

Biodiversity Enhancement Note: Pursuant of the Discharge of Planning Condition 11



Wigginton, York
30th October 2023



**Tyler
Grange**

TG Report No. 14650_R05a_DP

Project No:	Report No.	Date	Revision
14650	R05a	30th October 2023	A
Admin QA	Author	Checked	Approved
-	David Paton MEnvSci QCIEEM	Aaron Grainger BSc (Hons) MSc MCIEEM	Aaron Grainger BSc (Hons) MSc MCIEEM

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Plan 1: 14650/P06a – Ecological Enhancements Plan



Section 1: Introduction and Context

1.1. This note has been prepared by Tyler Grange Group Limited on behalf of Churchill Retirement Living Limited. It sets out proposed ecological enhancements for the site at Village road, Wigginton, York YO32 2PL (OS Grid Reference SE 60160 58567), hereinafter referred to as the 'site', pursuant to the discharge of Planning Condition 11.

1.2. Planning Condition 11 requires the development to produce an ecological enhancement strategy that details how enhancements will be implemented. The wording of the condition is set out below:

“Prior to the construction of the development hereby permitted above foundation level, a biodiversity enhancement plan/drawing shall be submitted to, and be approved in writing by, the Local Planning Authority. The content of the plan shall include, but not be limited to, the recommendations set out in the Preliminary Ecological Appraisal (Tyler Grange, 1 September 2022, Report No. 14650_R02a). The approved details shall be implemented prior to first occupation.”

1.3. Provided the recommendations outlined in this report can be fully implemented, then development proposals would comply with the requirements of Condition 11.



Section 2: Habitat Enhancement Features

Bat Roosting Features

- 2.1. Three Schwegler 1FF Woodcrete Bat Boxes¹ (or similar) will be installed on the exterior of the building walls within the site boundary to provide additional roosting opportunities for bats.
- 2.2. The Schwegler 1FF Woodcrete bat box has the entrance at the bottom of the box, and a narrow crevice-like internal space which is attractive to pipistrelle and long-eared bats. This bat box is also designed to be effective against small predators and excludes draughts and light. Due to the opening on the bottom, this bat box does not require cleaning. This bat tube is manufactured from long-lasting woodcrete (a mix of concrete and wood fibres), which will not rot, leak, crack or warp, and will last for at least 20 - 25 years. Woodcrete has good thermal insulation and creates a stable internal temperature, it also provides a good rough surface for bats to cling on to and climb.
- 2.3. The bat boxes will be placed as per the recommendations. They will be no lower than 3m in height, the entrances will ideally face south-west to south-east in order to provide the optimal requirements for bats and will be sited in locations not subject to intense lighting (refer to Plan **14650/P06**).

Bird Nesting Features

- 2.4. To enhance nesting habitat on site for birds, three Woodstone built-in single chamber House Sparrow Nest Boxes² (or similar) will be provided on the constructed buildings, which will result in an enhancement for nesting birds.
- 2.5. The Woodstone Single Chamber House Sparrow Nest Box is constructed from woodstone (a mix of concrete and wood fibres) and provides protection against predators including woodpeckers, cats and squirrels. The material insulates the nest which creates a consistent internal temperature and the 32mm entrance hole will attract great tits, nuthatch, and tree and house sparrows.
- 2.6. The bird boxes will be placed as per the recommendations outlined in this report. They will be built into the brickwork at no lower than 2 metres in height, and preferably directly beneath eaves and when possible, will be angled so that they face away from the prevailing wind (facing north-northeast), see plan **14650/P06**. The final location of each box will be determined on the ground by an appropriately experienced ecologist, and each of these features shall be installed prior to the first occupation of the site following the completion of the construction phase.

Hedgehog Highways

- 2.7. To further enhance commuting opportunities for hedgehogs and facilitate free movement around known foraging habitat, hedgehog highways will be created within the site (see plan **14650/P06** for suggested

¹ https://www.arkwildlife.co.uk/product/schwegler-1ff-bat-box/?gclid=EAlaIQobChMI7IXpupiHgQMvQ4hQBh2zxQnUEAAYASAAEgKpNvD_BwE

² <https://www.vivarapro.co.uk/product/woodstone-build-in-house-sparrow-nest-box-uk/>



locations). To create these highways boundaries and barriers within and the surrounding development, including fencing, railings and gates will be made accessible, with the following measures adopted:

- Fence panels with a 13 x 13cm hole prepared at ground level.
 - Sufficient gaps provided beneath gates.
 - Access located to the rear of gardens.
 - Holes made in stone walls in addition to fences where necessary.
- 2.8. Where essential ground level changes create barriers to movement, the landscaping will provide sloped access and escape routes for hedgehogs and other ground dwelling species where possible.
- 2.9. In order to highlight the presence of the hedgehog highways, prevent the holes being blocked and to build community engagement, hedgehog highways plaques will be used within the site (see **Figure 2.1** below).



