

November 2023

JOB NO: 2213

PROJECT:

PROPOSED ADDITIONAL STOREY & CHANGE OF USE FROM GARAGES
TO MIXED USE GARAGE & RESIDENTIAL; LIVE-WORK UNIT
at
20 BRISTOL GARDENS, KEMPTOWN, BN2 5JR.



architecture + design
tel: 07814236038
www.studioheffel.com
hello@studioheffel.com

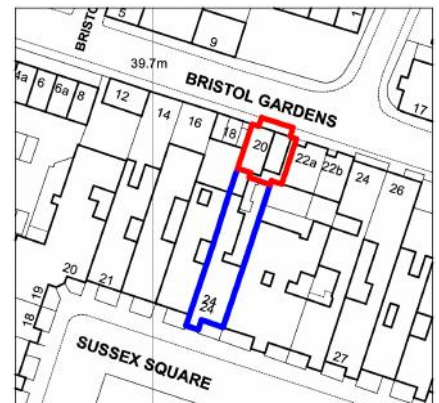
DESIGN & ACCESS STATEMENT

SITE LOCATION:

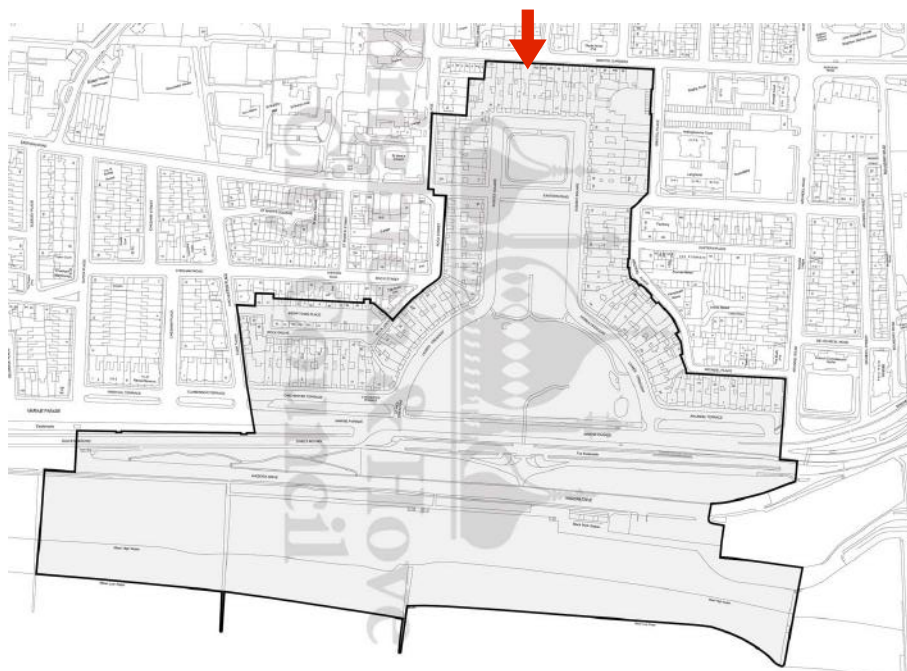
The site is accessed off Bristol Gardens and forms a 2 car garage to the rear of 24 Sussex Square, Brighton.

SITE CONTEXT:

The site sits within a residential area of Kemptown, Brighton. The existing building front onto and is accessed off Bristol Gardens. This forms the outer edge/boarder of the Kemptown Conservation Area.



Site Location Plan



Kemp Town Conservation Area

SITE CHARACTERISTICS:

Bristol Gardens gently slopes upward from east to west. The application site is generally flat with a slightly stepped access fronting onto the road.

Bristol Gardens has an eclectic mix of building types, sizes and styles. The building immediately to the east is a fairly modern, simple, 2-storey plus pitched roof residential building. The building to the west is a double garage.

The rear of Sussex Square is visible and is in parts very messy and has been extended and altered to various extents. There is a gap in the southern street elevation, which allows for clear views to the rear of Sussex Square. The street elevation to the north is continuous residential buildings of varying scales and styles.



