



Morgan Architectural Services
P/O Morgan Engineering Consultants Ltd
Spaces, Sutton Point,
6 Sutton Court Road,
Sutton
London
SM1 4FS

Ref: 2310-18-A-DAS

14th November 2023

Planning Department
The Royal Borough of Kingston Upon Thames Council
Guildhall 2,
High Street,
Kingston Upon Thames
Surrey
KT1 1EU

Dear Sir or Madam,

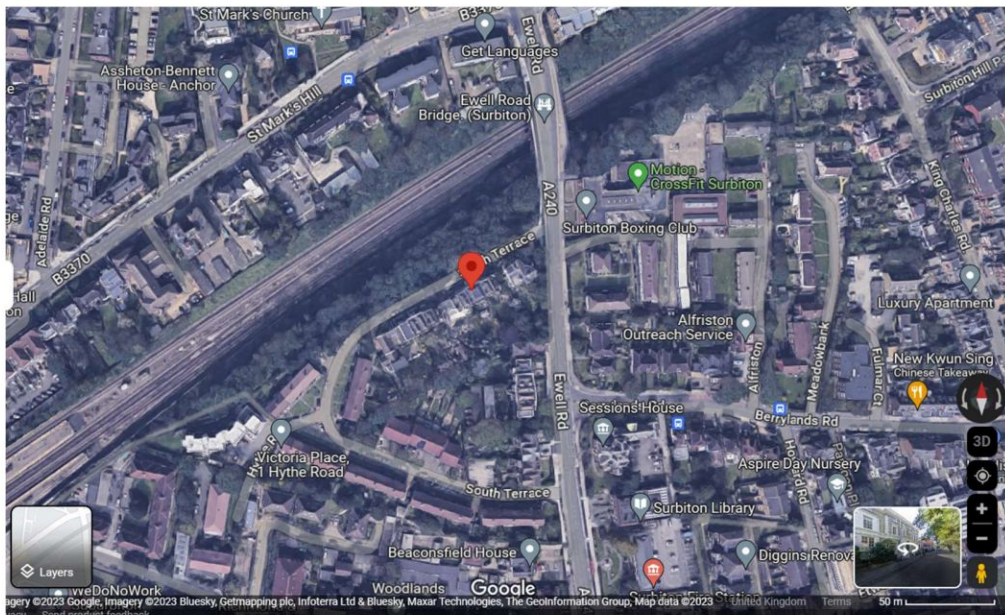
Design & Access Statement for householder planning & listed building consent application

For

3 South Terrace, Surbiton, Surrey KT6 6HT

Location

The property is situated at No. 3 South Terrace, Surbiton, Surrey KT6 6HT.



Surrounding Location

The above property is one of a row of Georgian properties located along South Terrace. The construction is a mix of London weathered brickwork, white/cream painted render and ornate stone mouldings, also painted a mixture of white/cream. The boundary treatments to the front are a mixture of brickwork walls and iron balustrades and handrails. To the rear, it consists of a mixture of brickwork walls and close-boarded timber fencing. No.6 South Terrace is almost identical to No.3, but with a number of Georgian features removed from the front elevation.

No. 2 South Terrace.



No. 3 South Terrace.



No. 3 South Terrace (rear).



No. 4 South Terrace.



No. 5 South Terrace.



No.6 South Terrace (flats).

