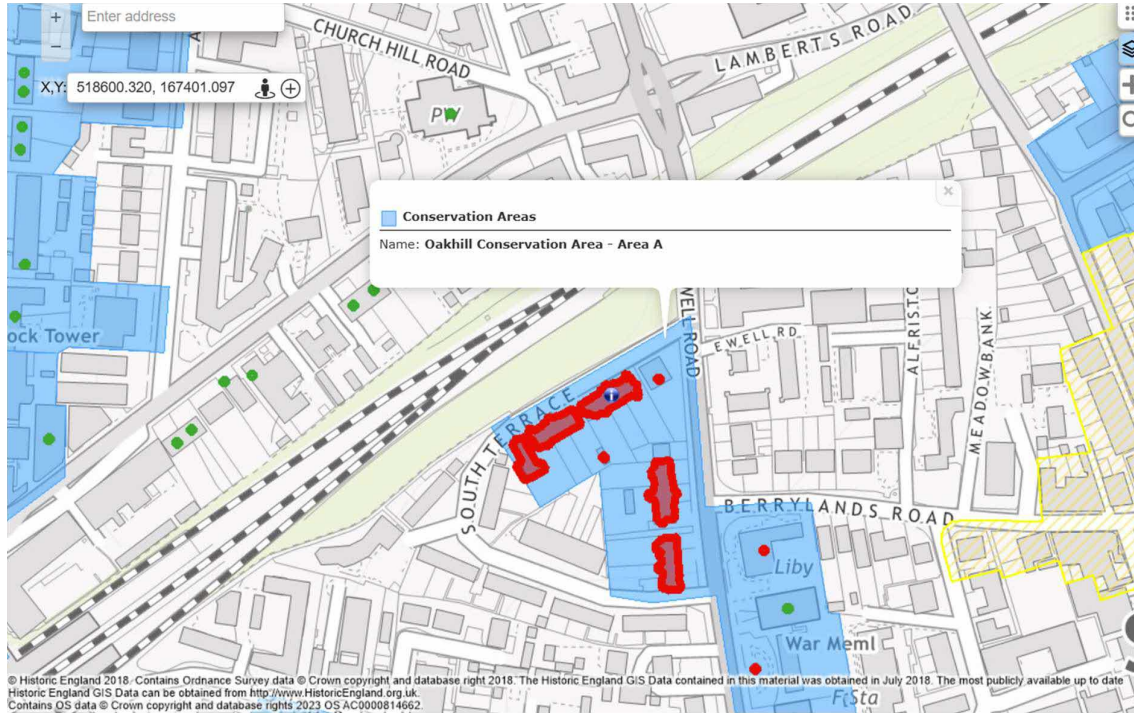


Crown Court, Ewell Road, Surbiton

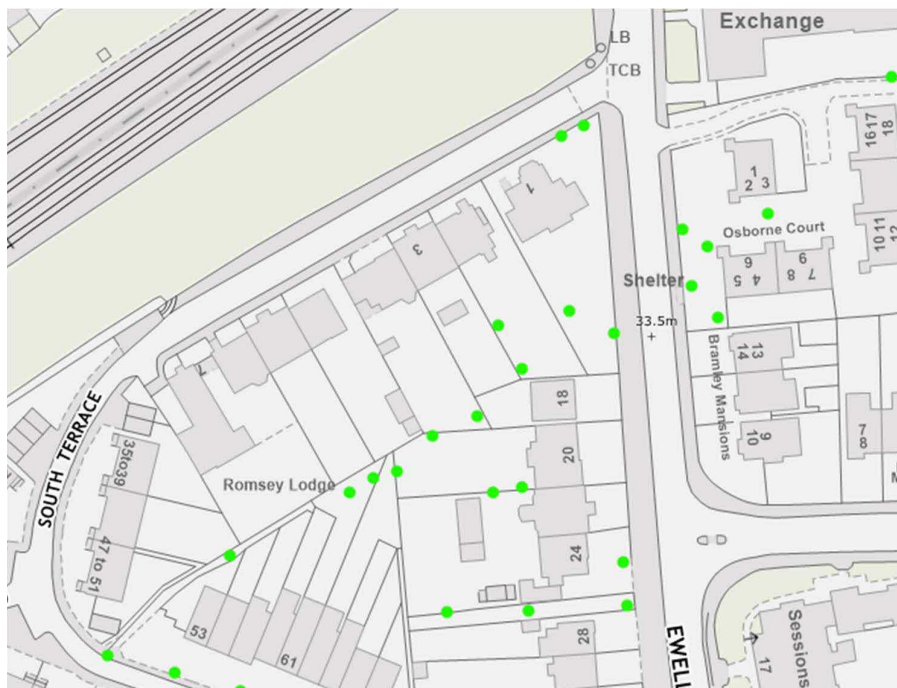


Setting

It is situated within the Oakhill Conservation Area of Surbiton.



