

Supporting Information & Design Statement

Relating to:

Proposed Alterations to 3/1, 1 Novar Drive, Hyndland, Glasgow,
G12 9PX

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The Proposal:

The proposal is to restore the property to the flatted dwelling at 3/1, 1 Novar Drive to its original condition while ensuring its character and features are preserved and enhanced.

Some minor enhancements are proposed as part of a sensitive and sympathetic restoration which will also ensure the property continues to meet the requirements of a modern and practical 21st century living environment.

This objective is consistent with the City Development Plan SG9, 2.9 with the following clauses being considered relevant to this application:

“The Council encourages the sensitive alteration and extension of Listed Buildings where this will not harm their special interest”.

c) incorporate detailed design and traditional materials which reflect or complement the period, style and architectural character of the building;

2.110 ... As a result of changing circumstances, the uses for which some Listed Buildings were designed are now obsolete. In consequence, conversion schemes which preserve and enhance the features which preserve the essential historic character of the building may be acceptable

Context

1 Novar Drive forms the northernmost 'bookend' to 84-98 Hyndland Road extending from Queensborough Gardens to Novar drive and terminated by Falkland Lane.

The B-listed terrace is attributed to Architect John Short in 1898 and is located within Character Area 2: Hyndland and Partickhill of the Glasgow West Conservation Area.

The four-storey tenements are formed of grey-blond sandstone on a split-faced red sandstone base.

Policy

All relevant local and national policies have been considered in the preparation of this application, including the “CITY DEVELOPMENT PLAN SG9: Historic Environment SUPPLEMENTARY GUIDANCE”.

Detail of Proposals

The flat forms one of two flats on the top floor of the tenement at 1 Novar Drive. Despite its fine proportions and period features, the internal condition of the property has suffered from a historic lack of maintenance, with damp and movement evident throughout.

The proposal covers works to repair, restore and upgrade the condition of the property. The following are works included in the proposal:

Principal Bedroom / Dressing Room



A slapping will be formed connecting the principal bedroom to the dressing room, in accordance with **2.112 part b)**. To ensure this complies with the provisions of **SG9 2.9 part a)**, the slapping will be no greater than 2600mm wide x 2400mm high, in order to provide a clear downturn of approx. 1250mm or more and nibs on both sides of approx. 800mm or more each. This will allow the space to be clearly interpreted as two distinct rooms as per the original layout. See adjacent photo (left) showing proportions of proposed slapping in red, as seen from dressing room (as proposed) NB only left-hand nib is shown in photo.



Per the provisions of **SG9 2.9, part a)**, timber facings either side of the slapping to be of appropriate proportion, material and style.

See adjacent detail (left) showing similar type of opening (illustrative only).



In accordance with **SG9 2.9 parts b-d)**, a high-quality reproduction Victorian fibrous plaster corning of appropriate style and scale (such as illustrative example shown the photograph above right) will be installed in the principal bedroom where currently there is none.

Existing kitchen doorway to be removed. **Original entrance to the store from existing kitchen will be unblocked to provide access to en-suite, existing kitchen door to be retained and re-used as per SG9 2.111, part c).**

The obsolete surface-mounted fluorescent tube lighting shall be replaced with more appropriate central pendant.

Entrance Hallway

A new full height partition will be formed to the far end of the hallway, (highlighted in red in photo adjacent on right) allowing the creation of a laundry/utility and cloaks space.

This minor change within the context of the overall hallway area will reserve its primary characteristics and proportions, while the addition of an en-suite and separate utility will substantially enhance the current amenity.

