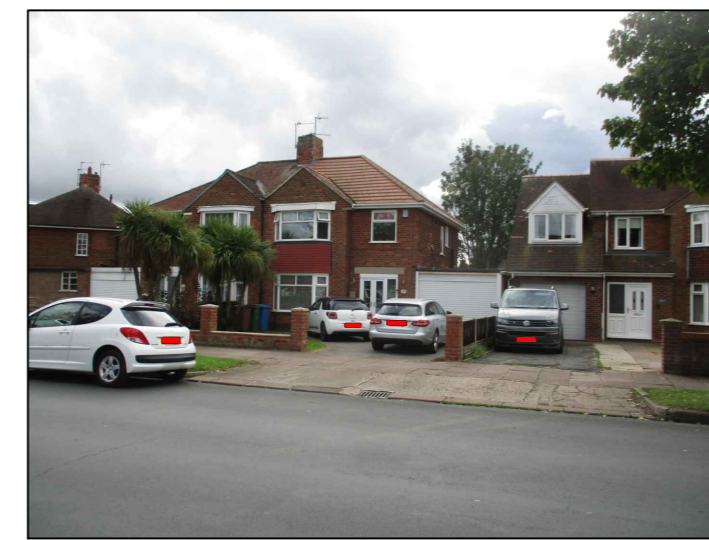
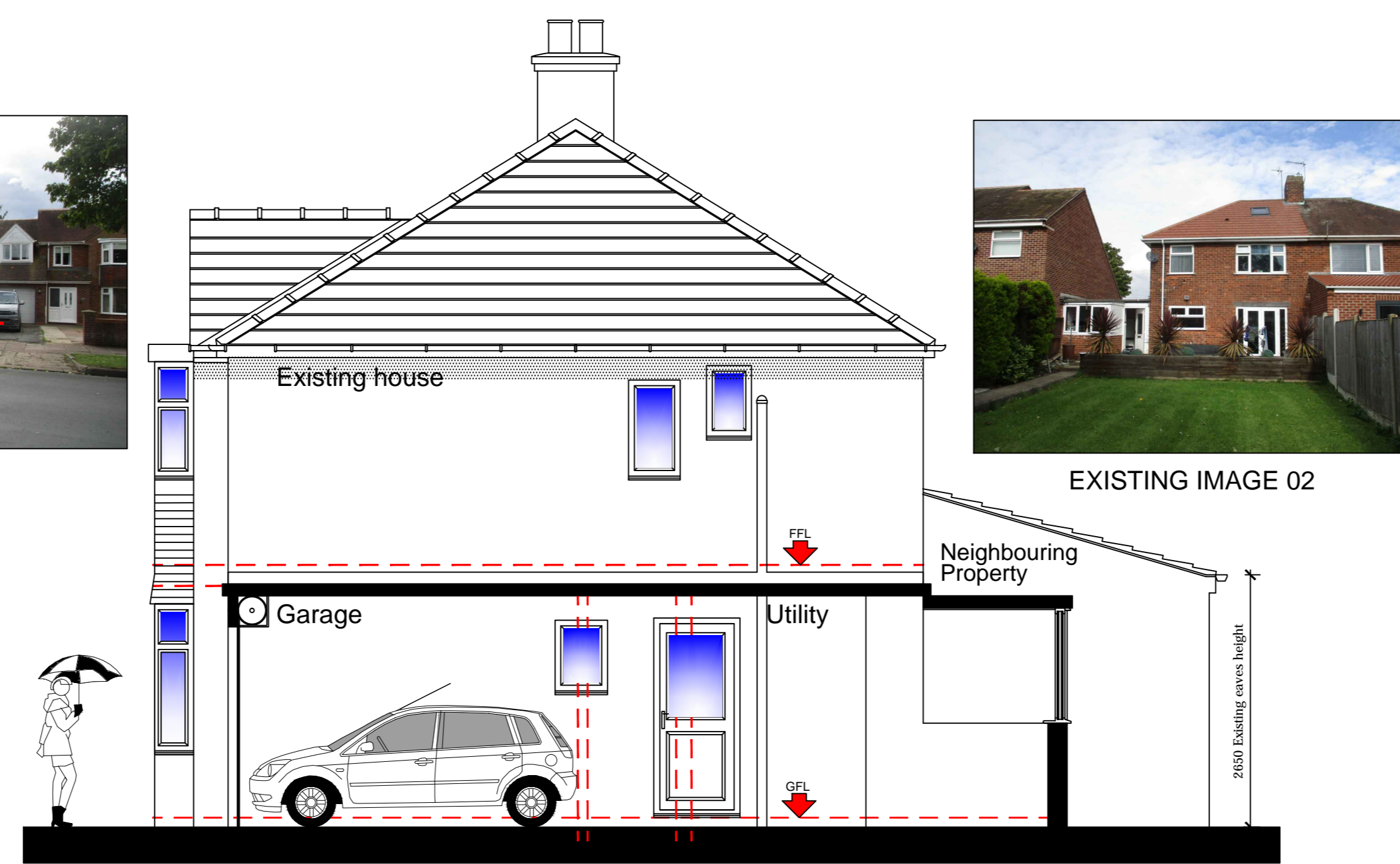


