

HERITAGE STATEMENT & IMPACT ASSESSMENT

FOR

8 WOOD END, HEBDEN BRIDGE, HX7 8HJ



Prepared for Ms K Walmsley

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By

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For and on behalf of CALDER CONSERVATION



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1.0 THE APPLICATION SITE

- 1.1 The application site address is 8 Wood End, Hebden Bridge, West Yorkshire, HX7 8HJ.

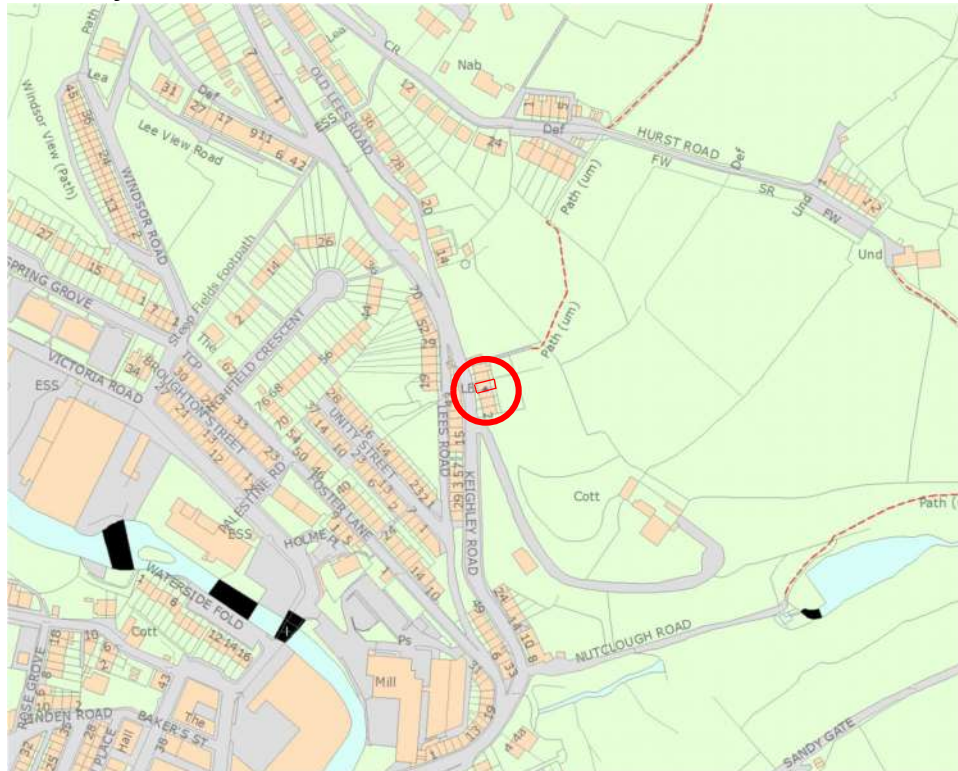


Fig 1 Map showing the application site (not to scale)

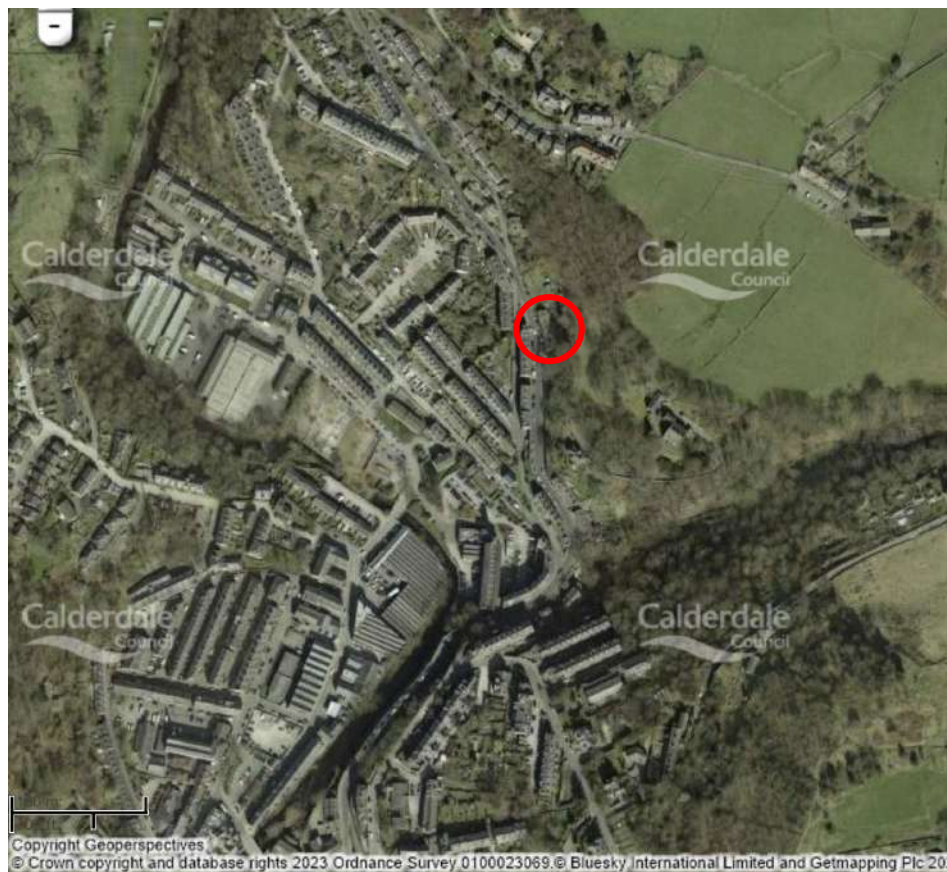


Fig 2 Aerial view showing the application site (not to scale)