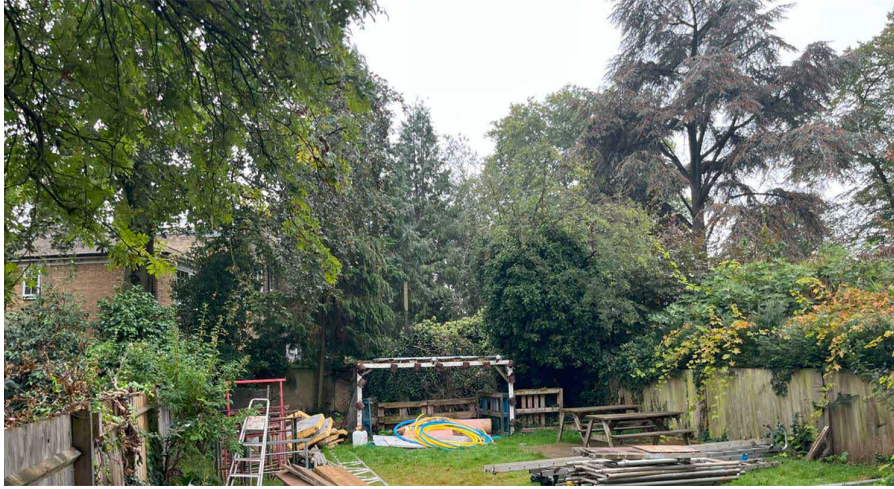
The property boasts from being in a leafy, tree lined road; with a number of surrounding TPO's.



South Terrace



View out of the ground floor rear door



Heritage Construction

The property is one of a row of Georgian properties located along South Terrace. The construction is a mix of London weathered brickwork, white/cream painted render and ornate stone mouldings, also painted a mixture of white/cream. The boundary treatments to the front are a mixture of brickwork walls and iron balustrades and handrails. To the rear, it consists of a mixture of brickwork walls and close-boarded timber fencing.

No.6 South Terrace is almost identical to No.3, but with a number of Georgian features removed from the front elevation. It is also similar to No.22 Ewell Road, but with a Georgian window removed and a number of smaller windows & panels inserted.

No.3 South Terrace boasts from having a number of period Georgian features. These include:

Detailed stone sets to corner returns.



Stone supports to pelmet.



Cornice to ground floor only.



Wood panelling and shutters around windows and doors at rear of ground floor.



Cast iron fireplaces with marble surrounds.





Existing Condition

The existing property had not been redecorated for some time. Many areas were in a state of disrepair, the roof was leaking and several internal period features had been previously removed (such as fireplaces, surrounds and the cornice at first-floor and above). The existing property had previously been sectioned off into separate rooms/flats/bedsits by a previous owner unknown to the new/current owners. Several original doors had been replaced with out-of-character lightweight chipboard. Chipboard panelling had also been pinned to the faces of the existing doors; dating the last redecoration works back to around the 1960-1970's. Sections of the cornice at ground floor was in bad condition with the plaster peeling and some sections had been painted and plastered over in the past; clogging up the pattern and detailing.

Generally throughout the floorboards were in good condition, apart from the sections that had previously been cut out to suit the running of services. Rotten timbers were noted in the roof, most likely due to leaking above, and weak existing timber studwork walls. Some walls had already had the lath & plaster removed and replaced with plasterboard; most likely when the property was divided up. Other areas of lath & plaster remained, but again the plaster was in bad condition, with many locations having no residual strength and crumbled to dust.

The existing windows to the second floor consisted of steel to the rear, and uPVC to the front; both of which are out of character with Georgian features. The existing windows to the first-floor and ground consisted of single-pane timber sash windows, many of which were in bad condition, with 2 failing to open and the one over the hallway at first-floor level being broken.

The original double doors to the front elevation consisted of the original hardwood, with modern furniture. The double doors to the rear consisted of out of character modern French doors & furniture.

Design

The design of the proposed property is to restore it back into a single-dwelling family home. The rotten and degraded timbers will be removed and replaced with like for like/to the structural engineer's specification. The roof will be repaired and insulated. The existing timber studwork walls at first and second floor will be strengthened using 12mm plywood sheathed both sides.

The existing out-of-character steel and uPVC windows will be replaced with double-glazed timber sash windows in white with brassware & beading to match original Georgian features. The existing timber windows will also be replaced with new timber sash windows in white with brassware & beading to match original Georgian features; given many of them are in bad condition/broken also.

Example below of front elevation:

W3 - Ground Floor – FRONT - Right Window



Example below of rear elevation:

W20 - Ground Floor – BACK - Lounge Window



The existing single-pane circular window to the front elevation will be replaced with a new double-glazed circular window with "3" etched within. The existing out-of-character modern french rear doors will be replaced with timber double-glazed bi-fold doors in white with brassware & beading to match original Georgian features.