EXISTING NORTH ELEVATION



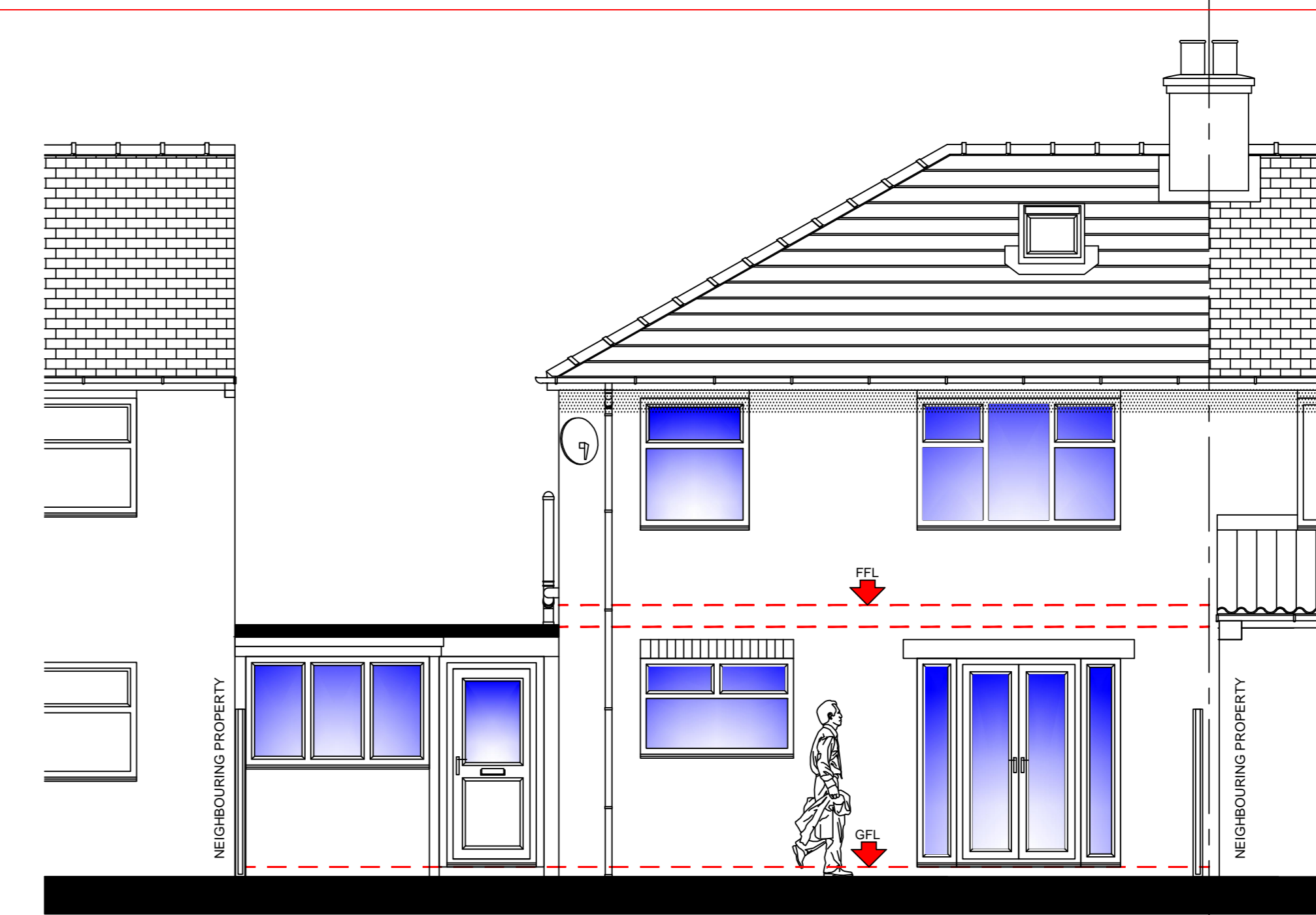
EXISTING IMAGE 01



EXISTING WEST ELEVATION (showing section through Garage / Utility room)



