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DESIGN AND ACCESS STATEMENT

Bushey Beaumont Care Home
High St,
Bushey
WD23 1QN

Grid Reference: 51.644254°N 0.364272°W
National Grid Reference: TQ1326595202

Internal alterations and refurbishment to sustain and enhance significant heritage asset.

Heritage Category: Conservation Area
Grade: II
List Entry No: 1103609

INTRODUCTION

Listed building consent is being sought in relation to the programme of works required to repair and refurbish the extension and original house of Bushey Beaumont Care Home. This application for Listed Building Consent, to which this statement relates, seeks consent for the internal works that which affect the character of the building of special architectural and historic interest. No external works are proposed in this application.

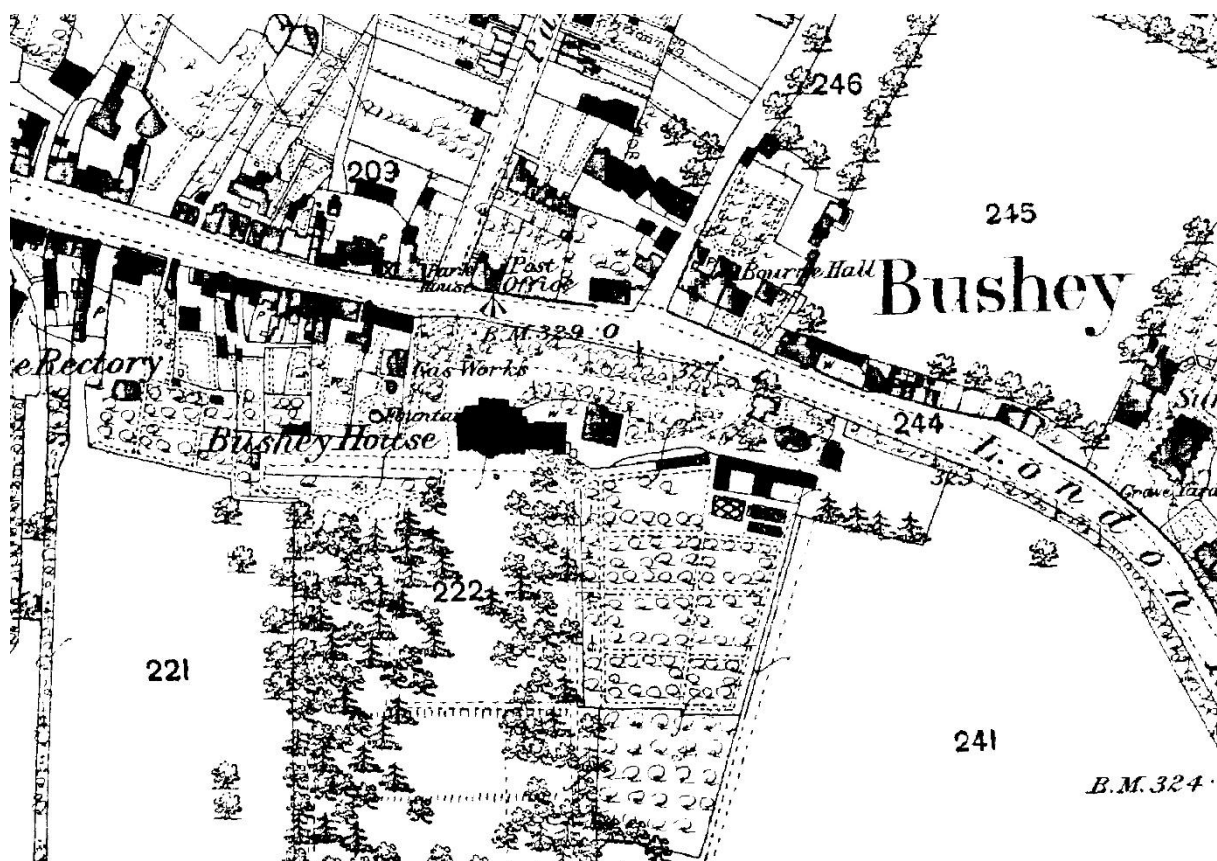
BACKGROUND

Originally a large house that was designed possibly for T.Clutterbuck. Bushey House was remodelled and enlarged in c.1900 probably for E.H.Cuthbertson. The house consists of Stuccoed brick, ashlar portico, hipped slate roofs with 5 bays 1:3:1 ratio extended to sides.