- 1.2 It is a Grade II listed building (List Entry Number 1229660).
- 1.3 It is located in the Hebden Bridge Conservation Area which was designated as a Conservation Area on 27 July 1973 and extended on 25 November 1986, 25 February 1992 and 4 April 2011.
- 1.4 The cottage forms part of a terraced row of six cottages, located in the Keighley Road area of the Conservation Area which are listed as a single entity for their group value.
- 1.5 A search of Calderdale Council's online planning portal provides the following planning history for 8 Wood End:
 - 1.5.1 16/01343/LBC Listed Building Consent application for replacement windows to front elevation. Status: Approved
 - 1.5.2 23/00663/LBC Listed Building Consent application for installation of double glazed new timber windows to rear elevation and double glazed new external doors to front and rear elevations. Status: Approved

2.0 THE SCOPE OF THE CURRENT PROPOSAL

- 2.1 The proposal is to:
 - 2.1.1 Demolish the redundant outside toilet.
 - 2.1.2 Repair the rear lightwell and upgrade safety handrails and guarding.
 - 2.1.3 Form a new door opening at first-floor level on to the roof of the rear offshot to replace the existing dangerous stepped access from the lightwell.
 - 2.1.4 Install new external lighting to the rear of the property.
 - 2.1.5 Install new internal double doors between the kitchen and living room.
- 2.2 The proposal will affect the fabric of the Grade II listed building and has the potential to affect its setting, which is a Conservation Area.
- 2.3 This Heritage Statement and Impact Assessment is therefore prepared to comply with the requirements of:
 - 2.3.1 National Planning Policy Framework (NPPF) S16 *Conserving and Enhancing the Historic Environment* paragraph 194 which requires that 'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance'.
 - 2.3.2 Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 which requires the Local Planning Authority to 'have special regard to the desirability of preserving the building or its setting or any features of a special architectural or historic interest which it possesses'.
 - 2.3.3 It adopts as a starting point the conservation principles and heritage values set out in Historic England's *Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment* (2008).
 - 2.3.4 It follows the guidance set out in *Statements of Heritage Significance: Analysing Significance in Heritage Assets* Historic England Advice Note 12 and *The Setting of Heritage Assets* Historic Environment Good Practice Advice in Planning Note 3.
- 2.4 It also takes account of the following local policies:

- 2.4.1 Calderdale Local Plan 2018/19 – 2032/33 adopted March 2023, in particular Section 21 Historic Environment, which recognises that ‘Calderdale has a rich and varied heritage, both in terms of the built environment and its landscapes. The early expansion of settlements for agricultural and trading purposes, followed by rapid growth through the Industrial Revolution, and particularly the rise of the textile trade, has contributed to the creation and consolidation of a distinctive local character and identity in present day Calderdale’ (21.1) and notes that ‘It is important that future development helps to preserve and, wherever possible, enhance these heritage assets and the existing historical context of areas’ (21.5).
- 2.4.2 It has particular regard to Policy HE1 which requires that ‘Applications for development which are likely to affect the significance of a heritage asset (whether designated or not), including its setting, will be required to include an appropriate understanding of the significance of the assets affected. Where it is necessary to understand the impact of the proposals upon the heritage asset, this should also be accompanied by a Heritage Impact Assessment or, in the case of archaeological remains, an appropriate archaeological assessment’ (HE1 II) and that ‘Development proposals will be expected to conserve heritage assets in a manner appropriate to their significance’ (HE1 III).
- 2.4.3 It takes account of the management proposals set out in the *Hebden Bridge Conservation Area Appraisal and Management Plan* (April 2011).
- 2.1 This Heritage Statement and Impact Assessment is prepared by Zoe Kemp MA(Hons) PgDip (Heritage Management) MSc MRICS; a Chartered Building Surveyor and RICS Certified Historic Building Professional with over ten-years post-qualification experience working with heritage assets, six years of which were as Heritage at Risk Surveyor for Historic England.

3.0 THE NATURE AND EXTENT OF THE HERITAGE ASSET

- 3.1 8 Wood End, Hebden Bridge, was first listed on 21 June 1984 and it is listed as a single entry with the other cottages that make up the terraced row, numbers 2-12 Wood End, for their group value. The List entry reads as follows:
HEBDEN ROYD C.P. KEIGHLEY ROAD, (east side) Hebden Bridge Nos. 2 to 12 (even) Woodend
G.V. II
Row of single-cell cottages. Early C19. Dressed stone, stone slate roof. Quoins. 2 storeys. 6 bays each with doorway with sill tie and flat faced mullioned windows with slightly projecting sills of 3 lights to ground floor and 4 lights to 1st floor. Gutter brackets. 6 stacks to ridge. Each cottage is approached up a short flight of stairs with raised balcony some with coal-houses under to road side.
- 3.2 The *Hebden Bridge Conservation Area Appraisal and Management Plan* of April 2011 makes no direct reference to the application site other than to state the list description on Page 78.
- 3.3 Despite the lack of specific references to this building, the Conservation Area Appraisal does contain information about the Keighley Road character area and the wider Conservation Area which is pertinent to the application site:

- 3.3.1 It forms part of a group of structures that can be classified as ‘vernacular workers’ housing’ (Pg 13).
- 3.3.2 It exhibits the characteristic features of Hebden’s vernacular buildings: flat-faced, regularly coursed stone walls, stone slate roof laid in diminishing courses, timber gutters, stone window mullions (Pg 17ff).
- 3.3.3 It contributes to the character of the Keighley Road area of the Conservation Area which is located on the ‘steep hillside to the north of the town centre’ and which is noted as being ‘almost entirely residential’ comprising ‘tight-knit terraced streets’ constructed in the C19 with ‘little or no garden space’ (Pg 31).
- 3.4 Because of its hillside location the rear of the building at ground floor level opens to a lightwell with a high retaining wall as it is effectively built into the banking.
- 3.5 The following diagram from the Conservation Appraisal of 2011 shows the character areas that make up the Conservation Area and the location of the application site within the Keighley Road area:

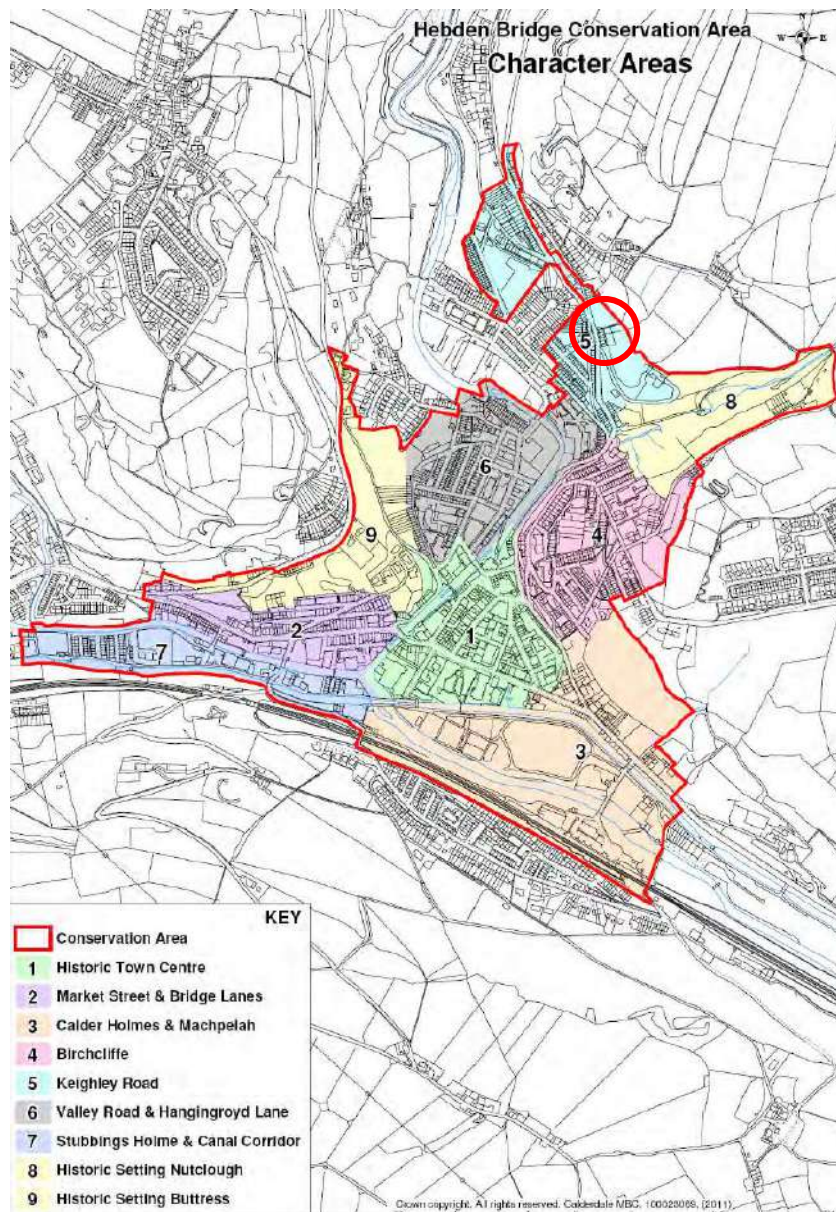


Fig 3 Hebden Bridge Conservation Area character areas map (not to scale)

- 3.6 The Conservation Appraisal of 2011 also identifies key views and open spaces within the Conservation Area and the map on Page 21 of the report (reproduced below) shows that while 2-12 Wood End do not form part of a noted key view or vista they are surrounded by important open green space.