EXISTING IMAGE 02

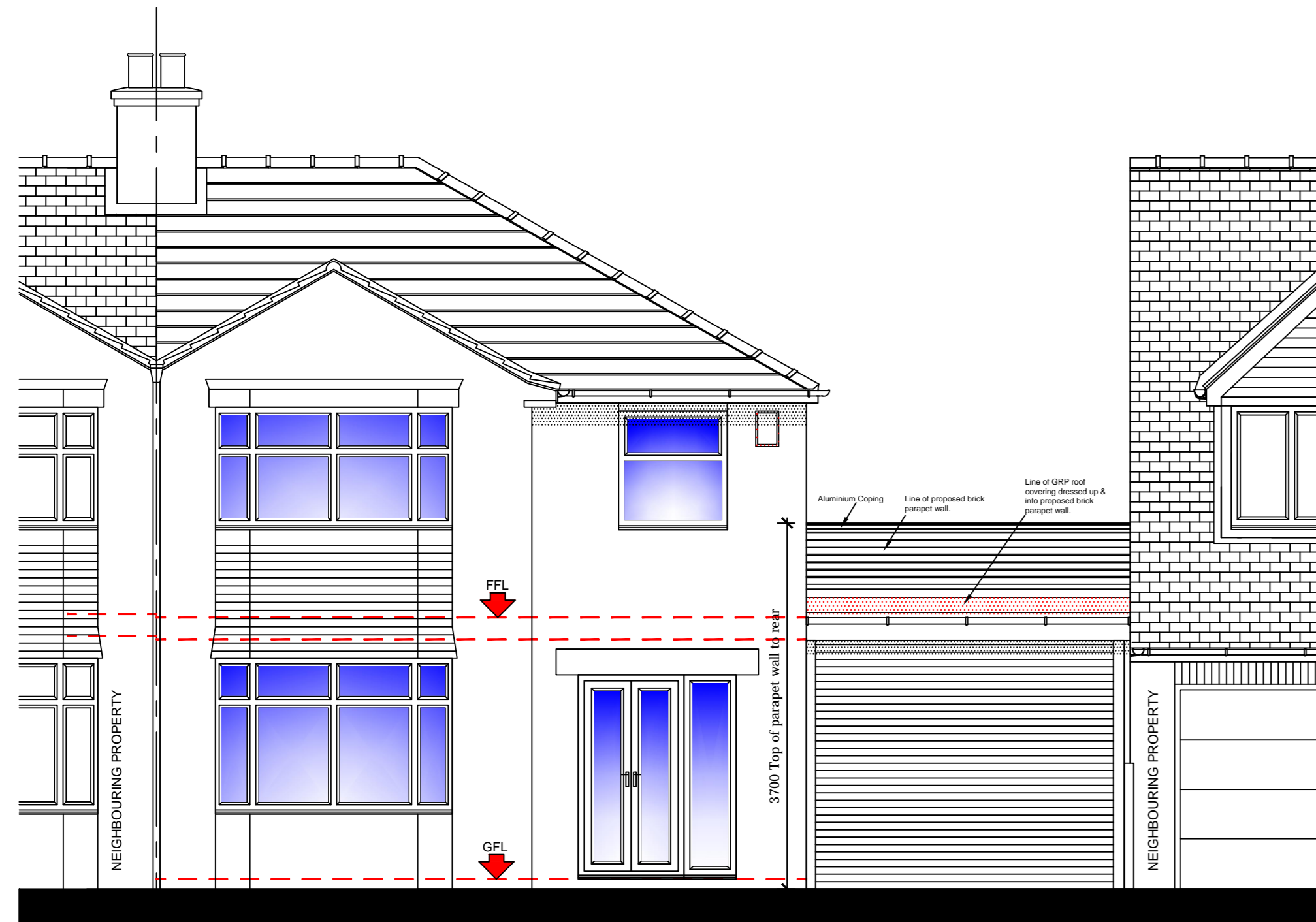


EXISTING SOUTH ELEVATION



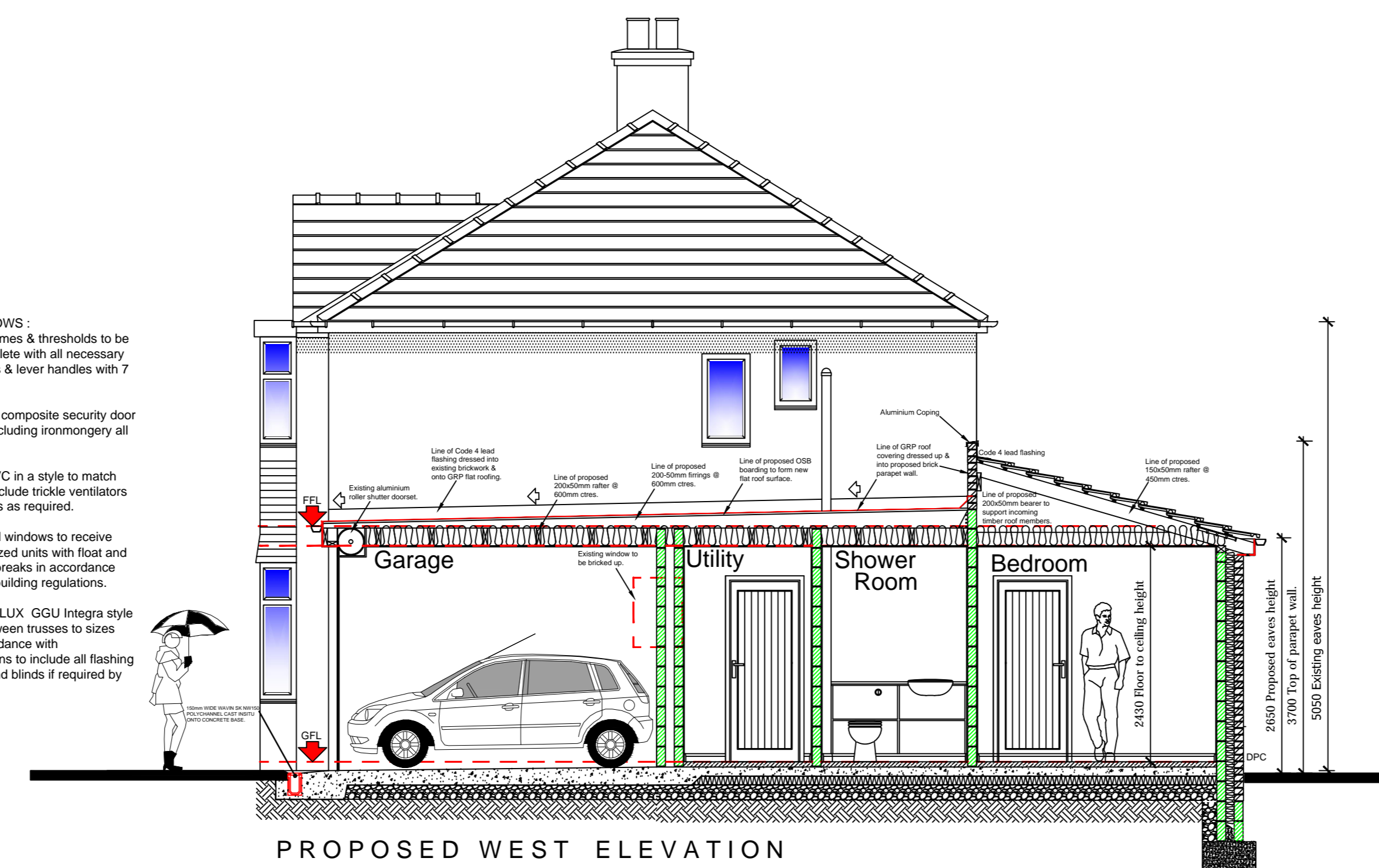
EXISTING IMAGE 03

- GENERAL NOTES**
- The contractor shall make arrangements with the client to visit the site prior to preparation of the Tender to ascertain existing ground conditions, location for waste skips and to ascertain existing ground conditions. He shall undertake an exploratory excavation to expose existing foundations and if necessary instruct a licensed geotechnical engineer or registered civil engineer to conduct a soil investigation report. He shall consider the existing water table and the possible requirement for concrete piles. He shall also locate the proximity of existing service utilities / domestic & main sewage drainage, make enquiries and provision with regard to local conditions and the full extent and character of the works in the context of the proposed development. He shall be deemed to have satisfied himself as regards existing conditions and generally to have obtained his own information on all matters affecting the execution of the works and if necessary make provision for engaging specialist consultants / sub-contractors to complete a thorough investigation of the proposed site.
  - All sizes shown on this drawing are in millimeters and should be checked on site to verify prior to ordering and fabrication of materials. Do not scale dimensions from the drawing. Work to figured dimensions in all cases.
  - All materials to be of a suitable nature and quality.
  - The contractor must establish the position of all incoming services and include for any modifications and/or renewal of services affected by the alterations and include for all costs involved. Any works to be carried out in strict accordance with Statutory Authority requirements.
  - All work is to be in accordance with the current Building Regulations and Approved Documents and to be to the satisfaction and approval of the Local Authority. A Building Notice should be submitted to the Local Authority Building Control Dept. with relevant fees no less than 48 hours prior to starting work on site.
  - All structural timber used to be C16 stress graded.
