

DECEMBER 2023

JOB NO: 2213

PROJECT:

PROPOSED ADDITIONAL STOREY & CHANGE OF USE FROM GARAGES  
TO MIXED USE GARAGE & RESIDENTIAL; LIVE-WORK UNIT  
at  
20 BRISTOL GARDENS, KEMPTOWN, BN2 5JR.



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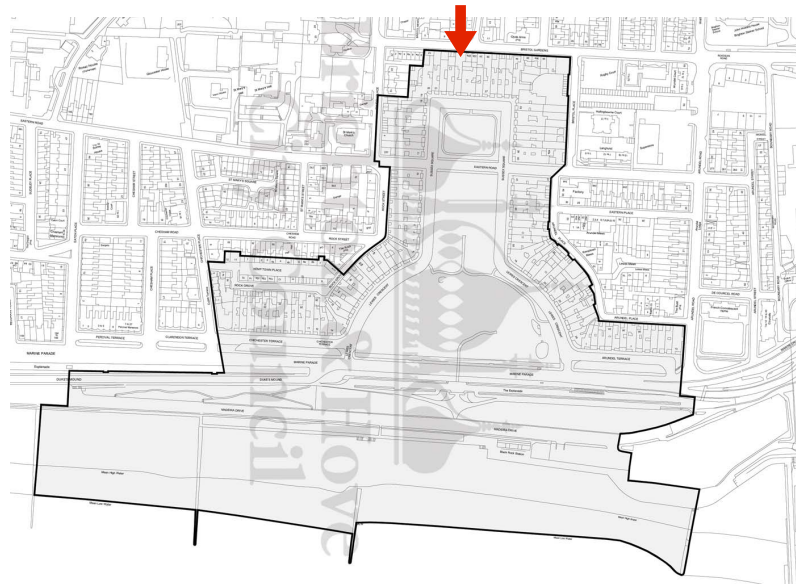
# HERITAGE STATEMENT

## SITE LOCATION:

The site is accessed off Bristol Gardens and forms a 2 car garage to the rear of 24 Sussex Square, Brighton.

## SITE CONTEXT:

The site sits within a residential area of Kemptown, Brighton. The existing building front onto and is accessed off Bristol Gardens. This forms the outer edge/boarder of the Kemptown Conservation Area.



*Kemp Town Conservation Area*

## HERITAGE SIGNIFICANCE:

- **Scheduled Ancient Monument (SAM):** The building is not a scheduled ancient monument.
- **Archaeologically Sensitive Area (ASA):** The building is not in an archaeologically sensitive area.
- **Listed Building(s):** The application site lies behind the Grade I Listed Buildings of Sussex Square.
- **Conservation Area(s):** The site lies on the northern boundary of the Kemp Town Conservation Area. The alterations will not have a negative impact on the Conservation Area.
- **Historic Parks and Gardens:** The building is not within a Historic Park or Garden.