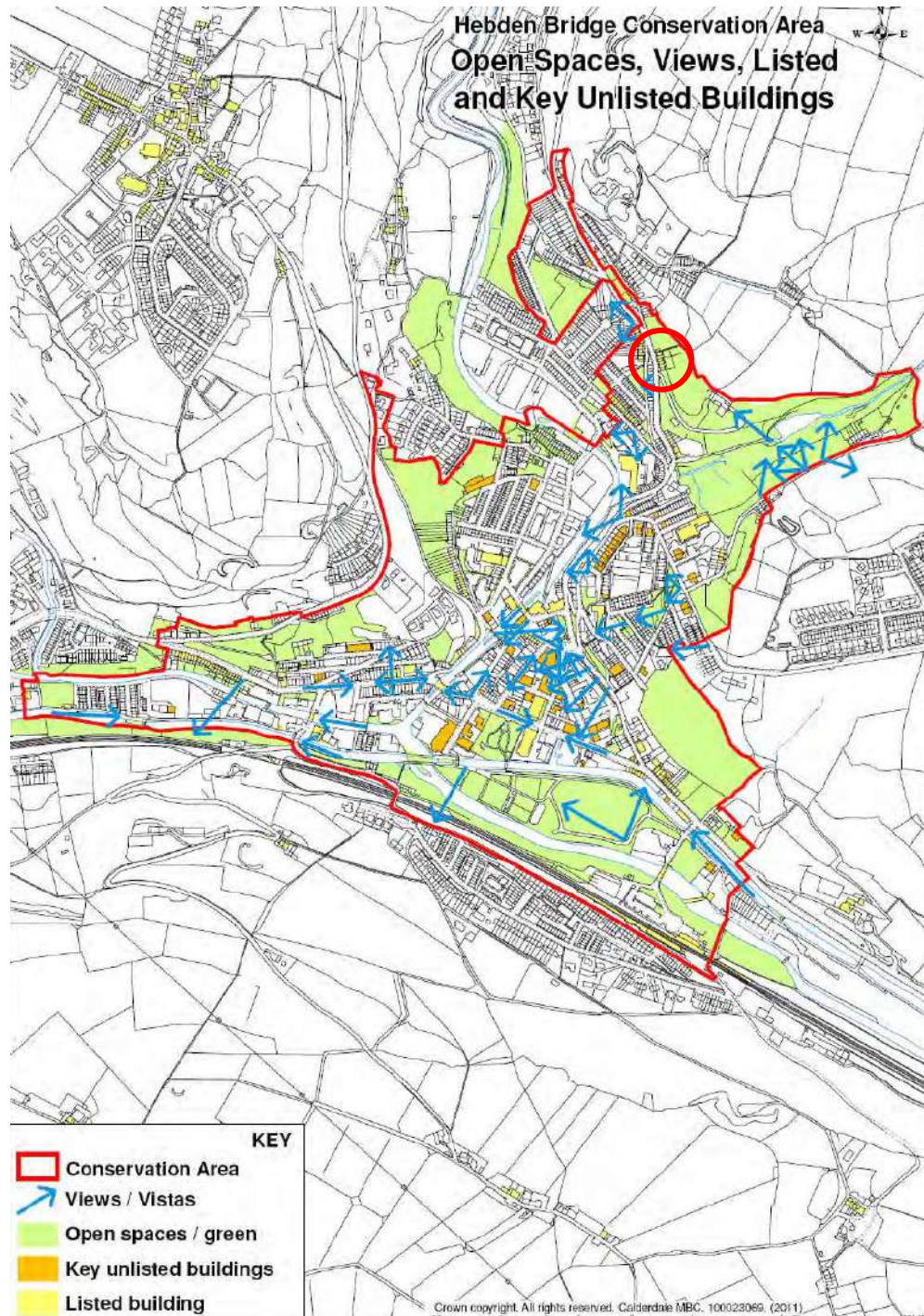


Fig 4 Hebden Bridge Conservation Area open spaces, views, listed and key unlisted buildings map (not to scale)

- 3.7 The location of the terraced row does, however, afford it an important position in the local streetscape as it occupies a visible position on a bend in the road and the row marks the edge of the settlement with undeveloped green-belt land beyond.



Fig 5 View up the hill with the terraced row on the right of the image



Fig 6 View down the hill with the terraced row on the left of the image

- 3.8 The cottage occupies a relatively small footprint. The site boundary directly abuts the highway, as there is no footpath, but the dwelling is set back from the road as it is approached up a short flight of stairs with raised balcony; while to the rear of the property a contemporary, or near contemporary, single-storey stone offshot opens into a lightwell that gives access to an outside toilet; a later addition, likely early C20. There is no garden associated with the dwelling but in common with others in the row, the owner of the cottage leases a small area of land directly behind the cottage which is accessed via steps from the lightwell on to the roof of the offshot, from which further steps provide access to the banking.

4.0 THE HISTORY AND DEVELOPMENT OF THE HERITAGE ASSET

- 4.1 Heritage Gateway has been consulted and no additional information is held on this building.

- 4.2 No historic images of the dwelling have been found, but historic mapping gives some indication of how the area around the dwelling developed. Figs 7 to 14 illustrate the development of the site from the mid C19 to mid C20 using Ordnance Survey mapping (not to scale). Figs 8-14 are reproduced with the permission of the National Library of Scotland (<https://maps.nls.uk/index.html>).
- 4.3 The Ordnance Survey map of 1851-55 shows the area around Wood End prior to significant industrial development. There are a handful of mills in the area and some rows of workers' cottages but nothing like the scale of development seen by the end of the century. Interestingly, the row of cottages incorporating 8 Wood End is named on this map as Greenwood Houses. This is not seen on any of the later maps. The row of houses opposite is named on the map as Club Houses. Club houses were built in the early 19th century by self-help groups or 'clubs' whose original purpose was to defray the cost of burial and building houses was a way to invest their capital. Many were originally designed as weavers' cottages, at a time when hand loom weaving was still a profitable trade, with some having a shared weaving room across the top floor, and connecting doors between the houses to enable workers to get access to the shared room. Those opposite 8 Wood End are of the 'over and under dwelling' type typically seen in this area where, due to the local topography, houses are built in terraces with 4–5 storeys. The upper storeys face uphill while the lower storeys face downhill with their back wall against the hillside. The lower storeys would form one dwellinghouse while the upper storeys would form another.
- 4.4 Given that the application site pre-dates the expansion of industrial development in this area, and considering its construction with relatively large internal open spaces and long expanses of fenestration providing good natural day-lighting in the cottage, it is likely that 8 Wood End was also originally a weaver's cottage, designed to accommodate home working in the woollen trade. This local cottage industry declined with the growth of industrialised cotton production so it is likely that it would latterly have housed local mill workers.