  - All electrical work to conform to N.I.C.E.I. regulations and to meet the requirements of Part P (Electrical Safety). All work to be designed, installed, inspected and tested by a member of the competent person scheme or a registered electrician who can issue a Certificate of Compliance of the works. Positions and number of fittings to be agreed with the client prior to the installation.
  - If new heating system is installed, new installation is to be of condensing boiler type class 4 or 5 and have a minimum efficiency (SEDBURK) rating of 86% for mains natural gas. Installations are to be carried out by approved and registered Engineers. GAS SAFE REGISTERED for gas installations or OFTEC for oil installations. New installations are to conform to Part L of the Building Regulations and should also meet BS5410 and be in accordance with Part L6 of the Building Regulations. Full specification for heating system to be provided to the Building Inspector if required.
  - All new windows to be purpose made UPVC casement type, style to match existing house with a top hung opening light on security cam opening stay to be agreed with the client. All glazing in windows to be 24mm double glazed sealed units (4-16i) with a 16mm air filled gap and Low-E coating having a U value of min. 1.8 w/m<sup>2</sup> K and to comply with Part L of the Building Regulations. All rooms to have a min. 100m<sup>2</sup> of the floor area in operable windows. Trickle ventilation is to be provided to give background ventilation of 800mm<sup>2</sup> to habitable rooms and 4000mm<sup>2</sup> to non-habitable rooms. All glazing to critical locations less than 800mm above floor level is to be toughened safety glass and satisfy the requirements of Class C of BS6606.
  - The contractor shall accept all liability in using any information from this drawing, which has been produced to obtain planning permission if required and/or in tendering the proposed works.
  - The contractor shall accept all liability when working on and adjacent to the neighbouring property, preparing for and ensuring that all necessary work shall be completed in a safe and secure manner and taking all appropriate measures to maintain a clean and weather tight environment. Any damage to the clients property or to neighbouring properties caused by the contractor or as a result of the contractors negligence shall be rectified immediately by the contractor and to a standard acceptable to the client / neighbour. Any disturbance to the client or the neighbours caused by the contractor shall also be rectified immediately.