Figure 2.1: Example of Hedgehog Highways Plaque (www.hedgehogstreet.org).

Insect Houses

- 2.10. To enhance the site for invertebrates, one insect house (Vivara Pro Corsica Insect Hotel³ or equivalent) will be provided in the northern area of the site set within landscaped areas. This will be installed in any areas of grassland or greenspace associated with the development, see plan **14650/P06** for the suggested location.
- 2.11. The insect house should be cemented into the ground, and ideally positioned within a location that gets more sun than average (i.e. facing south) and is somewhat sheltered from heavy wind/rain, and this shall be installed prior to the first occupation of the site following the completion of the construction phase.

³ <https://www.vivarapro.co.uk/product/new-vivara-pro-corsica-insect-hotel-with-oak-legs/>



Section 3: Conclusions

- 3.1. Provided the recommendations outlined in this report can be implemented fully and successfully, and all biodiversity enhancement measures are implemented prior to the first occupation of the site, it is considered that Condition 11 can be discharged.



Appendix 1: Development Proposals

Wigginton Landscape Proposals



LANDSCAPE STRATEGY MASTERPLAN



TREE PLANTING STRATEGY

Street Trees are planted on the entrance of the site, chosen for their compact canopy and seasonal leaf colour.

Acer campestre 'Streetwise'

Native trees on the boundary will provide visual mitigation and support local biodiversity

Carpinus betulus *Betula pendula*

Evergreen trees will provide year round visual mitigation and support local biodiversity

Pinus sylvestris *Ilex aquifolium*

Ornamental trees within the amenity areas will add vertical seasonal interest to the shrub beds throughout the development.

Magnolia stellata 'Royal Star' *Cornus controversa* 'Variegata'

Pleached/screening trees Proposed around the secondary patio to provide visual screening and creating a private outdoor space.

Photinia Red Robin - Pleached

KEY

Red line boundary

HARD LANDSCAPE

- Parking court.
- Paved turning head
- Paths and patios. 450mm x 450mm flag or similar and approved. Colour: 'Buff'
- Balcony material to be specified by client
- Patio furniture
- Gravel over geotextile

SOFT LANDSCAPE

- Existing Trees
- Proposed evergreen tree
- Proposed native tree
- Proposed street tree
- Proposed small ornamental tree
- Proposed small orchard tree
- Topiary specimens. *Ilex crenata* or *Laurus nobilis* cones
- Large specimen shrubs. Thuja 'Smaragd', Phormium 'Jester', Hydrangea of various varieties
- Ornamental shrub and herbaceous planting
- Low maintenance ground cover planting
- Formal clipped evergreen hedging - e.g. *Prunus lusitanica*
- Formal low clipped evergreen hedging - e.g. *Ilex crenata*
- Existing Hedgerow Wildflower grass corridor enhancing ecological networks
- Proposed Native Hedgerow
- Drift of spring flowering native bulbs
- Native shrub buffer planting
- Amenity grass areas

DESIGN PARAMETERS

The site is currently residential dwelling with extensive land to the rear, which is to be redeveloped into retirement living apartments. The main vehicular entrance to the apartment development is from the existing road structure of The Village Road. The site is relatively flat with only slight level changes around existing trees in localised areas. Existing boundary treatments are to be retained and or enhanced including the hedgerow boundary to the footpath to the south of the site, additional planting/screening to be added as required for visual mitigation. Proposed evergreen hedges are proposed to delineate the existing road from residential amenity areas. The Owners' Lounge and associated patio is centrally located on the site and on a south westerly elevation of the proposed building. The site is partially enclosed with existing mature native trees and mature hedgerows on the boundaries making the site well concealed for privacy and mitigation requiring some interventions for enhancements for visual mitigation. Overall, the proposed landscape design is at a domestic scale, creating homely spaces which allow for small social gatherings and quieter contemplative resting places. Elements of herbaceous planting will be proposed throughout the scheme for seasonal interest.