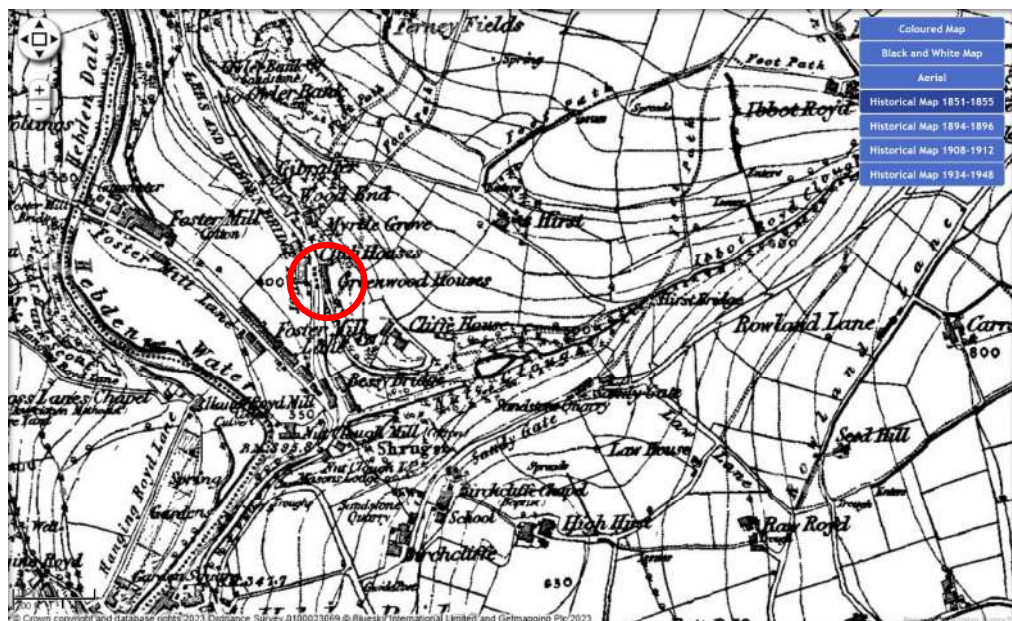


Fig 7 1851-55 OS Map (not to scale)

- 4.5 By the end of the century, the 1894 Ordnance Survey map shows an increase in mills and works located along the banks of Hebden Water, in close proximity to Wood End. More terraced housing was built on the opposite side of the road further down the hill to house the growing number of workers.



Fig 8 1894 OS Map (not to scale)

- 4.6 At the beginning of the C20 Hebden Bridge was a thriving industrial centre with the 1907 OS Map showing a growth in industry and a corresponding growth in workers' accommodation.



Fig 9 1907 OS Map (not to scale)

- 4.7 The 1921 OS Map shows some further expansion but is notable for the development of several areas of allotment gardens. This perhaps suggests increasing leisure time but also speaks to the lack of gardens associated with the early workers cottages.



Fig 10 1921 OS Map (not to scale)

- 4.8 The 1933 OS Map reveals further expansion of some of the works, suggesting that industry is still relatively healthy in the area.



Fig 11 1933 OS Map (not to scale)

- 4.9 The 1947 OS Map shows the infilling of open spaces with new housing developments.



Fig 12 1947 OS Map (not to scale)

- 4.10 Later maps show few significant changes in the immediate area.



Fig 13 1956 OS Map (not to scale)



Fig 14 1968 OS Map (not to scale)

4.11 The Current OS Map shows the area today.



Fig 15 2023 OS Map (not to scale)

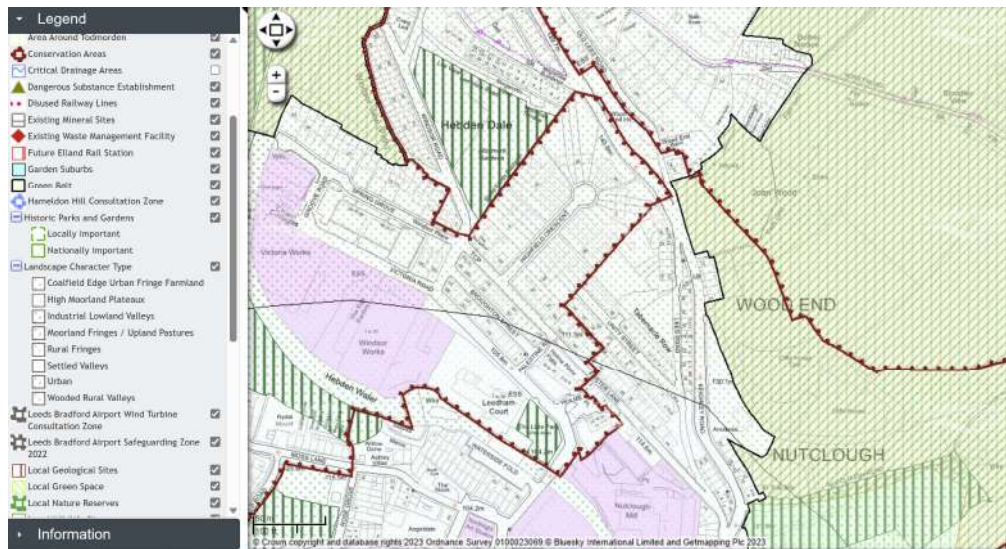


Fig 16 Local Plan Map showing relationship to Conservation Area, Green Belt etc (not to scale)