The existing render to the front and rear elevations is in bad condition, with cracking and spalling throughout. This will be removed back to brick and re-rendered to suit using traditional materials

and painted off-white to match the original style. All front elevation ironwork, brickwork and stonework will remain insitu as existing and will be refurbished where and if required. The existing out-of-character blackjacket covering to the front elevation access steps will be removed and the (assumed) existing stone steps below be re-set to match existing/original Georgian features.

The existing grand curved staircase will remain as existing and be fully refurbished, including all balustrades, handrail, risers and goings.



The existing Georgian wood panelling to the rear lounge & kitchen/diner will remain as existing and be fully refurbished. All existing marble fireplaces will remain in the property and be covered/protected during the works to preserve the Georgian features. The existing floorboards will be sanded/refurbished and will remain on show in certain areas and rooms throughout.

The existing cornice was in bad condition and was only present to the ground floor only. A moulding of this cornice has already been taken and it will be replicated throughout at ground floor level to match existing. The same goes for the existing wooden architraves, skirting boards and beading throughout. All will be replicated where required to match the identical moulded profile of the existing/original.

The rest of the property will be fully refurbished for a family to live and reside within, including new electrics, plumbing, kitchen, bathrooms etc. A load-bearing wall located between the lounge at ground floor level will be removed in order to open up the space for an open-plan family living kitchen/dining/lounge space, with steelwork over to the structural engineer's specification. The existing ornate handrail & balustrade to the main ground floor to first-floor staircase will be moulded and replicated for the staircase from first-floor to second-floor. The dividing wall between these staircases will be removed and support installed above to the Structural Engineer's specification. A number of other small doorway opening changes will also be carried out to the existing to make better use of the existing smaller compartmented rooms.

The existing blackjacket finish to the steps up from pathway level to ground floor level (assume original stone below the finish) will be removed and the existing stone steps refurbished/kept in place. If no stone steps exist below, these will be replaced with stone.

The above works are itemised in the following:

FEATURE	DESCRIPTION	SIGNIFICANCE	PROPOSED WORKS	POSSIBLE IMPACT	JUSTIFICATION OR MITIGATION
External render	Cracks and blown areas	Low	Careful removal of render. Re-render to suit & paint white	Positive visual impact	Stops any issues with water ingress/damp against building
External walls	Original brickwork	High	Any cracked bricks to be replaced like for like original hand made bricks. Mortar repairs as required like for like	Positive visual & damp/ water ingress impact	Stops any issues with water ingress/damp against building
External stonework	Original stonework banding	High	Refurbish insitu if required	Positive visual & Georgian feature retained	Maintaining existing Georgian features.
External steps	Blackjacked covering to (assumed) original stone steps below	High	Removal of out of character blackjack covering to steps & refurbishment of original stone steps	Positive visual & Georgian feature retained	Removing out of character items, maintaining existing element & making more in-keeping.
External ironwork	Railings/handrails	High	Refurbish insitu as required	Positive visual & Georgian feature retained	Maintaining existing Georgian features.
Windows	Mixture of out-of-character uPVC casement and metal casement	High	Removal of all out of character windows and replaced with new timber sash windows with Georgian beading	Positive visual & Georgian feature replicated/re-installed	Removal of modern & replacement to make more in-keeping. Stops any issues with water ingress/damp inside building. Better insulates property.
Windows	Timber single pane sash windows	High	Removal of rotten/defective single pane windows and replaced with new timber sash windows with Georgian beading	Positive visual & Georgian feature replicated/re-installed	Maintaining existing Georgian features. Stops any issues with water ingress/damp inside building.

					Better insulates property.
External door front	Original hardwood double front doors	High	Refurbishment of existing doors. Removal of modern handles & replacement with more in-keeping	Positive visual & Georgian feature retained	Maintaining existing features & making them more in-keeping.
External door rear	Modern French patio doors	High	Removal of doors & replacement with timber double glazed	Positive visual & thermal	Removal of modern item & replacement to make more in-keeping
Roof	Rotten timbers	Low	Removal of all rotten timberwork & replacement	Positive structural/ safety	Stops any issues with collapse/structural failure
Roof	Leaking leadwork	Low	Repair roof leadwork as required	Positive damp/ water	Stops any issues with water ingress/damp inside building
Roof	Insulate	Low	Adding insulation to roof	Positive thermal	Better insulates property
Internal walls	Existing softwood (1980's) partition walls throughout property	Low	Removal of all non-load bearing additional softwood partitions installed in circa 1980's when the property was divided up into flats	None	Brings original rooms back to a single-dwelling household
Internal wall	Original brickwork load-bearing dividing wall between ground floor rear rooms	High	Removal of wall/s to open up rear rooms. Structural steelwork support provided.	Loss of fabric	Forming of open plan kitchen/diner for current family living
Internal wall	Original timber wall	High	Create an opening to access library	Loss of fabric	Opening between existing timber
Internal wall	Original timber wall	Low	Infill existing doorway to library	Gain of fabric	Opening moved to better suit
Internal wall	Original timber wall	High	Removal of wall previously separating staircase to basement level	Loss of fabric. Positive additional light into hallway	Staircase and walls now redundant given basement flat is a separate property and has separate access. More natural light into hallway.