Bristol Gardens: Existing North Street Elevation



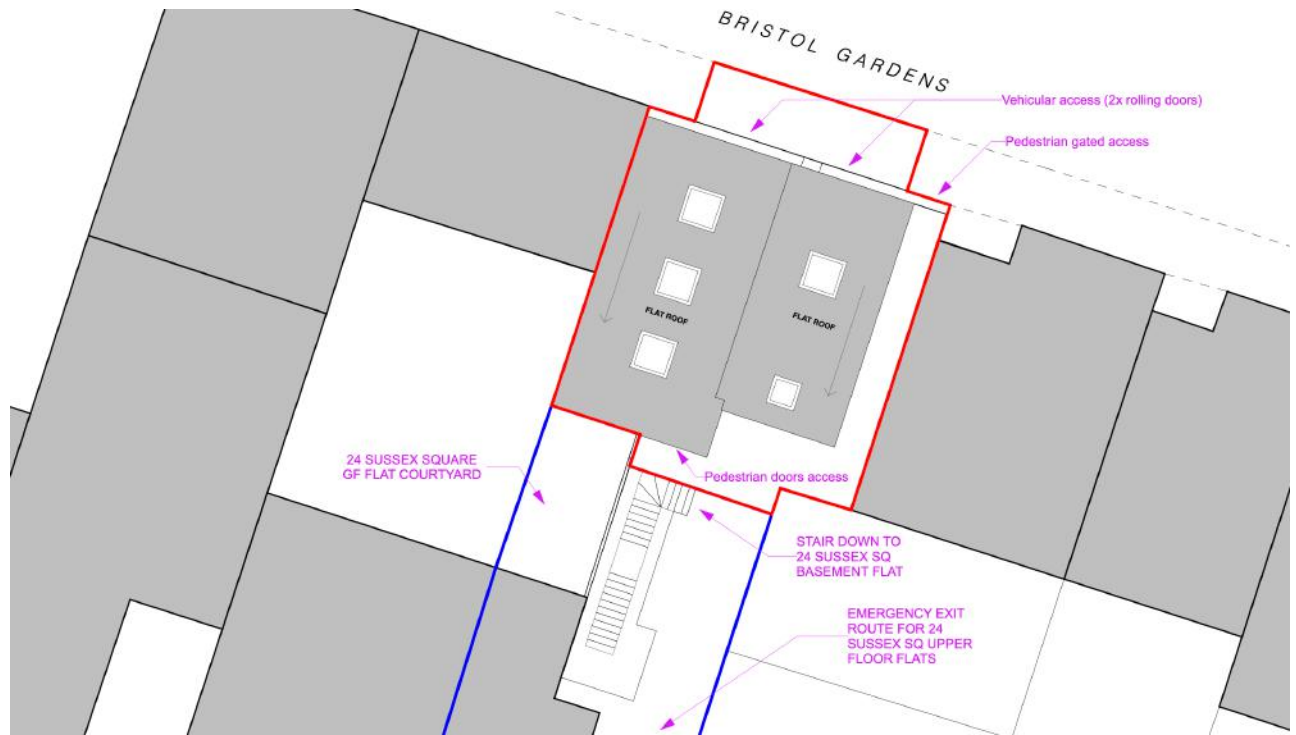
Bristol Gardens looking west



Bristol Gardens looking east

HISTORIC DEVELOPMENT OF THE SITE / PLANNING HISTORY:

The site was previously a flat hard surface parking area. The existing building was built following a planning approval ref: 2019/02659.



Existing Site Plan

PROJECT AIMS:

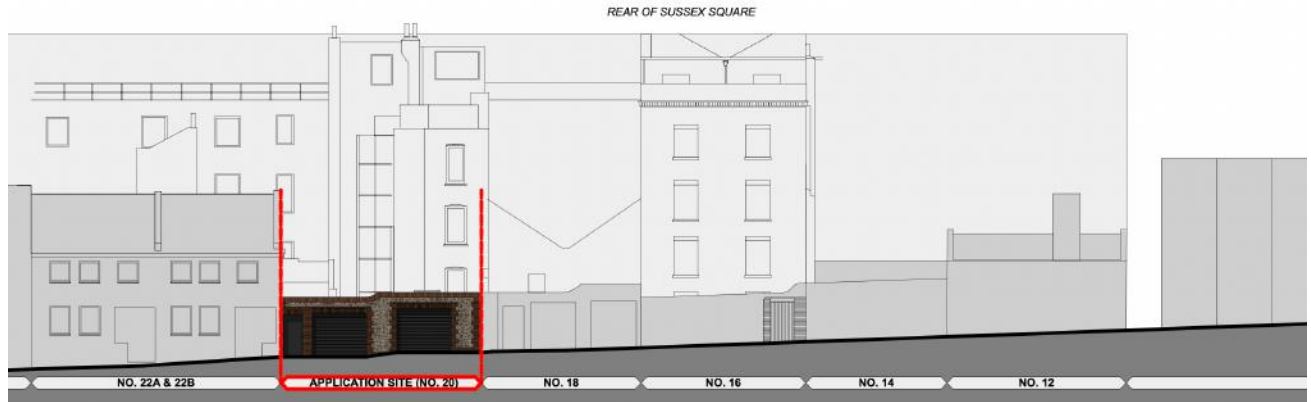
This application proposes the addition of a first floor self contained living unit, to create a live-work unit. The proposed first floor would utilise the existing structure and would create a studio unit. The proposal would be for a mixed use unit, living, working and garage. Since the pandemic, there has been an increasing need for live/work accommodation.

PROJECT CONCEPT:

There is an existing gap in the Bristol Gardens south street elevation. This allows for extensive views across the rear of Sussex Square, which is an eyesore, with a variety of amendments, extensions and mess. The proposed development would help screen these views.

The existing building have a variety of scaled and styles. This mix of house types makes this street eclectic and diverse in its overall appearance.

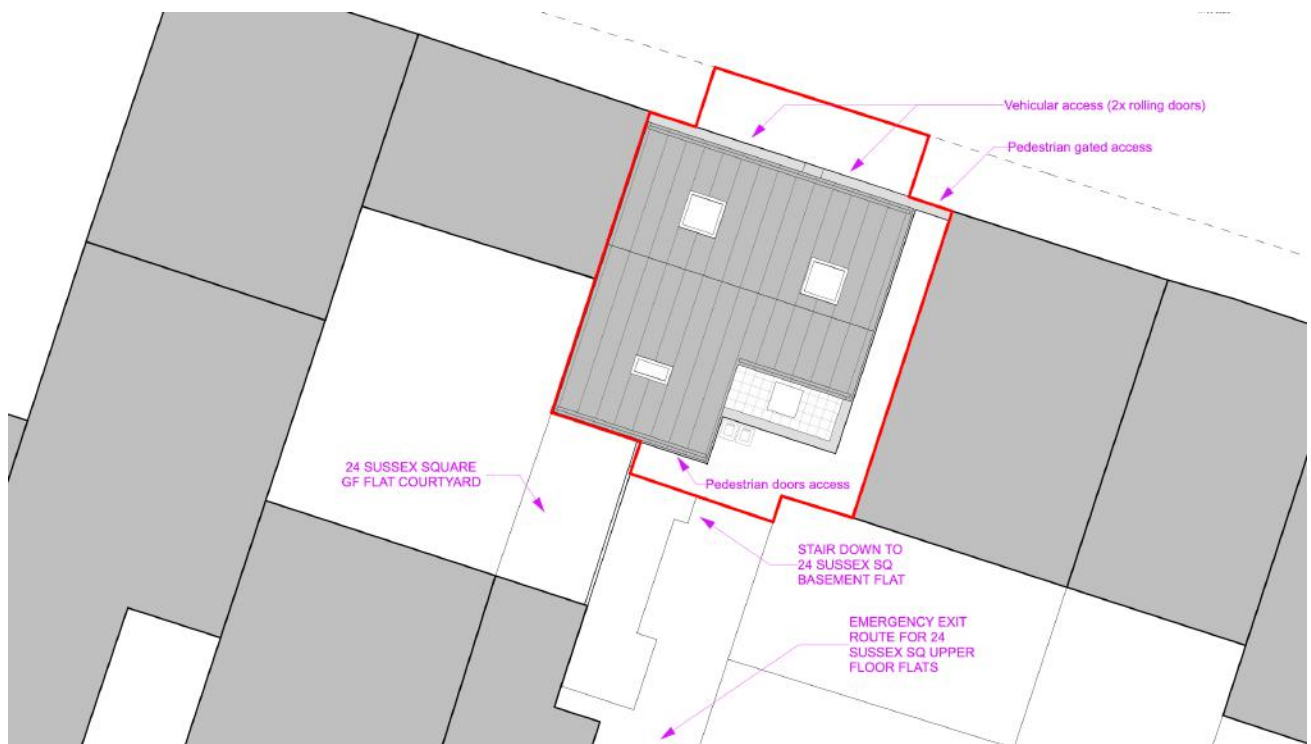
The proposed development is modest in scale with a contemporary twist, distinguishing it as a newer development, rather than that of a mock-traditional appearance. The choice of materials and styles complements the existing garage use.