- 4.12 Historic map regression shows that while there have been changes in the surrounding area, there has been very little change to the immediate setting of the dwelling since the late C19.
- 4.13 The Conservation Area Appraisal notes that the Keighley Road area was improved in 1959.
- 4.14 The application site exhibits some C20 alterations e.g. the insertion of rooflights and early-C20 style front door and C21 replacement windows to the front elevation, but on the whole the front elevation is little changed in terms of its general appearance.
- 4.15 The rear of the property, however, does appear to have evolved over time. Based on the construction of the outside toilet and lightwell it is felt that this area of the site was subject to early C20 interventions to structurally strengthen the retaining wall, improve the sanitary facilities and improve access to the rear of the terrace.
- 4.16 While the cottage and offshot appear contemporary, or very close in date, as both are constructed with thick stone walls, the use of concrete and steel in the wider lightwell indicate later interventions. The lower section of the retaining wall, where it steps out, is likely of concrete construction, probably added to strengthen an existing wall. The fact that it butts up to the offshot, but runs behind the toilet and steps suggests that the lower wall, toilet and steps are contemporary in terms of the date of their construction.
- 4.17 The original configuration of the rear of the dwelling is not known but the door opening from the offshot into the lightwell is a later insertion so it is quite possible that originally there may have been no rear egress from the dwelling. The OS map of 1894 shows what appears to be an external rear space behind numbers 6, 8, 10 and 12 Wood End but not behind numbers 2 or 4, while the OS map of 1907 appears to show external space behind all of the dwellings, so perhaps these rear lightwells, and possibly also the offshots, were added after the construction of the terraced row, with the lower section of the rear elevations having originally been built into the hillside. It is impossible to discern from the evidence that has been located, but what is clear is that certainly elements of the rear lightwell are later additions and that the configuration of this rear space has changed over time.

5.0 THE SIGNIFICANCE OF THE HERITAGE ASSET

- 5.1 The NPPF defines significance as ‘the value of a heritage asset to this and future generations because of its heritage interest’. Such interest may be archaeological, architectural, artistic or historic’ and it may derive ‘not only from a heritage asset’s physical presence, but also from its setting’.
- 5.2 8 Wood End is an inner-terraced dwelling, in a row of six similar dwellings, located on the steep hillside to the north of the town centre and listed for their group value. It is an early example of the nineteenth-century workers’ cottages found in the Keighley Road area, pre-dating much of the area’s industrial expansion and likely originally constructed to house home-workers involved in the woollen trade, which flourished in the area before cotton production overtook it.
- 5.3 The significance of 8 Wood End lies predominantly in its contribution to its local setting and the wider Conservation Area rather than in its individual historical or architectural merit.
- 5.4 In and of itself, the cottage is not particularly remarkable. However, as part of the row of similar terraced cottages in which it is located, and as one of several different types of vernacular workers’ cottages that can be found in the character area it is architecturally and historically significant as it shares characteristics with, and reveals differences to, other dwellings in the settlement, thus helping to illustrate key aspects of the development of the town and representing a good surviving example of a particular local style of early nineteenth-century workers’ cottages.
- 5.5 The visible front elevation of the application site contributes both to its immediate setting and to the wider Conservation Area through the use of the local vernacular style, which is distinct to the area and an essential component of its identity and sense of place. It records local craftsmanship methods, uses local materials and responds to the local topography. It also speaks to the social, cultural and economic history of the area, while the massing and materials of the building contribute to the aesthetic value of the settlement.
- 5.6 The rear elevation of the dwelling is less visible because of the topography of the site and surrounding tree cover, but it illustrates the local construction methods used to overcome the challenges presented by the steeply sloping sites, with the construction of rear lightwells to allow natural daylight into the rooms at the back of the dwellings and also incorporating an outside toilet.
- 5.7 The collection of surviving dwellings also yields evidence about the social, cultural and economic organisation of the contemporary society. Subtle differences in the design of houses demarcate the social hierarchies of the mill workers who lived in them. The larger houses with front gardens would have been occupied by workers of a higher social standing than would have lived in the one-up-one-down cottages with front doors opening directly on to the street and for practical reasons the early workers’ cottages that were both home and workplace had bigger floor areas, to accommodate machinery, and more windows, to let in natural light for working by, than the later dwellings that were constructed to house those employed in the mills and factories.
- 5.8 Like its neighbours, 8 Wood End retains the majority of its typical vernacular characteristics. The walls have been inappropriately re-pointed, with those to the

rear heavily strap pointed using a cementitious mortar, but it is clearly constructed from local stone in flat-faced, regular courses. The doors are not original and the windows and have been replaced; those to the rear with unsympathetic stormproof profiles, with some of the rear stone mullions having been removed and one of the rear window openings having been infilled to accommodate changes to the internal layout, but the fenestration to the front elevation retains its stone window mullions. The roof has had roof lights inserted to the front and rear slopes but it retains its chimney stacks, Yorkshire stone slate covering laid in diminishing courses and timber gutters. Fundamentally the original form and appearance of the cottage remains discernible and makes a positive contribution to the appearance of the Conservation Area and the wider settlement and to our ability to 'read' its development.