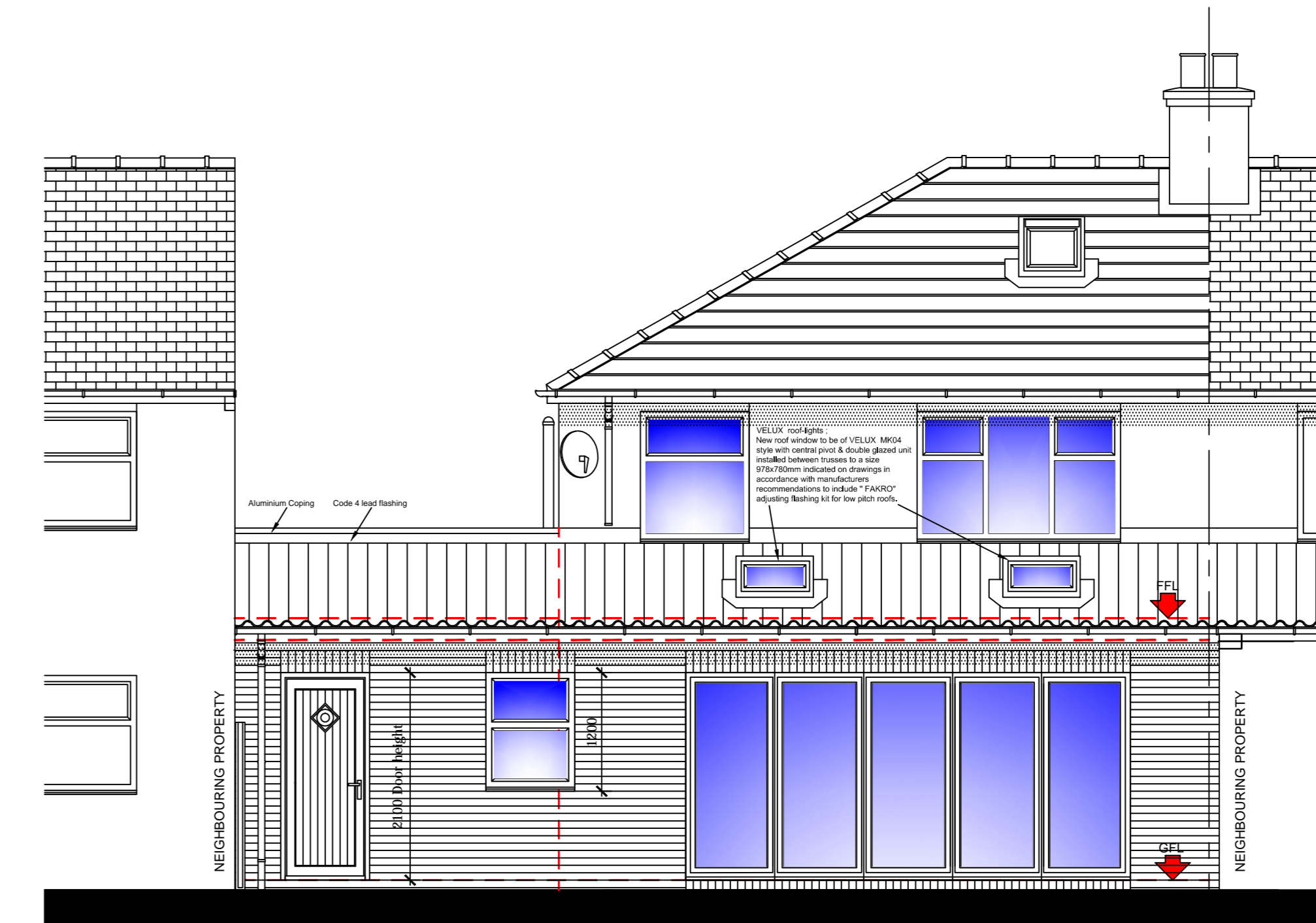


PROPOSED NORTH ELEVATION

- EXTERNAL DOORS & WINDOWS**
- External bi-folding doors, frames & thresholds to be constructed of aluminium complete with all necessary nomenclature of this built in frame & lever handles with 7 lever locking security device.
  - External access doors to be composite security door with upvc frame & threshold including incompressible all clients specification.
  - External windows to be UPVC in a style to match existing to sizes indicated to include trickle ventilators and restrictors to opening lights as required.
  - All glazing to both doors and windows to receive hermetically sealed double glazed units with float and toughened glass and thermal breaks in accordance with Section N of the current building regulations.
  - All roof windows to be of VELUX GGU Integra style with central pivot installed between trusses to sizes indicated on drawings in accordance with manufacturers recommendations to include all flashing kit & electric remote control and blinds if required by client.



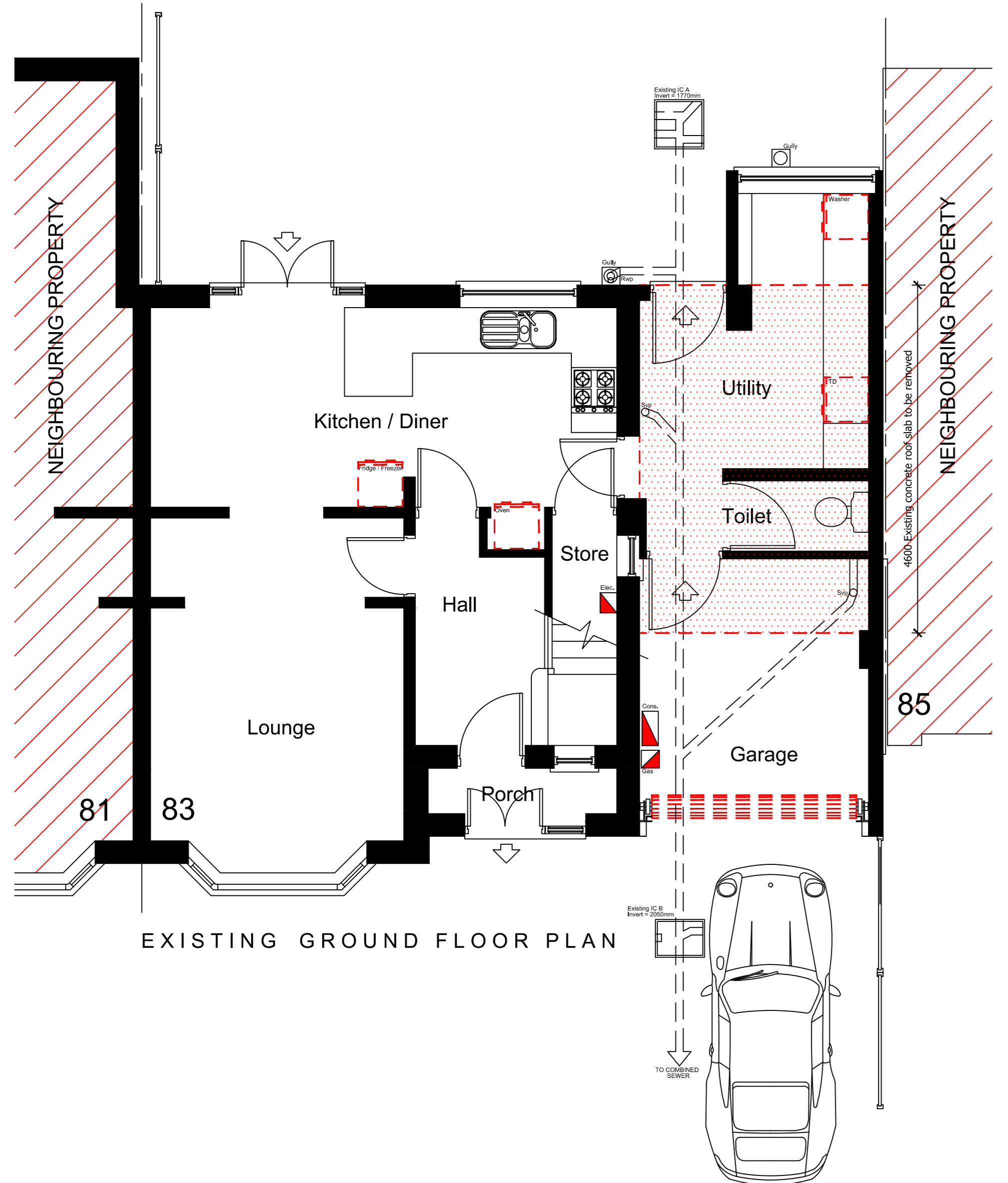
PROPOSED WEST ELEVATION (showing section A-A through proposed Extension)