PLANTING PALETTE - PLANTING PHILOSOPHY

On the The Village to the front elevation facing onto the road, compact canopy street trees such as *Acer campestre* 'Streetwise' provide a vertical interest and partial visual mitigation for the building. These are under planted with ornamental shrub planting and topiary. On the southern boundary, native buffer planting and semi-evergreen ornamental native flowering shrubs are proposed with wildflower turf and swathe of native bulbs to create an ecological area which will provide refuge for local fauna. Specimens and native trees such as *Carpinus betulus*, *Pinus sylvestris* and *Ilex aquifolium* provide visual screening to infill any inward looking views. The planting style for the amenity spaces will be more formal with seasonal interest and a strong year round evergreen presence which is selected for micro climatic conditions and shading of the garden with the existing mature trees. Use of ornamental hedging and topiary specimens will offer instant impact and cohesive structure to the planting beds. Large specimen shrubs chosen for their tone and texture will give an established appearance upon implementation. Flowering shrubs including fragrant perpetual flowering roses, grasses and topiary planting. Proposed planting on the northern elevation of the building will be chosen for their shade tolerance and shadow cast by the building. Smaller local variety fruit and locally sourced trees provide focal points at a small domestic scale whilst boundary tree planting provides screening and enclosure for the residents. Bulbs and herbaceous planting will provide seasonal interest to the site including bee friendly flowering species. Climbers including clematis and honeysuckle will be proposed on screening treatment for the sub station. Proposed small ornamental trees aim to improve connectivity and biodiversity across the site. A diverse selection of proposed plant species will provide an overall enhancement to biodiversity with the site having the potential to attract a greater range of invertebrates and therefore providing foraging/ nesting habitat for notable urban species.

Sample ornamental shrub bed.



Rev	Initials	Date	Comments
A	AJW	14.06.22	Updated to layout and comments 13.06.22

- Bergenia cordifolia* 'Purpurea'
- Hemerocallis* 'Stella d'Oro'
- Anemone x hybrida* 'Honorine Jobert'
- Aucuba japonica* 'Variegata'
- Erica carnea* 'Springwood white'
- Cornus sanguinea* 'Dogwood'
- Phormium varieties
- Hebe* 'Mette'
- Cistus* 'Sunset'
- Hydrangea arborescens* 'Annabelle'
- Ilex crenata* or *Laurus nobilis* topiary cone
- Low Evergreen hedge to parking court and frontage
- Narcissus* 'February Gold'
- Digitalis purpurea*
- Primula vulgaris* Wild primrose
- Wildflower Turf Mix
- Rosemarinus officinalis*
- Native Buffer *Viburnum opulus* 'Compactum'

The Village, Wigginton

JBA 22 185 - SK02 Landscape Strategy

Churchill Retirement Living Site: The Village, Wigginton

Drawn by: AJW Date: May 2022 Scale: 1:250 @ A1 Rev: -A

James Blake Associates Ltd.
 LANDSCAPE ARCHITECTURE • LANDSCAPE PLANNING • ECOLOGY • ARBORICULTURE
 34-52 Out Westgate, Bury St Edmunds, Suffolk, IP33 3PA
 Tel. 01284 335797 E-mail: jamesblake@jba-landmarc.com

JAMES BLAKE ASSOCIATES

Plans:

Plan 1: 14650/P06a – Ecological Enhancements Plan





Vivara Pro Corsica Insect Hotel
Multi-habitat insect hotel offering opportunities for range of invertebrates.



Woodstone House Sparrow Nest Box
Nest box attracting range of bird species such as house sparrow, nuthatch, great tit.



Schwegler 1FF Bat Box
Bat box providing narrow crevice-like space for bat species to roost in.



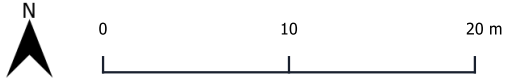
Legend

Boundaries

Redline Boundary

Habitat Enhancements Plan

- Proposed Bat Box Location
- Proposed Bird Box Location
- Proposed Hedgehog Highway Location
- Proposed Insect House Location



Project	Wigginton, York
Drawing Title	Habitat Enhancements Plan
Scale	As Shown (Approximate)
Drawing No.	14650/P06a
Date	October 2023
Checked	DP/AG



3 Jordan Street, Deansgate, Manchester, M15 4PY
T: 0161 236 8367 E: info@tylergrange.co.uk W: www.tylergrange.co.uk



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www.tylergrange.co.uk



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Grange**

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