- 5.9 Surviving workers' cottages are therefore significant in terms of their evidential value, as they have the potential to yield evidence about past human activity, and illustrative historical value, as they provide a visible link to the past history of the place and provide insights into the employment and social organisation of past communities.
- 5.10 Such cottages also have aesthetic value derived from their consistent and distinct vernacular detailing, harmonious form, proportions, massing, views and materials.
- 5.11 As a Grade II listed building, listed for its group value with its neighbours, and which derives value from its contribution to the wider Conservation Area, 8 Wood End, Hebden Bridge, is assessed as being of moderate significance.

6.0 THE PROPOSED WORKS

Proposed Works	Objective	Significance of Affected Fabric	Assessing Beneficial Impact	Assessing Harmful Impact	Proposed Solution
Demolish the redundant outside toilet.	To remove the front wall and roof of the redundant outside toilet in order to open up the lightwell and increase the amount of beneficial outside space available and improve environmental conditions in the rear lightwell.	The outside toilet is not an original element of the cottage. Unlike the offshot, which is felt to be contemporary, or near contemporary with the cottage, it is not constructed from stone and the junction with the rear wall of the cottage is awkwardly detailed. It is clearly a later addition, likely early C20, and its thin front wall is poorly constructed. It speaks to the evolution of the dwelling and its layout before inside plumbing was installed and therefore has some evidential value. It is, however, now entirely redundant and in a poor state of repair and contributes negatively to the aesthetic value of the cottage.	The outside toilet is redundant and has no current beneficial use. It takes up nearly half of the footprint of the lightwell, limits natural daylight into the kitchen, affects the configuration of the dwelling's drainage and attracts pests and vermin. By removing the elements of the structure that do not form part of the perimeter of the lightwell the homeowner's amenity and health and safety will be significantly improved.	Removing the roof and front wall of the toilet will result in the loss of some elements of early C20 fabric but the significance of this fabric is low and it is not part of the original cottage construction. While there is some evidential value associated with the structure it has negative aesthetic value. The neighbouring dwelling, 6 Wood End, has already removed their identical outside WC with consent, 05/00656/LBC with the case officer noting 'The rear wc is in a poor state of repair, and its removal is not considered to be harmful to the character or setting of the Listed Building'. Dismantling elements of the redundant outside toilet will result in less than substantial harm to the significance of the cottage.	The existing structure and layout have been recorded by measured survey and photography so a record of the outside toilet exists. The proposal is to remove the minimum of fabric i.e. only the elements which do not form part of the lightwell perimeter and to make good the retained elements.
Repair the rear lightwell and upgrade safety handrails and guarding.	To return the retained lightwell to good condition and to replace defective guarding with guarding that is compliant with current Building Regulations to open drops where falls from height could occur, namely the	The proposal will require the existing non-compliant guarding to be removed. This is modern in character and not of historic significance. The concrete piers atop the retaining wall will be retained and repaired. The	Installing compliant guarding to open drops and an improved handrail to the existing steps will significantly improve safe access/egress and circulation around the site. At the moment there are several areas of the site	There will be no loss of historic fabric but the new guarding will need to be securely fixed into the existing fabric and the introduction of new guarding and handrails will alter the appearance of the rear elevation of the	The new guarding will be plain in design, similar to the railings to the front elevation of the property, but without the top row of spikes that could cause injury in the event of a fall. Fixings into historic fabric will be kept to a minimum.

	<p>top of the retaining wall at the bottom of the garden banking and to the open edge of the offshot roof. The proposal also seeks to improve the structure and guarding/handrail to the existing steps from the lightwell up to the offshot roof but it is not possible for the design of this to be compliant with current Building Regulations due to the inherent non-compliance of the steps and the restrictions imposed by the lightwell. The bottom two steps will be rotated through 90 degrees when the toilet is removed to maximise the useful space in the lightwell and the lightwell walls will be repainted.</p>	<p>new guarding will be securely fixed to elements of the existing fabric which are generally assessed to be of low significance and likely date to the early C20. Where fixing into historic masonry is unavoidable every effort will be made to fix into mortar joints wherever possible. The steps date to the early C20 and their reconfiguration will have no impact on significance.</p>	<p>where dangerous falls from height could occur. The removal of the defective existing guarding to the top of the retaining wall will also allow the wall head to be repaired where the existing ferrous railings have caused rust jacking. The lightwell would originally have been whitewashed to maximise natural light into the rear of the dwelling that is constructed below ground level and so repainting the walls of the lightwell using an appropriate limewash/paint system will have a beneficial aesthetic impact.</p>	<p>dwelling. This elevation is of lower significance than the front elevation, which will be unchanged. There are few locations from which it can be seen and so any changes will have low/no impact on the setting of the listed building or the Conservation Area. The installation of replacement guarding will result in no loss of historic fabric but may require new mechanical fixings into historic fabric, however, this will result in less than substantial harm to the significance of the cottage and any minor harm will be outweighed by the significant health and safety benefits afforded to the homeowner and site visitors.</p>	<p>The existing retaining wall will be repaired to return it to good condition and extend its service life.</p>
<p>Form a new door opening at first-floor level on to the roof of the rear offshot to provide safe access to the rear banking.</p>	<p>To create safe egress to the rear of the dwelling; to provide a safe access route to the rear garden area and a means of safe escape from the dwelling in the event of an emergency.</p>	<p>The new opening will alter the appearance of the rear elevation of the dwelling, however, this elevation is of lower significance than the front elevation, as the cottage is listed primarily because of its group value with the neighbouring cottages and the front elevation of the contributes positively to the Conservation Area. There are few locations from which the rear elevation can be seen and</p>	<p>The proposal will significantly improve health and safety at the site. There is currently no safe means of access to the rear garden area as access is via very narrow, steep and unevenly spaced ladder-type steps, which appear to date to the early C20 and are constructed from either concrete or steel with a spray coating. These rise from the lightwell up on to the roof of the rear offshot which</p>	<p>The new opening will result in the loss of some historic fabric and will change the appearance of the rear elevation. However, as the changes proposed are confined to the rear elevation the property the overall impact on significance is low and will result in less than substantial harm, any minor harm will be outweighed by the vastly improved safety of the occupants.</p>	<p>The existing rear elevation has been recorded by measured survey and it will still be possible to read the original four-light fenestration pattern, which speaks to the cottage's original function as both home and workplace. The new door will be constructed from materials in keeping with the character of the property and match the style of the door into the offshot, it will be painted to match</p>