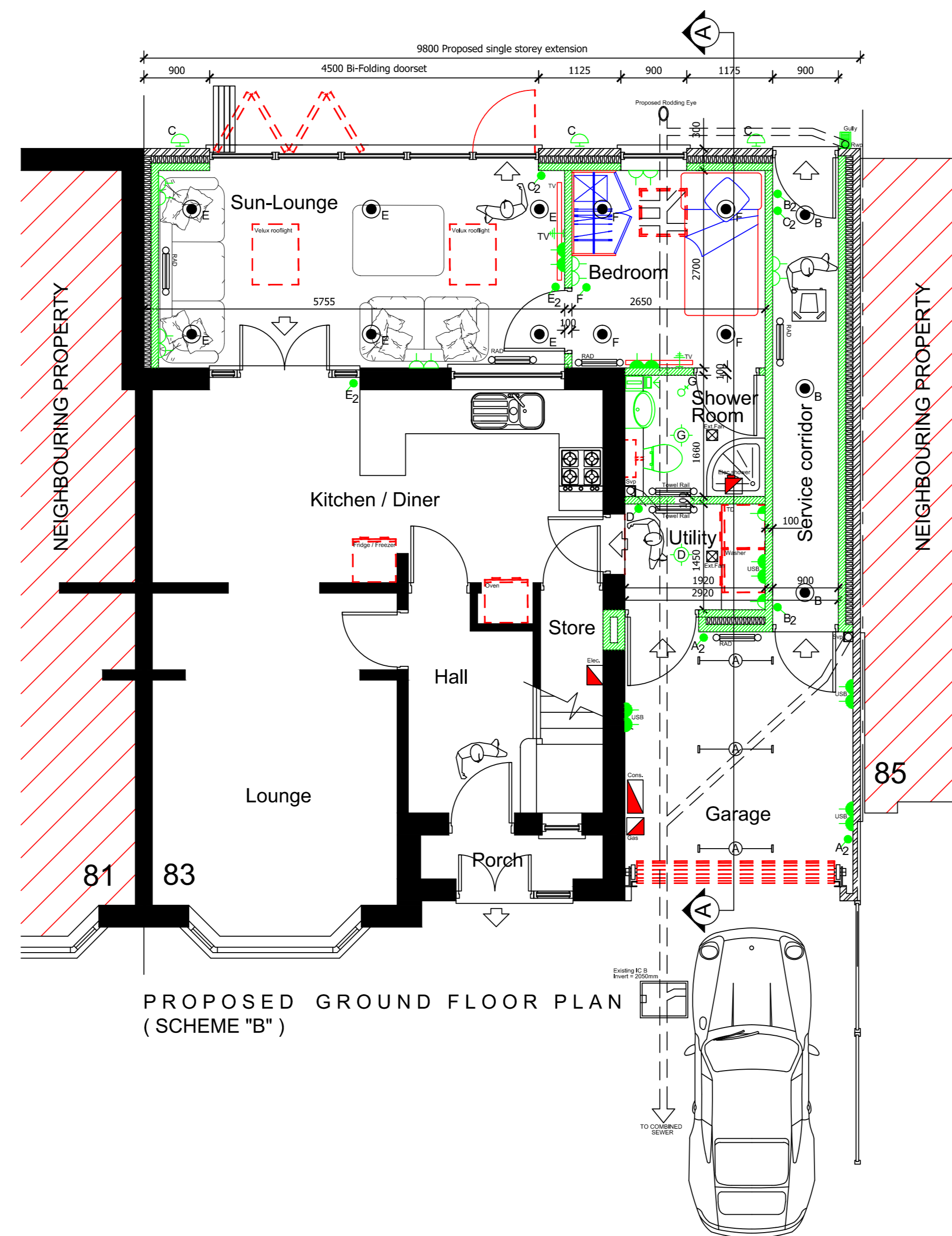
PROPOSED SOUTH ELEVATION

SERVICES KEY :

- HEATING :**
- Gas or Oil fired boiler
  - Radiator
  - Towel Rail
- Heating control :**
- Single socket low level
  - Double socket low level
  - Single socket high level
  - Double socket high level
  - Double socket high level ( with USB )
  - Single socket low level with HL switch
  - Electrical Vehicle high level charging socket
  - Single external high level socket with cover
- ELECTRICS :**
- Light switch ( one gang )
  - Light switch ( two gang )
  - Light switch pull cord ( one gang )
  - Dimmer switch
  - Push button time switch
  - Pendant light fitting
  - Recessed down lighter
  - Wall mounted light fitting
  - Shaving single socket
  - Wall mounted light movement sensor
  - Flourescent tube lighting
  - Consumer Unit
- VENTILATION :**
- Ceiling mounted extract fan
  - Wall mounted extract fan
  - Cooker hood extract fan
- OTHER SERVICES :**
- Instantaneous Electric Shower
  - Telecom
  - Television Aerial socket
  - Smoke Detector
  - Carbon monoxide alarm
  - Heat sensor
  - Bell chime
  - External water tap
  - Sun-Tunnel