The building is located on the south side of High Street in the centre of the town Bushey, southeast of Watford.

Bushey Beaumont retains its heritage features to this day and blends well with the vernacular of the locality. The majority of the scope of this project is to carry out works to the C.20th century block to the right maintain the internal fabric of the building by refurbishing and repairing areas of the building that are no longer fit for purpose, whilst ensuring that this important piece of local heritage does not fall into disrepair. A small alteration in the main house is proposed to remove some internal studwork walls to combine two care bedrooms to create a single large bedroom and to create a larger ensuite to the existing adjacent bedroom, due to the existing bedrooms being not functional.

The historical map below shows the original house prior to the extension, recorded c.1870.



DESCRIPTION

Bushey House is a Grade II listed building with a c.1900 extension. The original house is three stories with a central entrance and flanking ground floor bays. The fenestration is cross glazed timber casements. The elevations have a plat band to the first floor and a moulded band to the second floor. There are two light casements symmetrically either side of the three-floor section. The roof lights have an ionic aedicular surround with a segmental pediment.



Image 1



Image 2



Image 3



Image 4

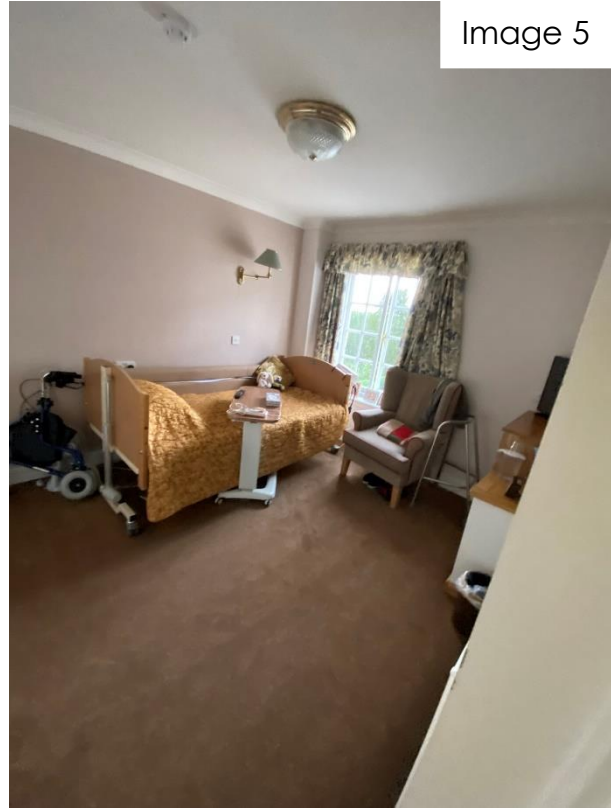


Image 5

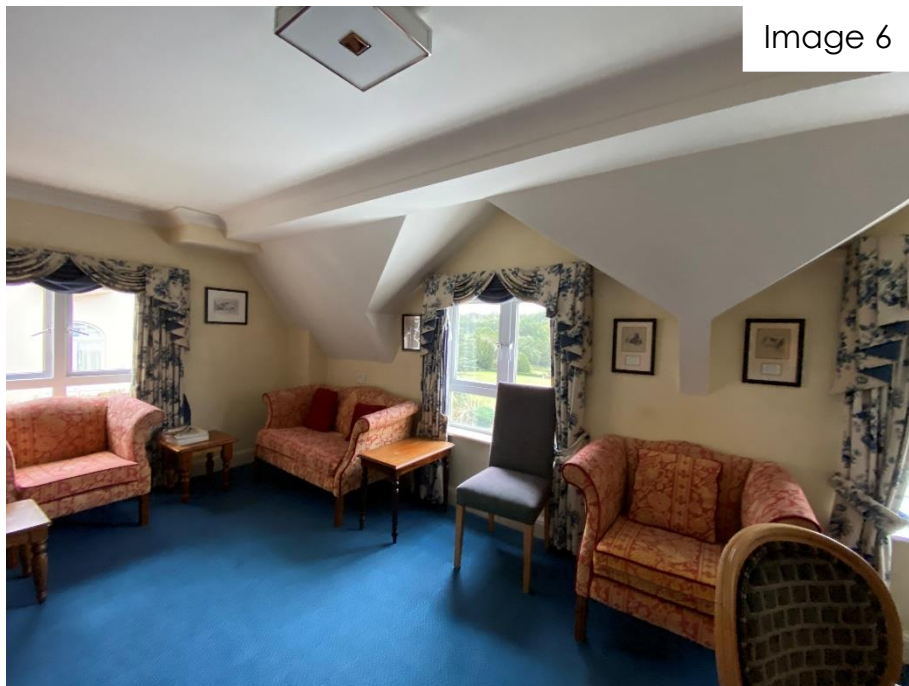


Image 6

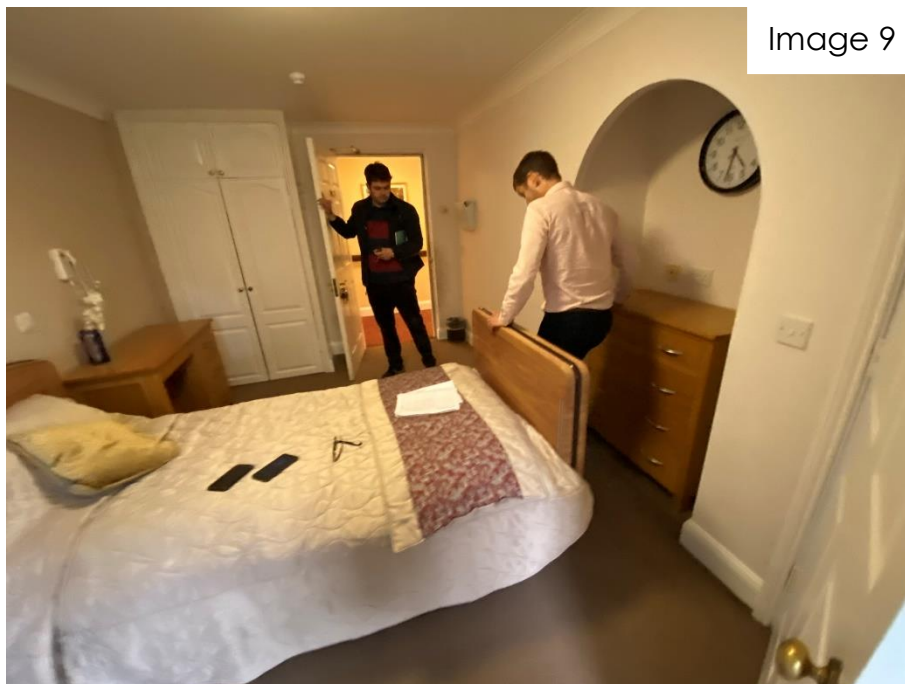
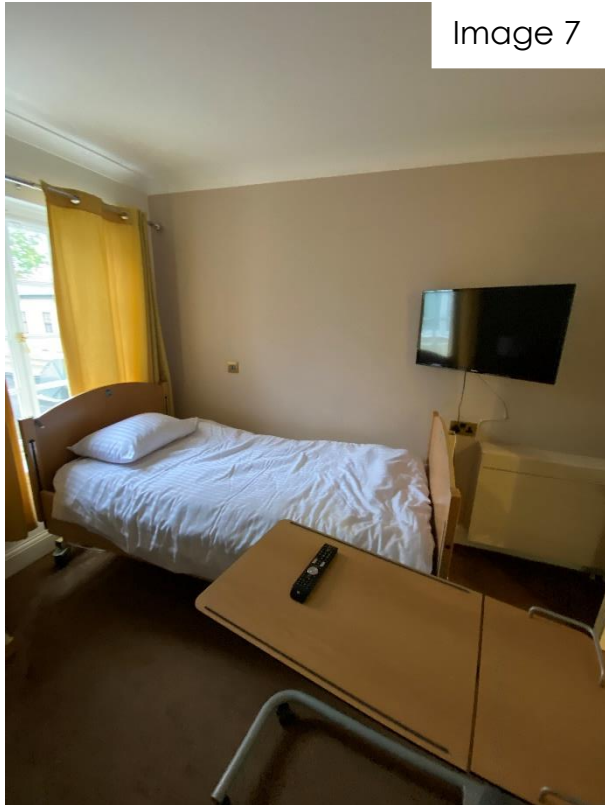


Image 1: Listing image taken from Bushey High Street.

Image 2: Front entrance of Bushey House taken from car park.

Image 3: C.19th century extension taken from rear garden.

Image 4: Existing shower & bathroom in C.19th century extension on first floor, proposed to be combined into a large spa bathroom with shower.

Image 5: Existing bedroom 50 on first floor. Proposed to be combined with bedroom 52 to create large bedroom.