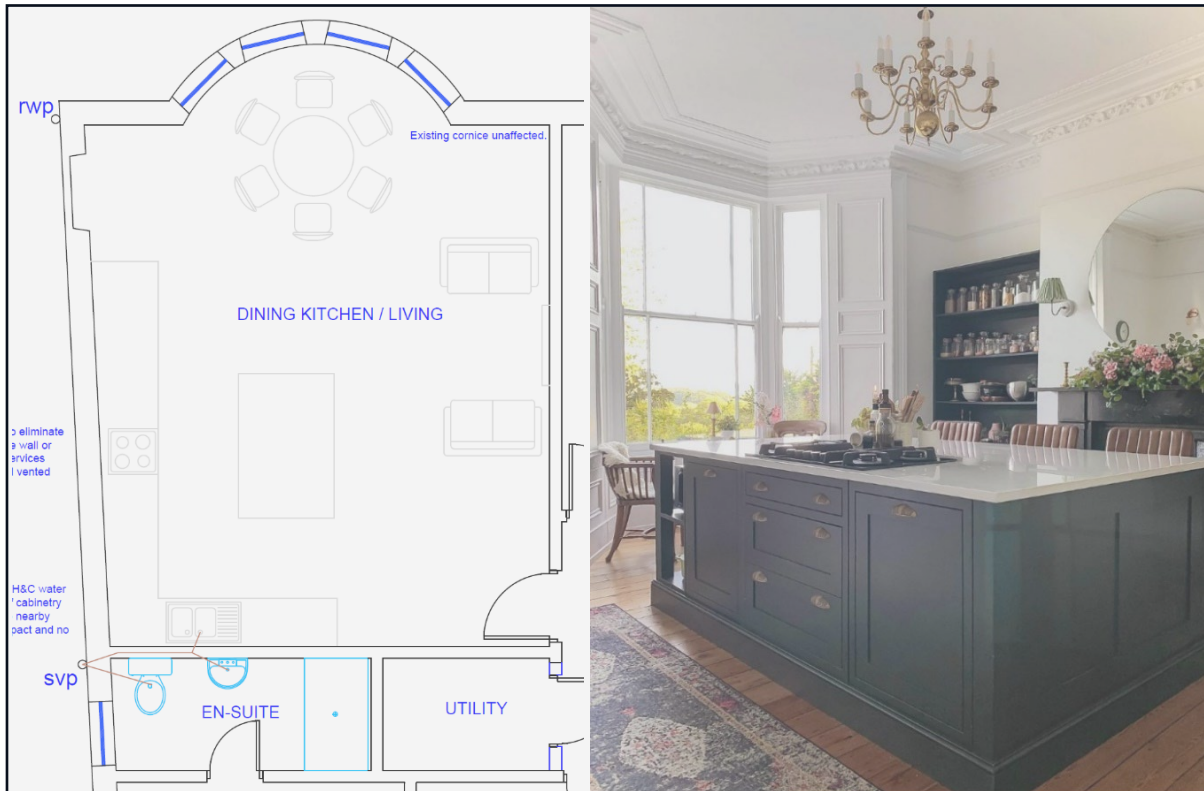


Photo left, showing existing store cupboard.

Door to be retained as new utility door.



Dining Kitchen / Living



In accordance with **SG9 2.110**, the existing bay-windowed living room will be used to form a large dining kitchen and living room that reflects present day needs and expectations for a space which can be used for cooking, working and entertaining. **By modern standards, the kitchen/living/dining is considered the primary public/social room in the dwelling, whereas Victorian kitchen design catered for a drastically different lifestyle and era where kitchens were used exclusively for cooking.**

Per the provisions of **SG9 2.115 part b**, the impact of unsightly services will be eliminated by locating the sink on the south side of the room where hot/cold feeds and waste can be provided concealed within the kitchen sink base unit and ducted straight to the existing SVP to the western gable end without the requirement for any pipework or ducted within the thus preserving the the waste for the proposed en-suite on the other side of the same partition wall (currently a store/utility).

This will allow the proportions and period features such as the ornate cornicing to be retained. The photo above right is used for illustrative purposes only but provides a good example of a modern social dining kitchen & public room which sits harmoniously within the existing space which retains all of its original character and proportion.

Summary

The proposal will restore the property to its former/original condition with relatively minor adjustments. This creates a significant planning gain for the property and secures it for the foreseeable future.

Given this supporting information and design statement justifies the proposal and complies with all the relevant planning policies and design guidance, it is considered that this planning application can be approved with appropriate controlling conditions.

Relevant Material Applications

12/00741/DC | Internal alterations to listed property. | Flat 1/1 1 Novar Drive, G12 9PX

16/00533/DC | Installation of drainage pipe and vent | Flat 1/1 9 Novar Drive, G12 9PX

10/02414/DC | Internal and external alterations including formation of partition walls and mechanical vent terminal to side elevation of listed building. | Flat 2/1 1 Novar Drive, G12 9PX