EXISTING GROUND FLOOR PLAN



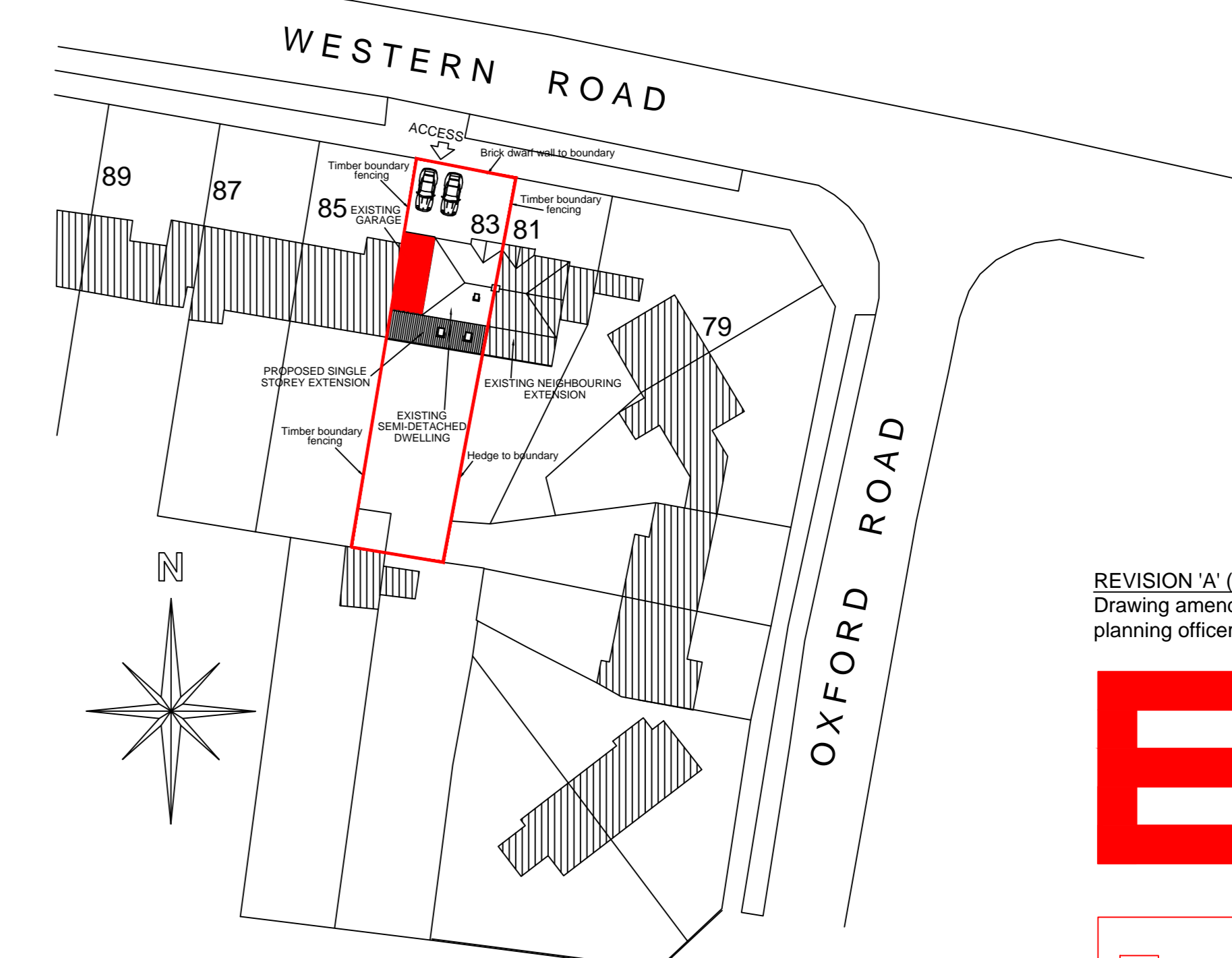
PROPOSED GROUND FLOOR PLAN (SCHEME "B")

- LEGEND**
- Indicates Existing masonry walls
  - Indicates Proposed Brickwork
  - Indicates New Blockwork
  - Indicates New Paramount walling
  - Indicates New Timber Stud Walls
  - Indicates Proposed Steel Beam

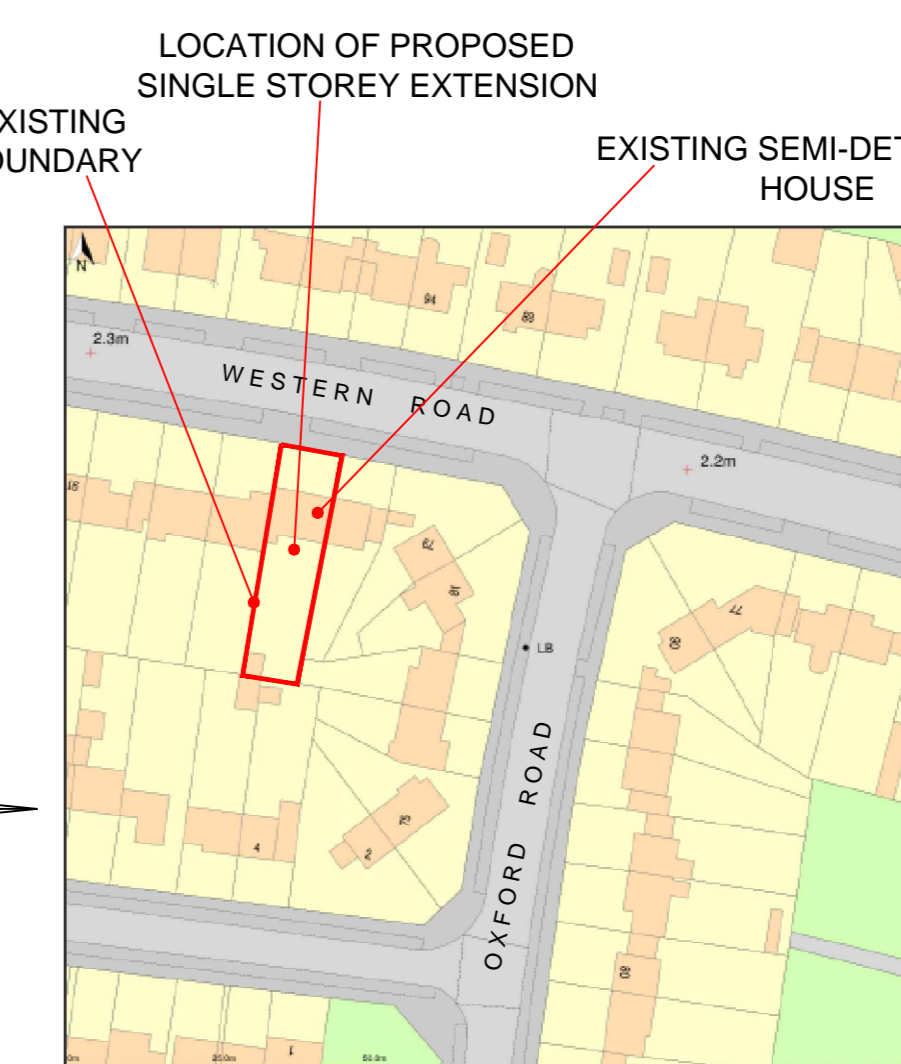
- DRAINAGE SPECIFICATION :**
- All new drainage pipework to be of HEPWORTH clay or plastic to diameters indicated on drawing complete with polypropylene couplings, bends, junctions, rest bends laid in accordance with manufacturers recommendations & to comply with Section H of the current building regulations.
  - All back inlet gullies, sumpers, rodding access chambers, inspection chambers in positions shown on drawing and in accordance with manufacturers recommendations and Section H of the current building regulations.
  - All drainage pipe runs to be laid in clean well compacted excavation trenches and bedded on 150mm fine gravel with selected backfill to ground level.
  - All trenches within 1m of load bearing walls to be filled with concrete to the level of the underside of the foundations.
  - All trench runs more than 1m from a load bearing wall to be filled with concrete upto a level equal to the distance from the foundation less 150mm.
  - Where pipes pass through external cavity walls both walls shall be supported with a PCC lined bedded in sulphate resistant cement mortar.
  - All gully pots, rest bends, inspection chambers to be bedded on 150mm of wet concrete.
  - All soakaways to be formed using only clean aerated hardcore to a depth agreed by the building inspector following a soil percolation test to BS 5207.