		<p>so any changes will have low/no impact on the setting of the building or the Conservation Area. The new opening will involve the removal some historic fabric, but the ashlar window jamb will be retained and reused to create the new lintel. The construction of the new opening requires the relocation of an internal stud partition wall, this is a modern insertion and of no historic significance; historically the first floor would have been much more open than its current layout, which has enclosed space to form a bedroom and bathroom. It will also require some of the ceiling joists to be raised to form a bulkhead in the loft to accommodate the new door. This will involve the replacement of existing fabric, however, the joists are likely to be of low significance, probably upgraded when the loft was improved, however, if found to be of significance they could be included in the new design.</p>	<p>functions as a bridge to the rear banking. This access is inherently unsafe but it is not possible to construct steps that would comply with current regulations due to the restrictive dimensions of the lightwell. Removing the steps may damage the retaining wall so it is therefore proposed to retain the existing steps in situ but for them to be rendered redundant (except perhaps in an emergency situation which requires egress from the ground floor rooms to the rear of the dwelling) by the construction of the new first-floor door opening, which, going forward, will provide safe access to the rear of the property. The new opening will also improve natural light to the first floor of the dwelling, which has historically been reduced by infilling the fourth window light. This will reduce reliance on electric lighting and improve sustainability.</p>		<p>the windows. Locating the new opening within the infilled window light was explored but has not proved possible due to the internal layout. However, while this would have resulted in the loss of less fabric it may have led to confusion about the origin of the opening and the original pattern of fenestration. The current proposal makes clear that this opening is a later insertion and retains visual reference to the original four-light window configuration.</p>
<p>Install new external lighting to the rear of the property.</p>	<p>To install 2No new luminaires at the rear of the property to improve health and safety and security. 1No luminaire to directly replace an existing</p>	<p>The lights will be fixed to the rear elevation of 8 Wood End. Although the dwelling is Grade II listed its significance is predominantly associated</p>	<p>The impact of the new lighting will be positive. It will improve security at the rear of the property and make access/egress to the rear of the property safer.</p>	<p>The new luminaire will require cabling and fixing to the masonry and will result in minor disturbance of the historic fabric and a minor change in the</p>	<p>Cabling and fixings will be into mortar joints where possible so as not to damage the stone. The lights will be located on the rear elevation and</p>

	unit to illuminate the lightwell, the second to be located so as to illuminate the flat roof of the offshot.	with its group value as part of a terraced row and is predominantly associated with the principal, street-facing elevation.		external appearance of the rear of the building.	will be unobtrusive carriage-type lights in keeping with the character of the Conservation Area.
Install new glazed internal double doors between the kitchen and living room.	To replace the current solid single door between the kitchen and living room with glazed double doors to improve circulation and increase natural light in the rear room of the dwelling.	The door opening between these two rooms has historically been moved and the former opening has been infilled with blockwork. The proposal is to remove the modern blockwork, which will create a double width opening without resulting in any loss of historic fabric.	The beneficial impact will be to create a space more suited to C21 living without harming any historic fabric and without significantly altering the spatial proportions of the dwelling. With the doors closed it will still read as two distinct rooms but with the benefit of improved natural daylight in the kitchen, reducing reliance on electric lighting. With the doors open it will open up the space between the two rooms and improve ground floor circulation.	The proposal will alter the character of the dwelling. At the moment the living room is light and airy, benefitting from daylight from the four-light ground-floor window, while the kitchen is small and dark, located below ground at the rear of the dwelling. The installation of internal glazed double doors, combined with the proposed reconfiguration of the lightwell, will increase the level of natural light in the kitchen. Any harm will be less than substantial and will be outweighed by improved environmental performance and amenity. There will be no harmful impact on historic fabric.	The opening will only be enlarged by removing modern blockwork associated with infilling and moving a former opening. There will be no loss of historic fabric and the two rooms will continue to function and be demarcated as separate spaces.

7.0 CONCLUSION

The proposals will not substantially harm the significance and heritage values of the heritage asset and its setting. They will create a safer and more sustainable dwelling which is better adapted to C21 living without significant loss of historic fabric and while still retaining all of the critical elements which contribute positively to the group value of the terraced row and the wider Conservation Area. Where new fabric elements are introduced, they will respect the age and character of the dwelling and the traditional local palette of materials. The proposals are confined to the rear elevation of the dwelling, to which less significance is attached and which has historically accommodated change and interventions. While some of the proposals will impact on significance, either by removing elements of a previous phase of the cottage's evolution, or by introducing a new phase of development, the cottage in its current form has been recorded. Any changes are felt to be justified and proportionate as any harm is less than substantial and is outweighed by the benefits of improved occupant health and safety and amenity.

8.0 REFERENCES

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