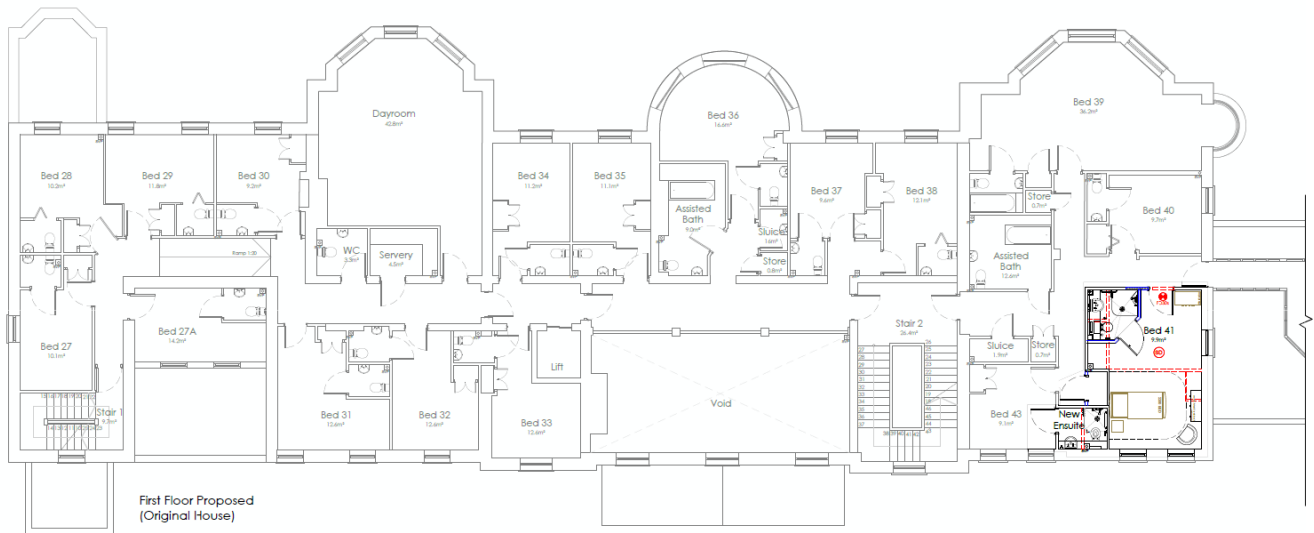
Image 6: Existing lounge on first floor.

Image 7: Existing bedroom 41, proposed to be combined with bedroom 42 to create a larger more operationally friendly room.

Image 8: Existing ensuite to bedroom 41. Larger ensuite proposed to the two combined rooms.

Image 9: Existing bedroom 48 proposed to be combined with bedroom 46 to create a larger more operationally friendly room.

PROPOSALS



KEY

- - New Wall
- Existing Door Filled In
- - - - Wall To Be Demolished
- P - Premium Bedroom

SUMMARY OF PROPOSALS

- Beds 41 and 42 partition and former ensuite wall to be demolished to create one large bedroom with ensuite incl. shower.
- New large ensuite to Bedroom 43.
- Former Asst. Shower & Asst. Bath to be combined to create large spa bath.
- Bed 46 & 48 combined to create one large bedroom with ensuite incl. shower.
- Bed 50 & 52 combined to create one large bedroom with ensuite incl. shower.
- Bed 54 & 56 combined to create one large bedroom with ensuite incl. shower.
- Bed 58 & 60 combined to create one large bedroom with ensuite incl. shower.
- Corridor doors & walls removed – new 60min-compartment created.
- Repairs to lath and plaster in main staircase.

ASSESSMENT OF SIGNIFICANCE

Bushey Beaumont is a Grade II listed building and so is regarded as a building of significance in a national context. There have been some major interventions to the original building in partitioning rooms to create residents' bedrooms with ensuites. The proposed works will have no change to the external look of either the original house or to the C.19th century extension.

PEDESTRIAN ACCESS

- Pedestrian access will remain unchanged.
- New internal doors will be 1m wide to allow for easy access by all.
- New ensuites will have level access showers to benefit access by residents.

VEHICLE PARKING AND ACCESS

The new bedrooms will decrease the total number of bedrooms and as such will have no impact on staff numbers.

LANDSCAPING

The new bedrooms will have no effect on the landscaping and as such there are no changes proposed.

END OF DESIGN AND ACCESS STATEMENT