NOTES FOR PLANNING APPLICATION

- ALL BUILDING MATERIALS ADOPTED IN THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT TO BE TO THE APPROVAL OF THE LOCAL AUTHORITY PLANNING & REDEVELOPMENT DEPT.
- WORKING SAMPLES OF ALL THE MATERIALS TO BE ADOPTED TO BE PROVIDED FOR APPROVAL BY THE LOCAL AUTHORITY PLANNING DEPARTMENT UPON REQUEST.
- MATERIALS TO BE ADOPTED IN THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT AS SPECIFIED BELOW :
  - A. FACING BRICKWORK PROPOSED FACING BRICKWORK TO MATCH THE EXISTING PROPERTY INCLUDING 3 COURSES OF RED CLASS 'B' ENGINEERING BRICKWORK BELOW DPC LEVEL & TO A STYLE TO MATCH THE EXISTING PROPERTY COMPLETE WITH ALL DOUBLE GLAZED HERMETICALLY SEALED UNITS.
  - B. ROOF FINISH PROPOSED ROOF COVERING TO BE OF CONCRETE INTERLOCKING PAANTILES OR SIMILAR APPROVED TO MATCH EXISTING PROPERTY.
  - C. EXTERNAL DOORS & WINDOWS PROPOSED DOORS & WINDOWS OF UPVC (WHITE) & TO A STYLE TO MATCH THE EXISTING PROPERTY COMPLETE WITH ALL DOUBLE GLAZED HERMETICALLY SEALED UNITS.
  - D. EXTERNAL FASCIA / SOFFITS PROPOSED FASCIA & SOFFITS OF UPVC TO MATCH EXISTING. COLOUR = WHITE.
  - E. RAINWATER MATERIALS PROPOSED RAINWATER GOODS INCLUDING GUTTERING DOWNPIPES & SOIL / VENT PIPEWORK TO MATCH EXISTING PROPERTY. COLOUR = WHITE.

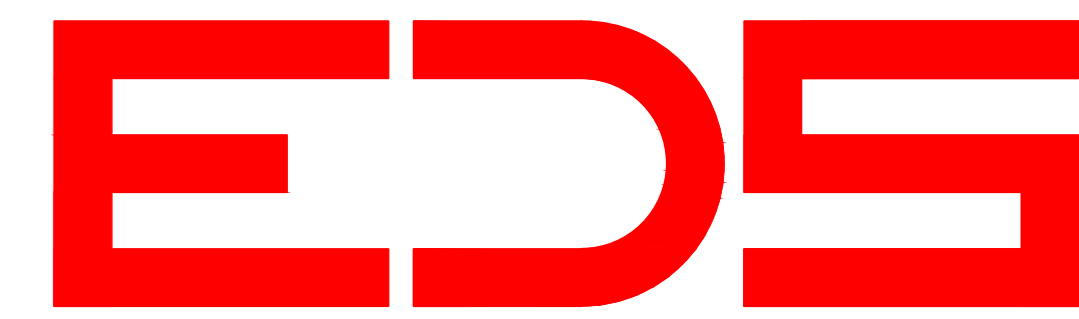


BLOCK / ROOF PLAN : 1 / 500  
SCALE BAR > 0-50m @ 1:500



LOCATION PLAN : 1 / 1250  
SCALE BAR > 0-50m @ 1:1250

REVISION 1 ( DECEMBER 2023 )  
Drawing amended to show revised 1:50 scale bar in accordance with the planning officers recommendations.



Client:  
**MR & MRS M. BATTY**

Site Address :  
**83, WESTERN ROAD  
GOOLE  
DN14 6QL.**

Project:  
**PROPOSED SINGLE STOREY REAR / SIDE  
EXTENSION & INTERNAL ALTERATIONS TO  
EXISTING SEMI-DETACHED DWELLING.**

Drawing Title: **PLANNING STATUS  
GENERAL ARRANGEMENT : SCHEME "B"  
PROPOSED GENERAL ARRANGEMENT OF  
PLANS, ELEVATIONS.**

Drawing Scale :      Date :  
**1:50 / 1:500 / 1:1250      NOVEMBER 2023**

Drawing Number:      Rev:  
**H.CON.11.23.01      A**