Existing Bristol Gardens Street Elevation

LAYOUT:

The proposed first floor addition proposes an open plan studio room, with a small south-facing, private balcony to the rear to allow for some external amenity space.



Proposed Site Plan

PRE-APPLICATION ADVICE:

N/A

ACCESS:

Access to the building will remain as existing

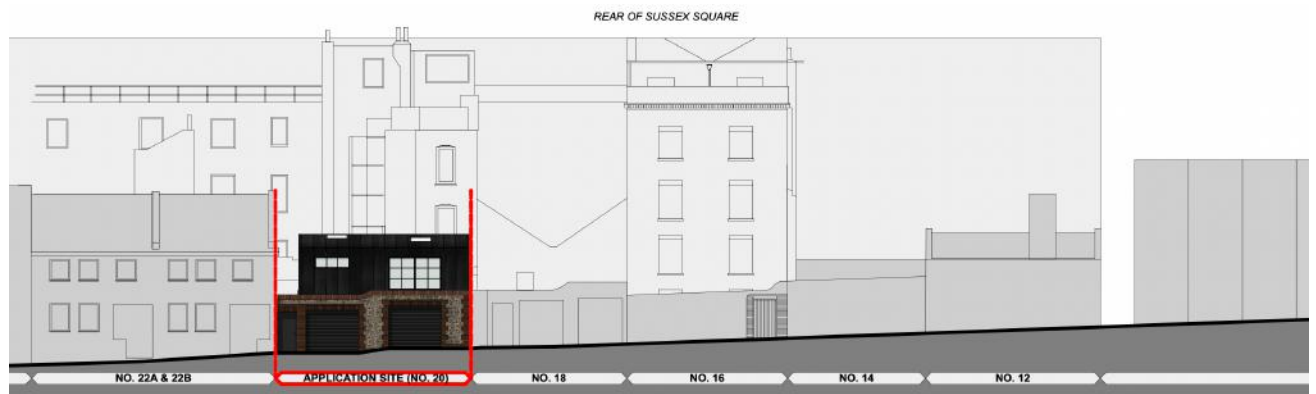
APPEARANCE:

Existing building to remain as existing. The existing building comprised multi-red brick, with flint panel details and black painted door openings. The proposed materials are as follows:

- First floor to be black aluminium standing seam cladding (walls and roof)
- First floor windows and external doors to be powder-coated aluminium black
- Rainwater goods to be powder-coated aluminium black



Proposed Elevations



Proposed Street Elevation

SUSTAINABILITY:

All materials are to be sustainably and locally sourced where possible. All works are to exceed the minimum standards as set out in the Building Regulations Approved Documents.

CONCLUSION:

This planning application seeks to create a modest live-work unit and uplift the existing streetscape. The extension proposes to create an open plan kitchen, dining and sleeping studio space located above and accessed via the existing garage & work space.

As the site lies to the north of the Sussex Square dwellings and front onto (with windows facing) Bristol Gardens to the north, the proposal will not negatively impact any existing amenity or daylight considerations.

The proposed design seeks to create a contemporary building that is in keeping with, and compliments the existing scale and eclectic style of development along Bristol Garden that purposefully screens views of the messy rear of Sussex Square, partially infilling the 'gap tooth' southern elevations.



Existing & proposed street view looking west