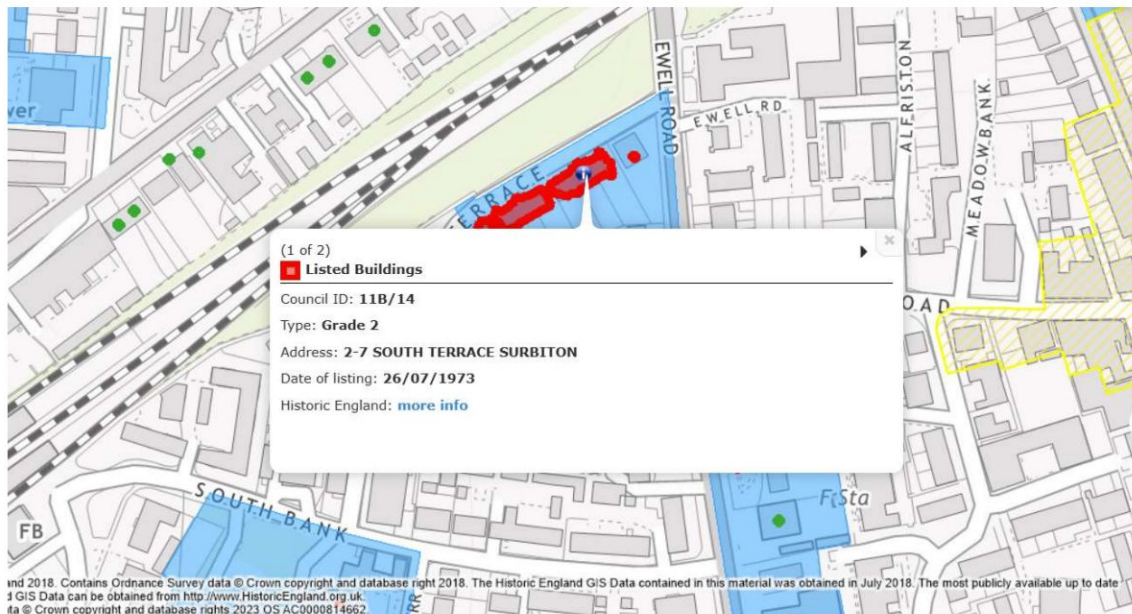


No.7 South Terrace (flats).

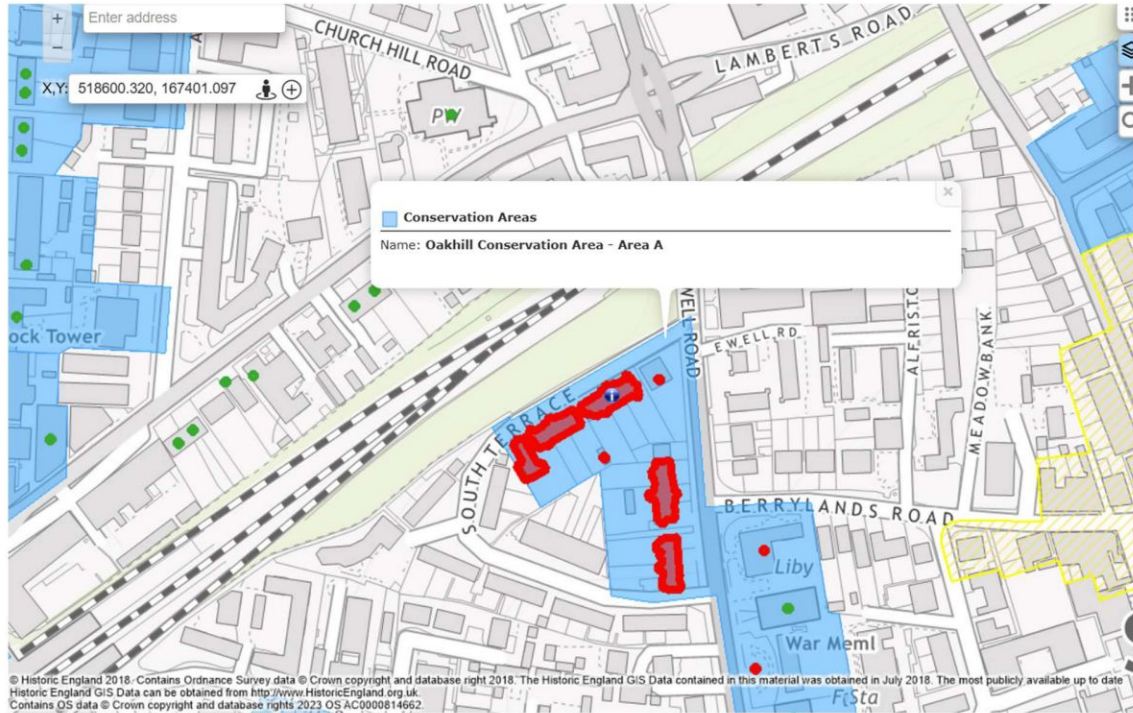


Property

The existing property is a Grade II listed mid-terraced townhouse, constructed in 1847.