Internal wall	Original timber load-bearing wall between 1 st to 2 nd floor staircase	High	Removal of wall to open up staircases and join to Gf to 1 st floor staircase. Structural support to be provided	Loss of fabric	Opening up to link both staircases and original handrail. Improves natural light into 1 st to 2 nd floor staircase
Internal wall	Original timber wall	High	Create an opening to access office	Loss of fabric	Opening between existing timber
Internal wall	Original timber wall	Low	Infill existing doorway to office	Gain of fabric	Opening moved to better suit
Internal wall	Original timber wall	High	Create an opening to access en-suite shower room	Loss of fabric	Opening between existing timber
Internal wall	Original timber wall	High	Create an opening to access walk-in-wardrobe	Loss of fabric	Opening between existing timber
Internal wall	Original timber wall	Low	Infill existing doorway to walk-in-wardrobe	Gain of fabric	Opening moved to better suit
Internal door	Original door from porch to hallway	High	Door to be removed to create open plan porch/hallway	Loss of fabric	Opening between existing windows (to remain)
Internal wall	Original timber wall	High	Create an opening to access jack & jill bathroom	Loss of fabric	Opening between existing timber
Internal walls	Original timber non load bearing and load bearing timber walls to 1 st & 2 nd floor	High	Strengthen existing walls with 1 layer of 12mm plywood both sides	Positive structural/safety impact	Improving structural adequacy and longevity of property
Internal timber panelling	Original timber panelling/shutters to ground floor rear elevation only	High	Refurbishment of existing	Positive visual & Georgian feature retained	Maintaining existing Georgian features
Floorboards	Original timber floorboards	High	Refurbishment of existing & having bare floorboards on show throughout the ground floor	Positive visual & Georgian feature retained	Maintaining existing Georgian features
Fireplaces	Original marble fireplaces	High	Refurbish as required	Positive visual & Georgian feature retained	Maintaining existing Georgian features
Staircase GF to 1 st floor	Original curved hardwood staircase and handrail	High	Refurbishment of existing staircase, handrail & spindles	Positive visual & Georgian feature retained	Maintaining existing Georgian features

Internal doors	Original timber doors	High	Refurbish & re-use wherever possible	Positive visual & Georgian feature retained	Maintaining existing features & making them more in-keeping
Cornice	Original cornice to sections of ground floor only. Bad condition, painted/filled over/cut out many times	High	Existing mould taken of original cornice. Cornice to be replicated throughout the ground floor.	Positive visual & Georgian feature replicated/re-installed	Removal of damaged item & replacement to keep Georgian feature
Beading/ Architrave/ Skirting boards	Original beading/ Architrave/Skirting boards to all floors. Bad condition. Painted/filled and cut into many times.	Med	Existing mould taken of original features. All to be replicated throughout the property on every level to every door/window reveal & wall location	Positive visual & Georgian feature replicated/re-installed	Removal of damaged items & replacement to keep Georgian features
Electrics	Dated fuse/v iring throughout	Low	New fuse board and full rewiring throughout	Improve safety and to be building control compliant	Required for a family to safely reside within. Any new services to be located discretely
Plumbing/ Gas	Dated pipework/central heating throughout	Low	New boiler and full new plumbing/central heating throughout	Improve thermals and to be building control compliant	Required for a family to safely reside within. Any new services to be located discretely
Kitchen units	Circa 1980's units	Low	Replacement of the existing kitchen with new	None	Any new services to be located discretely
Bathroom units	Circa 1980's units	Low	Replacement of the existing bathrooms with new bathrooms/en-suites	None	Any new services to be located discretely



Summary

The client and contractor wish to repair, replace and restore as many existing Georgian features as possible to the property, and make it safe and fitting for a family to reside within. Once completed, there will be a wealth of existing period features to reflect back to the time of the original construction. The front elevation will look far more in-keeping with Georgian features than it does currently to the surrounding neighbouring listed properties and conservation area by the use of white timber sash windows, black front double door and off-white render/stonework. The introduction of a separate reading library with built-in bookshelves and no television will also add to the property's authenticity and charm.

Yours sincerely,



Partner

Morgan Architectural Services (Part of Morgan Engineering Consultants Ltd)