It is situated within the Oakhill Conservation Area of Surbiton.



The new owners completed on the purchase of the property in August 2023.

Georgian Features

The property boasts from having a number of period Georgian features. These include:

Detailed stone sets to corner returns.



Stone supports to pelmet.



Detailed cornice to ground floor only.



Wood panelling and shutters around windows and doors at rear of ground floor.



Cast iron fireplaces with marble surrounds.





Condition

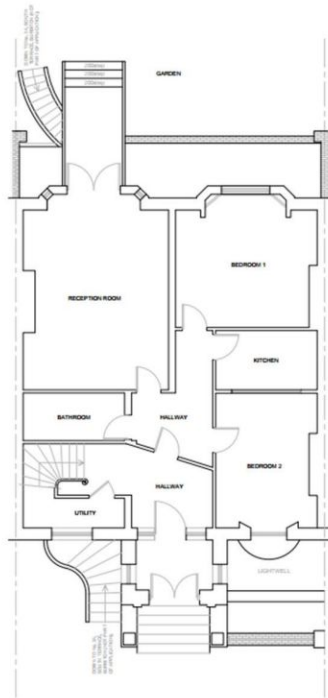
The existing property had not been redecorated for some time. Many areas were in a state of disrepair, the roof was leaking and several internal period features had been previously removed (such as fireplaces, surrounds and the cornice at first-floor and above). The existing property had previously been sectioned off into separate rooms/flats/bedsits by a previous owner unknown to the new/current owners. Several original doors had been replaced with out-of-character lightweight chipboard. Chipboard panelling had also been pinned to the faces of the existing doors; dating the last redecoration works back to around the 1960-1970's. Sections of the cornice at ground floor was in bad condition with the plaster peeling and some sections had been painted and plastered over in the past; clogging up the pattern and detailing.

Generally throughout the floorboards were in good condition, apart from the sections that had previously been cut out to suit the running of services. Rotten timbers were noted in the roof, most likely due to leaking above, and weak existing timber studwork walls. Some walls had already had the lath & plaster removed and replaced with plasterboard; most likely when the property was divided up. Other areas of lath & plaster remained, but again the plaster was in bad condition, with many locations having no residual strength and crumbled to dust.

The existing windows to the second floor consisted of steel to the rear, and uPVC to the front; both of which are out of character with Georgian features. The existing windows to the first-floor and ground consisted of single-pane timber sash windows, many of which were in bad condition, with 2 failing to open and the one over the hallway at first-floor level being broken.

The double doors out-of-character to the front elevation consisted of the original hardwood, with modern furniture. The double doors to the rear consisted of out of character modern French doors & furniture.

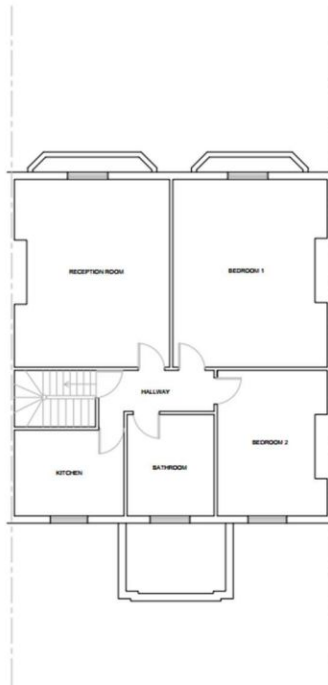
Drawings



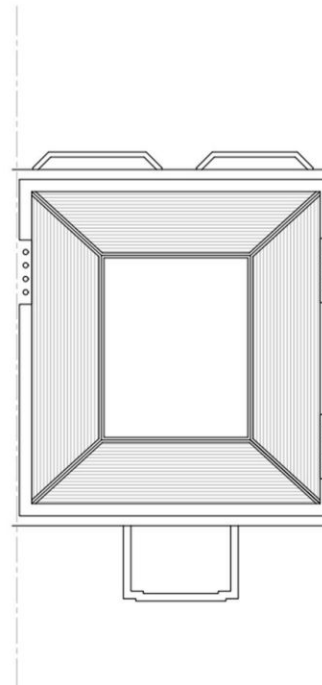
EXISTING GROUND FLOOR LAYOUT
1:50@A1



EXISTING FIRST FLOOR LAYOUT
1:50@A1



EXISTING SECOND FLOOR LAYOUT
1:50@A1



EXISTING ROOF LAYOUT
1:50@A1



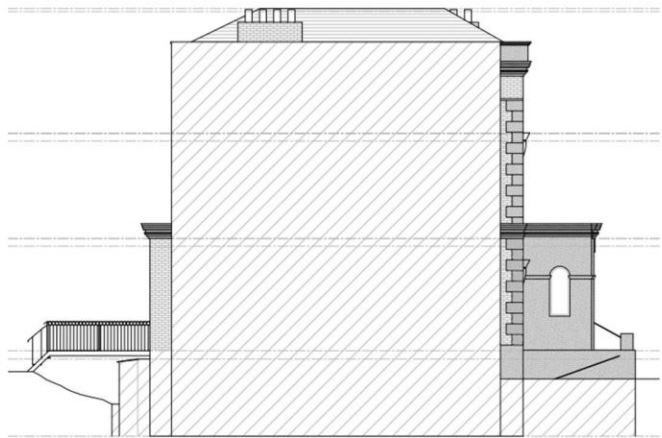
EXISTING FRONT (NORTH) ELEVATION
1:50@A1



EXISTING SIDE (WEST) ELEVATION
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EXISTING REAR (SOUTH) ELEVATION
1:50@A1



EXISTING SIDE (EAST) ELEVATION
1:50@A1

Design

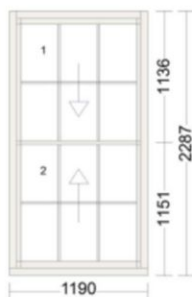
The design of the proposed property is to restore it back into a single-dwelling family home. The rotten and degraded timbers will be removed and replaced with like for like/to the structural engineer's specification. The roof will be repaired and insulated. The existing timber studwork walls at first and second floor will be strengthened using 12mm plywood sheathed both sides.

The existing out-of-character steel and uPVC windows will be replaced with double-glazed timber sash windows in white with brassware & beading to match original Georgian features. The existing timber windows will also be replaced with new timber sash windows in white with brassware & beading to match original Georgian features; given many of them are in bad condition/broken also.

Example below of front elevation:

W3 - Ground Floor – FRONT - Right Window

1 Pcs

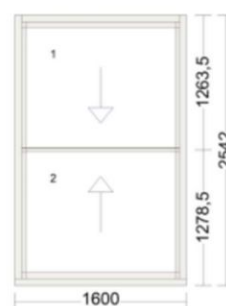


Product: SASH BALANCE ELEGANCE 50/63
OUTSIDE VIEW
Dims: 1190mm x 2287mm
Timber: Pine joined
Finish: RAL 9016/RAL 9016
Sash: Upper Sash no Horn
Lower Sash no Horn
Fitting type: Sash Upper
Sash Bottom
Lock: Standard Lock
Colour: Brass
Hook: Hook Sash Lift
Ring: Ring Sash Lift
Restrictor: Angel Ventlock 100 mm
Staff var.: SBD Flush Bead
Beads: Ogee
Cill Opt.: Frame Cill Standard
Silicone: White OUT/ White IN
Gasket: White Gasket
Bar: Ogee Bar with Duplex
20 mm

Example below of rear elevation:

W20 - Ground Floor – BACK - Lounge Window

1 Pcs



Product: SASH BALANCE ELEGANCE 50/63
OUTSIDE VIEW
Dims: 1600mm x 2542mm
Timber: Pine joined
Finish: RAL 9016/RAL 9016
Sash: Upper Sash no Horn
Lower Sash no Horn
Fitting type: Sash Upper
Sash Bottom
Lock: Standard Lock
Colour: Brass
Hook: Hook Sash Lift
Ring: Ring Sash Lift
Restrictor: Without Restrictor
Staff var.: SBD Flush Bead
Beads: Ogee
Cill Opt.: Frame Cill Standard
Silicone: White OUT/ White IN
Gasket: White Gasket

The existing single-pane circular window to the front elevation will be replaced with a new double-glazed circular window with "3" etched within. The existing out-of-character modern french rear doors will be replaced with timber double-glazed bi-fold doors in white with brassware & beading to match original Georgian features.

The existing render to the front and rear elevations is in bad condition, with cracking and spalling throughout. This will be removed back to brick and re-rendered to suit using traditional materials

and painted off-white to match the original style. All front elevation ironwork, brickwork and stonework will remain insitu as existing and will be refurbished where and if required. The existing out-of-character blackjap covering to the front elevation access steps will be removed and the (assumed) existing stone steps below be re-set to match existing/original Georgian features.

The existing grand curved staircase will remain as existing and be fully refurbished, including all balustrades, handrail, risers and goings.



The existing Georgian wood panelling to the rear lounge & kitchen/diner will remain as existing and be fully refurbished. All existing marble fireplaces will remain in the property and be covered/protected during the works to preserve the Georgian features. The existing floorboards will be sanded/refurbished and will remain on show in certain areas and rooms throughout.

The existing cornice was in bad condition and was only present to the ground floor only. A moulding of this cornice has already been taken and it will be replicated throughout at ground floor level to match existing. The same goes for the existing wooden architraves, skirting boards and beading throughout. All will be replicated where required to match the identical moulded profile of the existing/original.

The rest of the property will be fully refurbished for a family to live and reside within, including new electrics, plumbing, kitchen, bathrooms etc. A load-bearing wall located between the lounge at ground floor level will be removed in order to open up the space for an open-plan family living kitchen/dining/lounge space, with steelwork over to the structural engineer's specification. The existing ornate handrail & balustrade to the main ground floor to first-floor staircase will be moulded and replicated for the staircase from first-floor to second-floor. The dividing wall between these staircases will be removed and support installed above to the Structural Engineer's specification. A number of other small doorway opening changes will also be carried out to the existing to make better use of the existing smaller compartmented rooms.

Access

The access from the highway will remain unchanged by the works. There is no car parking to the property; thus this will also remain unchanged also. The existing blackjap finish to the steps up from



pathway level to ground floor level (assume original stone below the finish) will be removed and the existing stone steps refurbished/kept in place. If no stone steps exist below, these will be replaced with stone.

There is an existing steel access bridge to the rear from ground floor out to the garden to allow stepped access below to No.3A South Terrace. We assume this was previously installed to allow light down into the basement flat. This bridge will remain unchanged by the proposed works.

Summary

The client and contractor wish to repair, replace and restore as many existing Georgian features as possible to the property, and make it safe and fitting for a family to reside within. Once completed, there will be a wealth of existing period features to reflect back to the time of the original construction. The front elevation will look far more in-keeping with Georgian features than it does currently to the surrounding neighbouring listed properties and conservation area by the use of white timber sash windows, black front double door and off-white render/stonework. The introduction of a separate reading library with built-in bookshelves and no television will also add to the property's authenticity and charm.

Yours sincerely,



Partner

Morgan Architectural Services (Part of Morgan Engineering Consultants Ltd)